

Pender County Planning and Community Development

Planning Division

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Application Information

Major Site Development Plan – Central Pender Park

Case Number: SDP 2024-395

Applicant: Lisa Roberts, Pond and Company; Zach White, Pender County

Owner: Pender County

Location: North on US 117 2.69 miles from Burgaw, the site is on the east side of US 117, across from Old Savannah Road intersection with US 117

Property ID #(s): 3321-30-8998-0000

Description: Major Site Development Plan submission for a public park with 4 lighted multi-purpose fields, concession/restroom building, playground, paved loop trail, and associated parking lots. Approximately 27.45 acres of the 60.67 total acres are to be disturbed.

Current Zoning: Rural Agricultural (RA)

Technical Review Committee Meeting: 05/02/2024

Planning Board Meeting: TBD

Application Materials: Application Package and Site Plan

ATTACHMENT 1
Application Package

Pender County Planning and Community Development



805 S. Walker Street
PO Box 1519
Burgaw, NC 28425

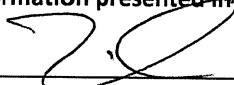
Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Major Site Development Plan Submission

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

- | | | |
|----|-------------------|--|
| 1. | <u>waived</u> | Pre-submittal Meeting
Date of Meeting <u>waived</u> |
| 2. | <u>X</u> | Signed Application |
| 3. | <u> </u> | Payment
\$250 |
| 4. | <u>X</u> | Paper Plan Sets
Two (2) 24 x 36, Four (4) 11 x 17 |
| 5. | <u>X</u> | Digital Submission
For all documents submitted in paper copy, bring a digital copy with paper submission. |
| 6. | <u>X</u> | Adjacent Property List
A list of names and addresses, as obtained from the county tax listings and tax abstract, to the owners of all properties located within 500-feet of the perimeter of the project bounds. |
| 7. | <u>X</u> | Adjacent Property Envelopes
The applicant shall provide a set of business envelopes addressed to each of the owners of all properties located within 500-feet of the perimeter of the project bounds and accompanied with the amount of postage required for first class postage. |
| 8. | <u> </u> | Permits
Include any permits issued on the project including but not limited to: environmental, traffic, utility, or site specific conditions. |
| 9. | <u>X</u> | Site Plan Requirements
A prepared site plan in accordance with the Unified Development Ordinance standards Section 6.3, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.
(See Major Site Development Checklist) |

I certify that all information presented in this application is accurate to the best of my knowledge.

Signature of Applicant 
Printed Name Lisa Roberts

Date March 29, 2024

Staff Initials: _____
Date: _____

Pender County Planning and Community Development

Planning Division
805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

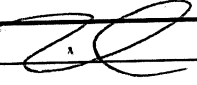
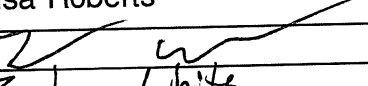

MAJOR AND MINOR SITE DEVELOPMENT APPLICATION

THIS SECTION FOR OFFICE USE			
Date: 4/4/2024	Permit Number:	Permit Fee:	Invoice Number:
*Zoning Approval ONLY: YES / NO		Final Zoning Compliance Approved: YES / NO / N/A	
Type of Site Development Plan:	<input checked="" type="checkbox"/> Major	<input type="checkbox"/> Minor	SDP-2024-395
SECTION 1: GENERAL INFORMATION			
Applicant's Name:	Lisa Roberts	Property Owner's Name:	Pender County
Applicant's Address:	4100 Raleigh Street #114	Property Owner's Address:	805 S. Walker Street
City, State, & Zip	Charlotte, NC 28213	City, State, & Zip	Burgaw, NC 28425
Phone Number:	704-502-3465	Phone Number:	910-259-1200
Email Address:	lisa.roberts@pondco.com	Email Address:	zwhite@pendercountync.gov
Legal relationship of applicant to landowner:	contracted design consultant		
SECTION 2: PROJECT INFORMATION			
PIN (Property Id #):	3321-30-8998-0000	Total property acreage:	60.67
Zoning:	RA	Acreage to be disturbed:	27.45
Water Provider:	Pender County	Wastewater Provider:	N/A
Directions to Site:	travel north on NC-117 2.69 miles from Burgaw, the site is on the east side of NC-117, across from Old Savannah Road intersection with NC-117.		
Lot Size: N/A	Sq Ft of Building: 1860	Building Height: 25 feet	
Setbacks	Front: 30	Side: 15	Rear: 30
NAICS Code/Use:	N/A		
Business Name:	N/A		
Describe activities to be undertaken on project site:	public park with 4 lighted multipurpose fields, concession/restroom building, playground, paved loop trail and associated parking lots		
Ownership:	Number of Employees:	Number of Members:	Seating Capacity:
<input type="checkbox"/> Private <input checked="" type="checkbox"/> Public	N/A	N/A	N/A

**If the applicant is not the owner of the property, a notarized letter from the property owner may be required*

*Zoning approval is for the use being proposed ONLY, other department approvals may be required i.e. Fire Marshal, Environmental Health, Permitting, etc...

SECTION 4: ADDITIONAL COMMENTS	

SECTION 5: SIGNATURES			
Applicant's Signature		Date:	3/29/24
Applicant's Name Printed	Lisa Roberts	Date:	3/29/24
Owner's Signature		Date:	4/4/24
Owner's Name Printed	Zach White	Date:	4/4/24
Planning Staff:		Date:	4/4/2024

Central Pender Park

Adajacent Property Owners list (500')

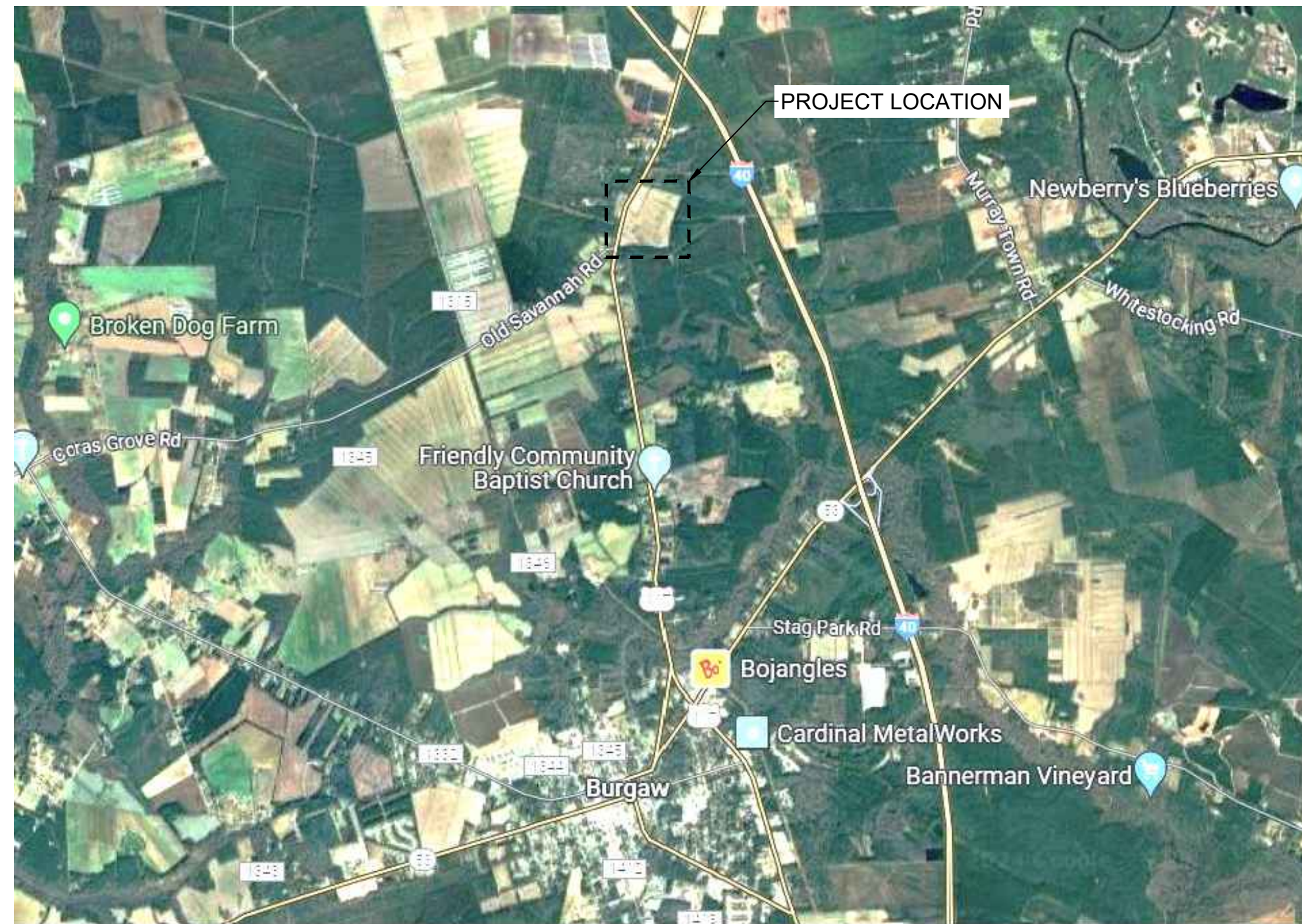
Parcel	Owner	Address		
3321-32-1507-0000	WALKER, DEBBIE D	1020 WINGED FOOT CT	CHESAPEAKE VA	23320
3321-42-5414-0000	HARMON, KITINIA JAMES ET AL	68 STAG PARK ROAD	BURGAW NC	28425
3321-22-1590-0000	CLAY, CHRISTOPHER S	7808 CYPRESS ISLAND DR	WILMINGTON NC	28412
3321-22-1199-0000	CLAY, CHRISTOPHER S	7808 CYPRESS ISLAND DR	WILMINGTON NC	28412
3321-22-0023-0000	CLAY, CHRISTOPHER S	7808 CYPRESS ISLAND DR	WILMINGTON NC	28412
3321-11-8735-0000	WILLIAMS, ANNIE HAIRSTON	2801 WILPAR DRIVE	GREENSBORO NC	27406
3321-21-8581-0000	HELLER, STEPHANIE ANN	1120 ULLSWATER LN	WILMINGTON NC	28405
3321-21-2353-0000	CATTS, SEAN MICHAEL	3373 US HWY 117 N	BURGAW NC	28425
3321-21-9146-0000	LEWIS, BARBARA ANN	3347 US HWY 117 N	BURGAW NC	28425
3321-21-9014-0000	WETMORE, MARK ORVILLE	3325 US HWY 117 N	BURGAW NC	28425
3321-20-8993-0000	WHEELER, RODNEY L	4609 PIGEON ISLAND DRIVE	DECATUR GA	30035
3321-10-8979-0000	JAMES, JOHNNY MCDONALD	62 STAG PARK RD	BURGAW NC	28425
3321-10-6579-0000	SHAW, ROBERT ALLEN	647 FURNACE RD	WERNERSVILLE PA	19565
3321-20-6381-0000	HEWLET, JANET BATTS	3191 US HWY 117 N	BURGAW NC	28425
3321-20-3391-0000	HOLLINGSWORTH, RHONDA BATTS	56 HOLD SAVANNAH ROAD	BURGAW NC	28425
3321-20-5115-0000	HOLLINGSWORTH, LARRY	56 OLD SAVANNAH RD	BURGAW NC	28425
3321-20-7113-0000	SHARPLESS, WILLIAM	2272 MURRAY TOWN RD	BURGAW NC	28425
3321-20-4015-0000	BATTS, RONALD LIFE ESTATE	94 OLD SAVANNAH RD	BURGAW NC	28425
3320-29-6981-0000	EWING, JOSHUA	41 OLD SAVANNAH ROAD	BURGAW NC	28425
3320-29-5789-0000	MCINTYRE, CHERYL	83 OLD SAVANNAH ROAD	BURGAW NC	28425
3320-29-4639-0000	HESTER, TIMOTHY W SR	119 OLD SAVANNAH ROAD	BURGAW NC	28425
3320-29-5548-0000	HALL, WILLIAM EDWARD	2991 US HWY 117	BURGAW NC	28425
3320-39-0475-0000	HALL, RICHARD CARL	2990 US HWY 117 NORTH	BURGAW NC	28425
3321-60-0620-0000	WEYERHAEUSER COMPANY	100 Professional Center Drive	BRUNSWICK GA	31525
3321-51-6799-0000	CAMPBELL, ROBERT EDWARD JR	PSC46	APO AE	
3321-41-0969-0000	CAMPBELL, ROBERT E JR	9920 PRINCE ROYAL PLACE	UPPER MARLBORO MD	20772
3321-31-8934-0000	JOHNSON, CHARLES M JR HEIRS	10500 KEEPSAKE COURT	UPPER MARLBORO MD	20772
3321-32-8100-0000	NEWKIRK, DOROTHY JORDAN HEIRS	5474 SEACLIFF PL UNIT 33	SAN DIEGO CA	92154

ATTACHMENT 2
Abbreviated Site Plan

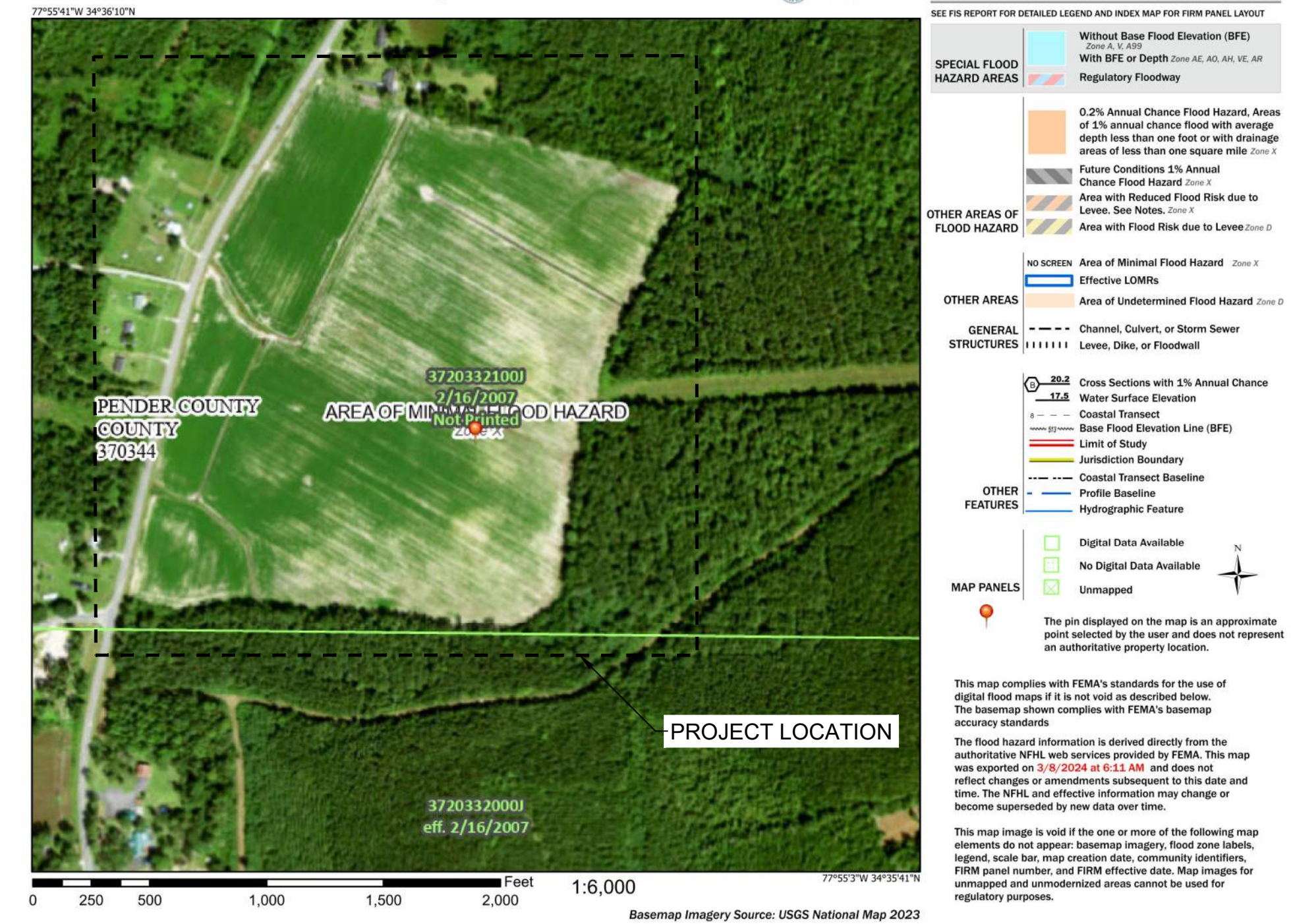
CENTRAL PENDER PARK

3387 US HWY 117N
 PARCEL #3321-30-8998-0000
 PENDER COUNTY
 BURGAW, NC 28425

FOR
 PENDER COUNTY
 805 S WALKER STREET
 BURGAW, NC 28425
 MARCH 29, 2024



National Flood Hazard Layer FIRMette



OWNER CONTACT	
OWNER CONTACT (24-HOUR): PENDER COUNTY PARKS AND RECREATION ZACHARY WHITE 805 S. WALKER STREET ZWHITE@PENDERCOUNTYNC.GOV	
DESIGN TEAM	
PROJECT MANAGER: EMILY BLACKWELL HSIAO POND AND COMPANY (919) 971-4651 emily.hsiao@pondco.com	ENGINEER: REYNALDO BRAVO POND AND COMPANY (704) 726-1412 reynaldo.bravo@pondco.com

FEMA FIRMETTE
 SCALE: NTS

GENERAL NOTES:

- PROJECT DESCRIPTION:**
GENERAL DESCRIPTION OF IMPROVEMENTS/SITE WORK ON A PROJECT:
 CONVERT EXISTING AGRICULTURAL PARCEL TO A PARK. PROJECT ELEMENTS INCLUDE OPEN LAWN SPACE, SIDEWALKS, PLAYGROUND AREA, PARKING LOTS, MULTIPURPOSE FIELDS AND CONCESSIONS BUILDING. SITE WORK INCLUDES DEMOLITION, CLEARING, GRADING, EROSION CONTROL, AND LANDSCAPE AS WELL AS INSTALLATION OF THE AMENITIES LISTED ABOVE.
- PARCEL AREA:** 60.67 ACRES
- DISTURBED AREA:** 27.45 ACRES
- ADDED IMPERVIOUS AREA:** 103,817 SF (DOES NOT INCLUDE GRAVEL PARKING LOTS)
- OWNER INFORMATION:**
 PENDER COUNTY
 805 S. WALKER STREET, BURGAW, NC 28425
 (910) 259-1330
- FLOOD HAZARD NOTE:**
 THERE IS NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES OR FLOODPLAIN PER FIRM PANEL 3720332100J, DATED 2/16/2007.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSIONS AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- REFER TO EROSION AND SEDIMENT CONTROL PLANS, HEREIN, FOR COMPLETE INFORMATION REGARDING EROSION AND SEDIMENT CONTROL MEASURES.
- THERE ARE NO KNOWN WETLANDS BEING DISTURBED ON THIS SITE.
- JURISDICTIONAL DITCHES EXIST ON SITE.
- Zoning - RA

Sheet List Table	
Sheet Number	Sheet Title
G-001	COVER SHEET
C-001	CIVIL NOTES
C-002	CIVIL LEGEND AND ABBREVIATIONS
V-101	SITE SURVEY
CS101	OVERALL SITE PLAN
CS102	SITE PLAN
CS103	SITE PLAN
CS104	SITE PLAN
CS105	SITE PLAN
CG101	GRADING PLAN
CG102	GRADING PLAN
CG103	GRADING PLAN
CG104	GRADING PLAN
CG105	GRADING PLAN
L-001	LANDSCAPE NOTES
LP101	OVERALL LANDSCAPE PLAN
LP102	LANDSCAPE PLAN
LP103	LANDSCAPE PLAN
LP104	LANDSCAPE PLAN
LP105	LANDSCAPE PLAN
LP106	ENLARGED LANDSCAPE PLAN
L-501	MATERIALS SCHEDULE
L-502	MATERIALS SCHEDULE

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

CENTRAL
 PENDER PARK

3387 US HWY 117 N
 BURGAW, NC
 28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
 DRAWN BY: RB/LJR
 CHECKED BY: EBS
 SUBMITTED BY: LJR
 DATE: 3/29/2024
 PROJECT #: 1230819

SHEET TITLE

COVER
 SHEET

SHEET NUMBER

G-001

ORIGINAL SHEET SIZE:
 22" X 34"

GENERAL NOTES

- LOCATIONS OF EXISTING FACILITIES AND UTILITIES ARE TAKEN FROM RECORD DRAWINGS AND SURVEY PERFORMED BY **SUMMIT DESIGN AND ENGINEERING SERVICES, DATED 03/31/2021**. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL LOCATIONS AND ELEVATIONS INCLUDING UNDERGROUND UTILITY LINES, VAULTS, OR BOXES PRIOR TO COMMENCING WORK.
- EXISTING TOPOGRAPHY, STRUCTURES, AND SITE FEATURES ARE SHOWN SCREENED AND/OR LIGHT-LINED. NEW FINISH GRADE, STRUCTURES, AND SITE FEATURES ARE SHOWN HEAVY-LINED.
- CONTRACTOR WILL VERIFY PROJECT LIMITS PRIOR TO COMMENCING WORK.
- ANY DAMAGE INCURRED TO ANY EXISTING UTILITY ELEMENTS WILL BE REPAIRED PROPERLY AND IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER.
- ANY AND ALL DAMAGE TO EXISTING PLANT MATERIAL OR HARDSCAPE ELEMENTS THAT ARE TO REMAIN, I.E. CURBS, ROADS, WALLS, FENCES, TREES, SHRUBS, ETC., WILL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- CONTRACTOR WILL STOP WORK IN AN AREA WHEN IT IS OBSERVED THAT THE EXISTING SITE CONDITIONS IN THAT AREA DIFFER FROM THOSE PRESENTED IN THE DRAWINGS. SUCH CIRCUMSTANCES WILL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR WILL ASSUME ALL LIABILITY FOR DAMAGES RESULTING FROM THE FAILURE TO COMPLY WITH THIS REQUIREMENT.
- CONTRACTOR WILL BRING TO THE OWNER'S ATTENTION ANY OBSERVED PLAN DISCREPANCIES BEFORE ANY FURTHER WORK IN THE AREA IS TO BE PERFORMED.
- REPETITIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND WILL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- THIS PROJECT IS SHOWN TO BE IN A DESIGNATED FLOODPLAIN PER FEMA FIRM PANEL NO. 3720332100J DATED FEBRUARY 16, 2007.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SITE SECURITY AT ALL TIMES DURING CONSTRUCTION.
- ALL SITE CONSTRUCTION OPERATIONS WILL COMPLY WITH CURRENT OSHA CONSTRUCTION STANDARDS.
- NO WETLANDS WITHIN THE LIMITS OF DISTURBANCE ON THE SITE.

DEMOLITION NOTES:

- THE CONTRACTOR WILL SUBMIT A DETAILED DEMOLITION PROCEDURE TO THE OWNER FOR APPROVAL AT LEAST 10 DAYS BEFORE DEMOLITION IS TO BEGIN. THE DEMOLITION PROCEDURE WILL INCLUDE A DETAILED DESCRIPTION OF THE METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION AND THE SEQUENCE OF WORK. THE DEMOLITION PROCEDURES WILL PROVIDE FOR SAFE CONDUCT OF WORK AND THE PROTECTION OF PROPERTY WHICH IS TO REMAIN UNDISTURBED AND COORDINATION WITH OTHER WORK OR OPERATIONS THAT MAY BE IN PROGRESS. METHODS AND SCHEDULING OF DEMOLITION ACTIVITIES MUST BE APPROVED BY THE OWNER.
- LOCATIONS OF EXISTING FACILITIES AND UTILITIES ARE TAKEN FROM THE SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES.
- THE CONTRACTOR WILL DEMOLISH AND REMOVE ALL EXISTING BUILDINGS, PAVEMENT, UTILITIES, EQUIPMENT, ETC. NOTED TO BE REMOVED WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THIS PLAN.
- CONTRACTOR TO PROVIDE AND MAINTAIN NECESSARY FENCES, BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL MEASURES AS REQUIRED FOR THE PROTECTION AND SAFETY OF THE PUBLIC THROUGHOUT THE DEMOLITION AND CONSTRUCTION ACTIVITIES ON THE SITE.
- CONTRACTOR WILL MINIMIZE THE IMPACT OF CONSTRUCTION ACTIVITIES ON THE TRAFFIC FLOW TO SURROUNDING FACILITIES TO REMAIN.
- CONTRACTOR WILL LOCATE ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION ACTIVITIES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING ALL EXISTING SERVICE CONNECTIONS TO BE REMOVED FROM BUILDINGS OR THE SITE AND PERMANENTLY PLUGGING THE PIPES WHERE REQUIRED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANIES CONCERNED.
- CONTRACTOR WILL COORDINATE WITH THE UTILITY COMPANY FOR THE RELOCATION OF ANY UTILITY TO REMAIN IN SERVICE. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN CONSTRUCTION OCCURS NEAR EXISTING UTILITIES.
- CONTRACTOR WILL SAWCUT TO FULL PAVEMENT, SIDEWALK AND CURB AND GUTTER DEPTH AT THE LIMIT OF DEMOLITION FOR REMOVAL OF PAVEMENT, SIDEWALK AND CURB AND GUTTER.
- ALL EXISTING PIPE TO BE ABANDONED WILL BE CUT, AND PLUGGED OR CAPPED AT EACH END. WHERE EXISTING PIPING INTERFERES WITH NEW PIPING OR CONSTRUCTION, IT WILL BE REMOVED BEYOND THE LIMITS REQUIRED FOR THE PROPER COMPLETION OF THE WORK AND THE OPEN ENDS PLUGGED OR CAPPED, UNLESS OTHERWISE SHOWN. LINES WILL BE PLUGGED OR CAPPED AT LEAST 12-INCHES BEHIND OR BELOW FINISH BUILDING SURFACES AND AT LEAST 12 INCHES BELOW PROPOSED GRADE SURFACES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO OTHER BUILDINGS OR STRUCTURES NOT INTENDED FOR DEMOLITION. THE CONTRACTOR WILL RESTORE ANY DAMAGED FACILITY TO THEIR CONDITION PRIOR TO THE ERRANT DEMOLITION OPERATIONS.
- CONTRACTOR WILL STRIVE TO MAXIMIZE ALL RECYCLABLE MATERIALS AND DESIGNATE A STOCKING AREA ON SITE FOR SUCH MATERIALS.
- ALL SALVAGEABLE METAL MATERIALS WILL REMAIN PROPERTY OF THE OWNER AND WILL BE CLEANED AND STORED ON THE OWNERS PROPERTY AS DIRECTED BY THE OWNER.
- NO DEBRIS FROM SITE DEMOLITION WILL BE BURIED ON SITE. ALL MATERIAL GENERATED FROM DEMOLITION OPERATION WILL BE PROPERLY DISPOSED OF OFFSITE.
- THE CONTRACTOR WILL INSTALL ALL INITIAL EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO DEMOLITION OPERATIONS BEGINNING.

SITE CONSTRUCTION NOTES:

- ALL MATERIALS AND CONSTRUCTION WILL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LOCAL AUTHORITY HAVING JURISDICTION, THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN NORTH CAROLINA, LATEST EDITION AND ANY OTHER LOCAL AND STATE STANDARDS THAT MAY APPLY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FEDERAL, STATE, OSHA AND LOCAL SAFETY REGULATIONS, LAWS, CODES OR ORDINANCES WHICH MAY APPLY.
- THE CONTRACTOR WILL REVIEW THE PLANS AND SPECIFICATIONS FOR ERRORS, OMISSIONS, DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL NOTIFY THE DESIGN PROFESSIONAL OF ANY ERRORS, OMISSIONS, DISCREPANCIES OR CONFLICTS IN THE PLANS OR BETWEEN THE PLANS AND FIELD CONDITIONS IMMEDIATELY.
- THE CONTRACTOR WILL MAINTAIN ACCESS TO AND FROM THE SITE AT ALL TIMES. UTILITY SERVICES WILL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR WILL COORDINATE ANY TEMPORARY INTERRUPTION OF ACCESS OR UTILITIES WITH THE OWNER PRIOR TO THE INTERRUPTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING REQUIRED TEMPORARY ELECTRICAL SERVICE AND PROVIDING WATER AS REQUIRED FOR CONSTRUCTION

AND LANDSCAPE MAINTENANCE UNTIL SUCH TIME THE OWNER ACCEPTS THE PROJECT AS COMPLETE AND IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

- CONTRACTOR TO PROVIDE BARRIERS AS REQUIRED TO PREVENT PUBLIC ENTRY TO CONSTRUCTION AREAS AND PROTECT EXISTING FACILITIES AND ADJACENT PROPERTIES FROM CONSTRUCTION ACTIVITIES. THE REQUIRED BARRIERS AND DEVICES WILL BE ERRECTED PRIOR TO COMMENCEMENT OF THE WORK.
- TESTING REQUIREMENTS WILL BE IN ACCORDANCE WITH ACCEPTABLE STANDARDS INCLUDING ASTM OR OTHERS RECOGNIZED IN THE INDUSTRY.
- ALL UTILITIES SHOWN ON THE PLANS ARE SHOWN ACCORDING TO INFORMATION AVAILABLE. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. CONTRACTOR WILL LOCATE AND VERIFY EXISTING CABLES, DUCTS, CONDUIT, PIPELINE, ETC. IN ADVANCE OF ANY PROPOSED CONSTRUCTION. CONTRACTOR WILL NOTIFY ALL AFFECTED UTILITIES, DESIGN PROFESSIONAL AND OWNER AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION NEAR EXISTING UTILITIES.
- CONTRACTOR WILL REPAIR ANY DAMAGE DONE BY CONSTRUCTION ACTIVITIES TO EXISTING UTILITIES AT NO ADDITIONAL COST TO THE OWNER OR DESIGN PROFESSIONAL.
- CONTRACTOR WILL OBTAIN A COPY OF THE GEOTECHNICAL REPORT FROM THE OWNER OR DEISGN PROFESSIONAL TO GRADE AND PREPARE THE SITE IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS.
- CONTRACTOR WILL OBTAIN ALL NECESSARY PERMITS AND APPROVALS ASSOCIATED WITH DEWATERING.
- CONTRACTOR WILL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. THE CONTRACTOR WILL PROVIDE STORM WATER DISCHARGE MONITORING, DOCUMENTATION AND REPORTING RELATED TO CONSTRUCTION ACTIVITIES FOR THE PROJECT.
- CONTRACTOR WILL COORDINATE AND GIVE PROPER NOTIFICATIONS TO ALL INSPECTION AGENCIES PRIOR TO START OF THE CONSTRUCTION.
- ALL MATERIALS TO BE REMOVED WILL BE DISPOSED OF OFFSITE IN A LEGAL MANNER.

STAKING NOTES:

- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL SURVEYING SERVICES REQUIRED TO LAYOUT AND BUILD THE PROJECT. THIS WILL INCLUDE ALL HORIZONTAL AND VERTICAL STAKEOUT.
- CENTERLINES OF ROADS AND DRIVES WILL BE STAKED AT 50-FOOT INCREMENTS.
- VERIFY AND STAKE PROPERTY LINE LOCATIONS IN FIELD PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- VERIFY AND STAKE ALL WETLAND BOUNDARIES AND STATE WATER BUFFER LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR WILL BRING ANY DISCREPANCIES BETWEEN THE DESIGN PLANS AND EXISTING CONDITIONS TO THE ATTENTION OF THE DESIGN PROFESSIONAL.
- UPON SUBSTANTIAL COMPLETION OF THE PROJECT, THE CONTRACTOR WILL PROVIDE CONSTRUCTION AS-BUILT DRAWINGS AND/OR SURVEYS IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS.

GRADING NOTES:

- CONTRACTOR WILL VERIFY PROJECT LIMITS PRIOR TO COMMENCING WORK. THE CONTRACTOR AND SUBCONTRACTORS WILL VISIT THE SITE PRIOR TO SUBMITTING BIDS.
- CONTRACTOR WILL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITY LINES, VAULTS, OR BOXES PRIOR TO COMMENCING WORK. ANY DAMAGE INCURRED TO ANY EXISTING UTILITY ELEMENTS WILL BE REPAIRED PROPERLY AND IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER.
- ANY AND ALL DAMAGE TO EXISTING PLANT MATERIAL OR HARDSCAPE ELEMENTS THAT ARE TO REMAIN, I.E. CURBS, ROADS, WALLS, FENCES, TREES, SHRUBS, ETC. WILL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- CONTRACTOR WILL NOT WILLINGLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS WILL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR WILL BRING ANY DISCREPANCIES IN PLAN, SITE CONDITIONS AND PRIOR WORK TO THE OWNER'S ATTENTION BEFORE ANY ADDITIONAL WORK IS PERFORMED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR TEMPORARY AND PERMANENT GROUNDWATER CONTROL DURING CONSTRUCTION. THE CONTRACTOR WILL ALSO CONTROL SURFACE RUNOFF IN ORDER TO PREVENT PONDING IN OPEN EXCAVATIONS AND PREVENT POTENTIAL UNDERMINING OF PERMANENT CONSTRUCTION FEATURES.
- CONTRACTOR WILL NOT WORK FILL MATERIALS DURING UNFAVORABLE WEATHER CONDITIONS. CONTRACTOR WILL NOT PERMIT EQUIPMENT TO BE USED IN SUCH A MANNER AS TO CAUSE EQUIPMENT TO EXCESSIVELY PUMP OR RUT THE SUBGRADE OR OTHER PREPARED AREAS.
- CONTRACTOR WILL STRIP ALL TOPSOIL AND ORGANIC MATTER FROM AREAS TO BE DISTURBED.
- CONTRACTOR WILL GRADE IN A MANNER TO ESTABLISH LONG SMOOTH GRADIENTS IN ORDER TO REDUCE ABRUPT CHANGES, DIPS AND SHARP TRANSITIONS IN THE FINISHED GRADE.
- THE CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE POSITIVE DRAINAGE ON ALL GRADED SURFACE AREAS. THE CONTRACTOR WILL MAINTAIN A MINIMUM SLOPE OF 1% ON HARDSCAPE AND MINIMUM SLOPE OF 2% ON GRADED AREAS, UNLESS OTHERWISE INDICATED.
- THE MAXIMUM CUT OR FILL SLOPES ARE 2 HORIZONTAL TO 1 VERTICAL.
- FILL MATERIALS SUPPORTING ROADWAYS, PARKING AREAS, SIDEWALKS, STRUCTURES, BUILDINGS AND WALLS WILL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY. THE TOP 12-INCHES OF FILL MATERIALS SUPPORTING ROADWAYS, PARKING AREAS, SIDEWALKS, STRUCTURES, BUILDINGS AND WALLS WILL BE COMPACTED TO 98 PERCENT OF THE MAXIMUM DRY DENSITY. FILL PLACED FOR GENERAL SITE GRADING WILL BE COMPACTED TO 90 PERCENT OF THE MAXIMUM DRY DENSITY.
- FILL MATERIALS WILL BE FREE OF TOPSOIL, ORGANICS, DELETERIOUS MATERIALS AND ROCK FRAGMENTS LARGER THAN 3 INCHES. ALL FILL MATERIALS WILL BE SUBJECT TO THE APPROVAL OF THE DEISGN PROFESSIONAL.
- SOIL TESTING WILL BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY SELECTED AND PAID FOR BY THE OWNER. ALL AREAS WHERE ROADS, SIDEWALKS, WALLS AND/OR OTHER STRUCTURES ARE TO BE CONSTRUCTED, WILL BE TESTED PRIOR THE PLACEMENT OF CONCRETE, ASPHALT, GRADED AGGREGATE BASE OR FILL MATERIALS.
- DETENTION FACILITIES AND EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- CONTRACTOR WILL REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF IT. NO RUBBISH OR DEBRIS WILL BE BURNED ON THE SITE.

ACCESSIBILITY NOTES:

- ALL ACCESSIBLE PARKING SPACES AND AISLES WILL HAVE NOT SLOPE GREATER THAN 1:50 (2%).
- CROSS SLOPES OF ACCESSIBLE ROUTES WILL NOT EXCEED 1:50 (2%).
- NO CURB RAMPS WILL PROJECT INTO ACCESS AISLES.
- AT LEAST 80 INCHES OF CLEAR HEAD ROOM IS REQUIRED ALONG ALL PATHWAYS.
- WHEN ANY WALKWAY LEVEL CHANGES, THE VERTICAL DISTANCE BETWEEN LEVELS WILL BE LESS THAN 1/4 INCH.
- IF THERE IS A CHANGE IN LEVEL OF BETWEEN 1/4 AND 1/2 INCH ALONG THE ACCESSIBLE ROUTE, THE EDGE WILL BE BEVELED WITH A SLOPE OF 1:2.
- ALL CHANGES IN LEVEL GREATER THAN 1/2 INCH WILL BE RAMPED.
- THE TRANSITION FROM ANY CURB RAMP TO THE WALKWAY, ROAD, OR GUTTER WILL BE FLUSH AND FREE FROM ANY ABRUPT CHANGES.
- THE SLOPES OF THE ROAD, GUTTER, AND ACCESSIBLE ROUTES AT THE TOP AND BOTTOM OF RAMPS WILL BE NO GREATER THAN 1:20(5%).
- FLARED SIDES OF CURB RAMPS WILL BE SLOPED NO GREATER THAN 1:10(10%).
- ALL ACCESSIBLE ROUTES AND RAMPS WILL BE STABLE, FIRM, AND HAVE NON-SLIP FINISHES.
- HANDRAILS WILL BE FIXED SO THAT THEY DO NOT ROTATE WITHIN THEIR FITTINGS.
- TOPS OF HANDRAILS WILL BE PLACED BETWEEN 30 AND 34 INCHES ABOVE THE RAMP SURFACE AND RAIL GRIPPING SURFACE WILL BE CONTINUOUS ALONG RAMP.
- ON WALL MOUNTED HANDRAILS, THERE WILL BE EXACTLY 1.5 INCHES BETWEEN THE HANDRAIL AND THE WALL.
- AT ENDS OF HANDRAILS, THERE WILL BE AT LEAST 12 INCHES OF LEVEL HANDRAIL BEYOND THE TOP AND BOTTOM OF THE RAMP SEGMENT. THE ENDS OF HANDRAILS WILL BE ROUNDED OR RETURNED SMOOTHLY TO THE FLOOR, WALL, OR POST.
- THE DIAMETER OF THE HANDRAILS WILL BE BETWEEN 1.25 AND 1.5 INCHES, AND THE SHAPE WILL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- RAMPS WILL BE DESIGNED TO ACCESSIBILITY STANDARDS AND WILL BE CONSTRUCTED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.

FILE PATH: X:\FY23\1230819\07 CAD-BIM\07 CAD-CIVIL\C-001 PLOTTED BY: ROBERTS, LISA DATE: 10/21/17

D

C

B

A



3500 Parkway Lane Suite 500 Peachtree Corners Georgia 30092

Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

CENTRAL PENDER PARK

3387 US HWY 117 N BURGAW, NC 28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR DRAWN BY: RB/LJR CHECKED BY: EBS SUBMITTED BY: LJR DATE: 3/29/2024 PROJECT # 1230819

SHEET TITLE

LEGEND AND ABBREVIATIONS

SHEET NUMBER

C-001

ORIGINAL SHEET SIZE: 22" X 34"

ABBREVIATIONS

@	AT
&	AND
Ø	DIAMETER
AC	ACRES
ADS	ADVANCED DRAINAGE SYSTEMS
A.K.A.	ALSO KNOWN AS
APPROX.	APPROXIMATE
ASTM	AMERICAN SOCIETY FOR TESTING OF MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BLDG.	BUILDING
BC	BACK OF CURB
BFP	BACKFLOW PREVENTER
BMP	BEST MANAGEMENT PRACTICE
BOW	BOTTOM OF WALL AT FINISHED GRADE
B.S.	BOTTOM OF STAIR (LAST TREAD)
BSTP	TELEPHONE PEDESTAL
BVCE	BEGINNING VERTICAL CURVE ELEVATION
BVCS	BEGINNING VERTICAL CURVE STATION
CL	CENTERLINE
CB	CATCH BASIN
C&G	CURB AND GUTTER
C.O.	CLEAN OUT
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
C.I.	CAST IRON
CJ	CONTRACTION JOINT
CONC.	CONCRETE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DI	DROP INLET
DIA.	DIAMETER
D.I.	DROP INLET
DIP	DUCTILE IRON PIPE
DOT	DEPARTMENT OF TRANSPORTATION
DWG	DRAWING
E	EASTING
EISA	ENERGY INDEPENDENCE SECURITY ACT
EJ	EXPANSION JOINT
ELEV.	ELEVATION
EOI	END OF INFORMATION
EP	EDGE OF PAVEMENT
EQUIP	EQUIPMENT
ESMT	EASEMENT
EVCE	ENDING VERTICAL CURVE ELEVATION
EVCS	ENDING VERTICAL CURVE STATION
EW	EACH WAY
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
FH	FIRE HYDRANT
FKA	FORMERLY KNOWN AS
FOM	FIBER OPTICS MARKER
FT.	FEET
G	GAS
G.A.B.	GRADED AGGREGATE BASE
GAL	GALLON
GP	GUARD POST
GV	GATE VALVE
HDPE	HIGH-DENSITY POLYETHYLENE
HP	HIGH POINT / DRAINAGE DIVIDE
HW	HEADWALL
HYD	HYDRANT
ICV	IRRIGATION CONTROL VALVE
I.E.	INVERT ELEVATION
IPF	IRON PIN FOUND
INV.	INVERT
IPS	IRON PIN SET
IN.	INCH
JB	JUNCTION BOX
L	LENGTH
LEV	LOW EMISSION VEHICLE
LF	LINEAR FEET
LP	LOW POINT
LVC	LENGTH OF VERTICAL CURVE
M	METER
MAX.	MAXIMUM
M.E.	MATCH ELEVATION
MECH	MECHANICAL
MH	MANHOLE
MIN.	MINIMUM
MNS	MAGNETIC NAIL SET
MON	MONUMENT
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
N	NORTHING
N/A	NOT APPLICABLE
N/F	NOW OR FORMERLY
NIC	NOT IN CONTRACT

ABBREVIATIONS

NSA	NATIONAL STONE ASSOCIATION
O.C.	ON CENTER
PCC	PORTLAND CEMENT CONCRETE
PIV	POST INDICATOR VALVE
POB	POINT OF BEGINNING
POV	PRIVATELY OWNED VEHICLE
PP	POWER POLE
PRVT	PRIVATE
PROP	PROPOSED
PSI	POUND PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INTERSECTION
PVMT	PAVEMENT
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	UNDERGROUND ROOF DRAIN
RECP	ROLLED EROSION CONTROL PRODUCT
R/W	RIGHT-OF-WAY
S	SOUTH
SD	STORM DRAIN
SDWK	SIDEWALK
SF	SQUARE FEET
SN	SIGN
S.R.	STATE ROUTE
SS	SANITARY SEWER
SSMH	SANITARY MANHOLE
STA.	STATION
STD	STANDARD
STRUC.	STRUCTURE
TBM	TOPOGRAPHY BENCH MARK
TEMP.	TEMPORARY
TOS	TOP OF SLAB
T.S.	TOP OF STAIR (LAST TREAD)
TYP	TYPICAL
TOW	TOP OF WALL
UDP	UNIFIED DEVELOPMENT PLAN
VCP	VITRIFIED CLAY PIPE
W	WITH
WM	WATER METER
WOS	WATERS OF THE STATE
WV	WATER VALVE
B&B	BALLED AND BURLAPPED
CAL	CALIPER

SYMBOLS LEGEND

EXISTING	NEW	DESCRIPTION
N/A		DEMOLISH AND REMOVE EXISTING ASPHALT AND CONCRETE PAVEMENT
N/A		DEMOLISH SITE UTILITY
N/A	X	DEMOLISH SITE FEATURE
N/A	---LOD---LOD---	LIMITS OF DISTURBANCE
---3---	---33---	1' CONTOUR
---5---	---35---	5' CONTOUR
		DOUBLE WING CATCH BASIN
N/A		DROP INLET
N/A		FLARED END SECTION
N/A		GRATE INLET
N/A		JUNCTION BOX
-----		STORM DRAIN PIPE
N/A	-----	UNDERGROUND ROOF DRAIN PIPE
N/A		SURFACE FLOW DIRECTION
x ELEV	ELEV	SPOT ELEVATION
N/A	---	DRAINAGE SWALE
N/A		RIP RAP
---SS---	---SS---	SANITARY SEWER LINE - GRAVITY
		SANITARY SEWER MANHOLE
		SANITARY SEWER CLEANOUT
---W---	---F---	WATER MAIN - FIRE PROTECTION
---W---	---W---	WATER MAIN - DOMESTIC
		WATER METER
N/A		POST INDICATOR VALVE
		WATER VALVE
N/A		FIRE DEPARTMENT CONNECTION
		FIRE HYDRANT
N/A		REDUCER
N/A	---G---	GAS LINE
	N/A	GAS VALVE
~	N/A	OVERHEAD ELECTRIC
---UE---	---E---	UNDERGROUND ELECTRIC
---UC---	N/A	UNDERGROUND COMMUNICATION
	N/A	COMMUNICATION MANHOLE
FO	N/A	UNDERGROUND FIBER OPTIC
		TRANSFORMER
N/A		NUMBER OF PARKING SPACES
	N/A	POWER POLE
	N/A	LIGHT POLE
---x---x---	---x---x---	CHAINLINK FENCE
	N/A	TREE
N/A	---SF---	SILT FENCE
N/A	---TPF---	TREE PROTECTION FENCE
+	+	SIGN
N/A		HEADWALL
N/A		JUNCTION BOX
	N/A	MONITORING WELL
	N/A	MAIL BOX
N/A	---UD---	UNDER DRAINS
x 1004.1	999.8	SPOT ELEVATION
---	x	PROPERTY LINE



3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092

Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
DRAWN BY: RB/LJR
CHECKED BY: EBS
SUBMITTED BY: LJR
DATE: 3/29/2024
PROJECT #: 1230819

SHEET TITLE

**LEGEND AND
ABBREVIATIONS**

SHEET NUMBER

C-002

ORIGINAL SHEET SIZE:
22" X 34"

GENERAL SHEET NOTES

- REFER TO SHEET C-001 AND C-002 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
 DRAWN BY: RB/LJR
 CHECKED BY: EBS
 SUBMITTED BY: LJR
 DATE: 3/29/2024
 PROJECT #: 1230819

SHEET TITLE

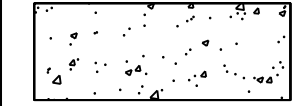

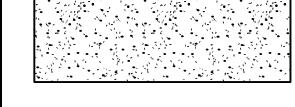
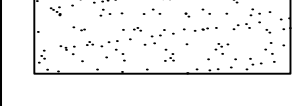

OVERALL SITE PLAN

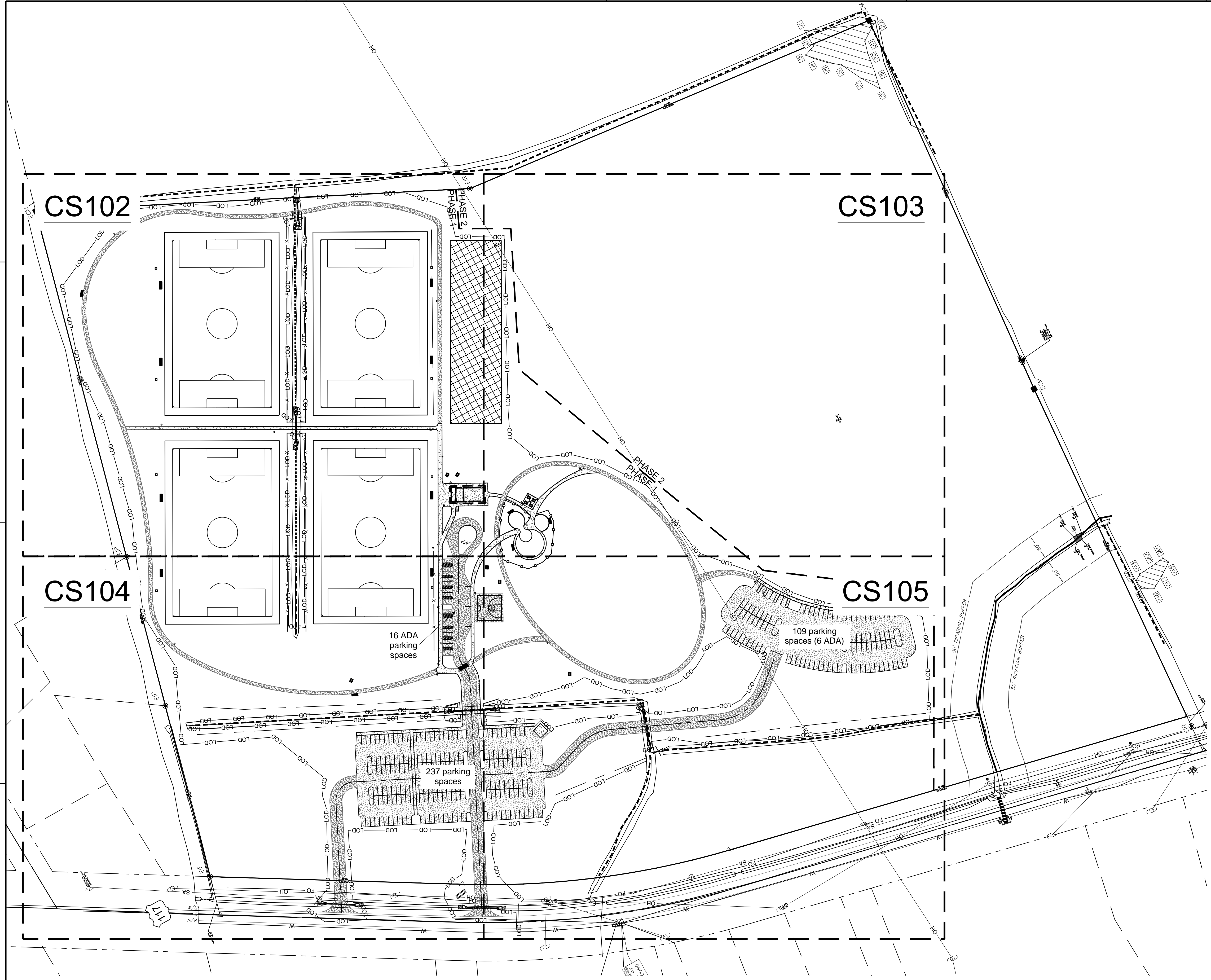
SHEET NUMBER

CS101

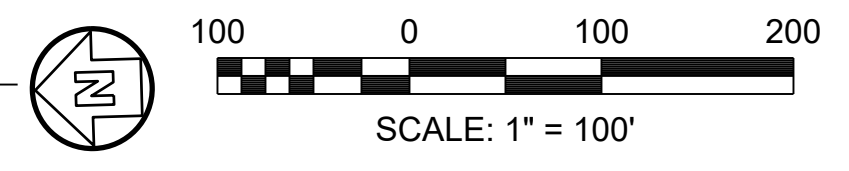
ORIGINAL SHEET SIZE:
22" X 34"

SHEET LEGEND

-  PEDESTRIAN CONCRETE:
4" GREY CONCRETE SLAB. LIGHT BROOM FINISH. SEE DETAIL
-  HARDWOOD MULCH:
4" MULCH ON COMPACTED SUBGRADE SEE DETAIL
-  #57 STONE:
6" DEEP ON COMPACTED SUBGRADE - SEE DETAIL
-  ASPHALT:
2" ASPHALTIC CONCRETE ON COMPACTED SUBGRADE, - SEE DETAIL
-  LEACH FIELD FOR SEPTIC SYSTEM:
SEE CG SERIES.



A1 OVERALL SITE PLAN
SCALE: 1"=100'



FILE PATH: I:\STARFIGHTER\PROJECTS\FY23\1230819\07.CAD\BIM\07.02.CAD\CIVIL\CS101.PLOTTED BY: ROBERTS, LISA DATE: 10/2/17

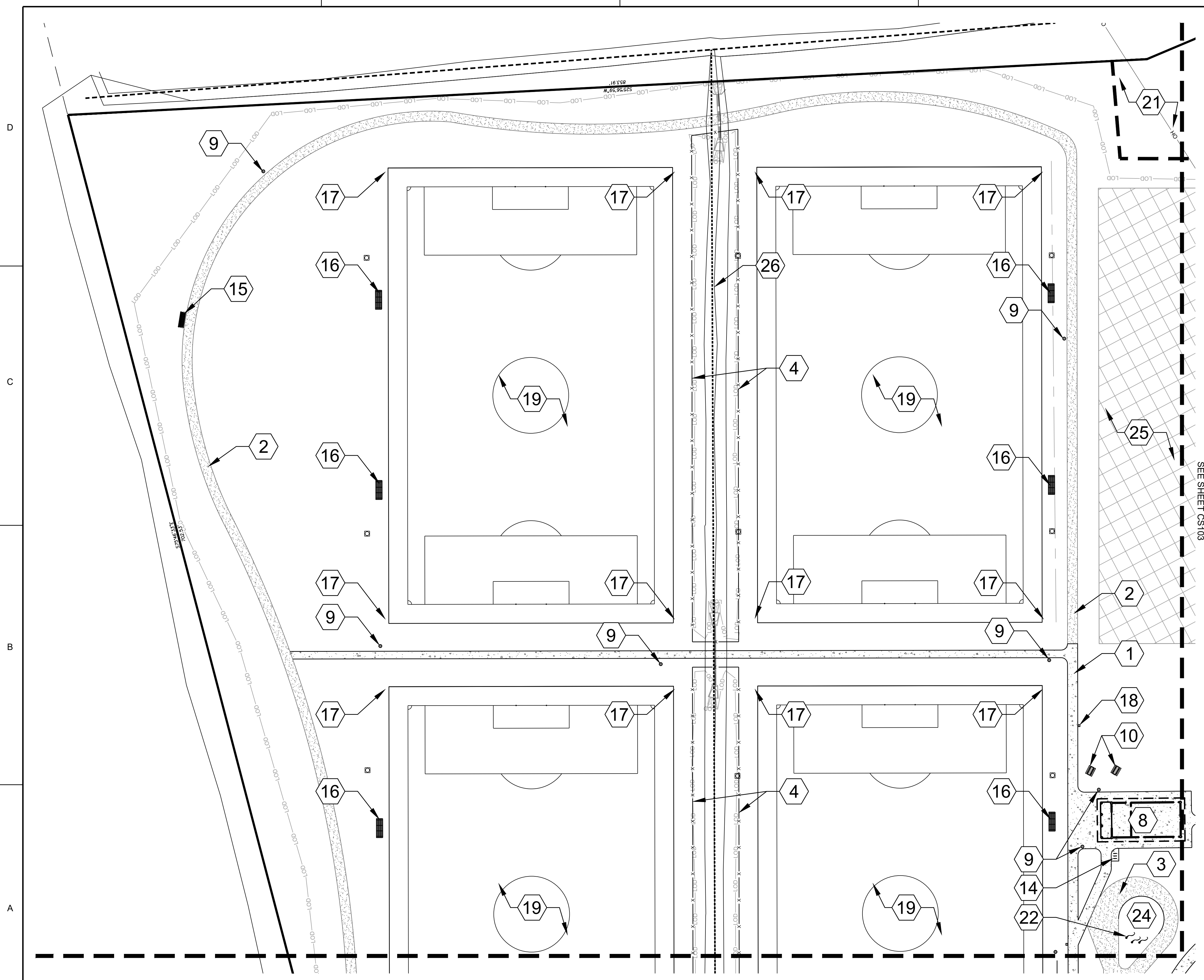
1

2

3

4

5



GENERAL SHEET NOTES

- REFER TO SHEET CS101 FOR MORE INFORMATION.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

SHEET KEYNOTES

- CONCRETE SIDEWALK
- ASPHALT PATH
- ASPHALT DRIVE
- 4' BLACK VINYL COATED CHAIN LINK FENCE 1/L-502
- WOOD POST AND ROPE BARRIER 2/L-502
- 24'x24' PICNIC SHELTER 4/L-502
- PARK ENTRY SIGN 5/L-502
- CONCESSION/RESTROOM BUILDING (DESIGN BY OTHERS) 8/L-501
- TRASH RECEPTACLE 1/L-501
- PICNIC TABLE 3/L-501
- 'RIDGE RUNNER' PLAY STRUCTURE W/ MULCH BASE 5/L-501
- 'ADVENTURE ALLEY' PLAY STRUCTURE W/ MULCH BASE 6/L-501
- 'MUNCHKIN' PLAY STRUCTURE W/ MULCH BASE 7/L-501
- INVERTED U BICYCLE RACK 2/L-501
- BENCH WITH BACK 4/L-501
- 15' ALUMINUM BLEACHER 3/L-502
- MULTIPURPOSE FIELD LIGHT POLE (16)
- PEDESTRIAN LIGHT POLE (5)
- CHAMPIONSHIP SIZE MULTIPURPOSE FIELD
- #57 GRAVEL PARKING LOT, 6" COMPACTED
- PHASE 2 AREA
- FLAGPOLE (3)
- 20'x20' DUMPSTER PAD AND GATED ENCLOSURE
- LANDSCAPE PLANTING AREA (SEE LP SERIES)
- SEPTIC FIELD AREA
- JURISDICTIONAL DITCH

SHEET LEGEND

- PEDESTRIAN CONCRETE: 4" GREY CONCRETE SLAB. LIGHT BROOM FINISH. SEE DETAIL
- HARDWOOD MULCH: 4" MULCH ON COMPACTED SUBGRADE SEE DETAIL
- #57 STONE: 6" DEEP ON COMPACTED SUBGRADE - SEE DETAIL
- ASPHALT: 2" ASPHALTIC CONCRETE ON COMPACTED SUBGRADE, - SEE DETAIL
- LEACH FIELD FOR SEPTIC SYSTEM: SEE CG SERIES.

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
 PENDER PARK**

3387 US HWY 117 N
 BURGAW, NC
 28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
 DRAWN BY: RB/LJR
 CHECKED BY: EBS
 SUBMITTED BY: LJR
 DATE: 3/29/2024
 PROJECT #: 1230819

SHEET TITLE

SITE PLAN

SHEET NUMBER

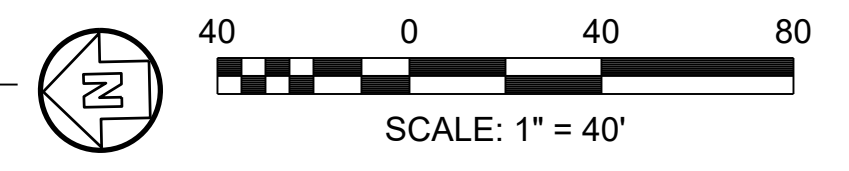
CS102

ORIGINAL SHEET SIZE:
 22" X 34"

FILE PATH: X:\FY23\1230819\07.CAD-BIM\07.02.CAD\CIVIL\CS101.PLOTTED BY: ROBERTS, LISA DATE: 10/21/17

A2 SITE PLAN
 SCALE: 1"=40'

SEE SHEET CS104



GENERAL SHEET NOTES

- REFER TO SHEET CS101 FOR MORE INFORMATION.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
 DRAWN BY: RB/LJR
 CHECKED BY: EBS
 SUBMITTED BY: LJR
 DATE: 3/29/2024
 PROJECT #: 1230819

SHEET TITLE

SITE PLAN

SHEET NUMBER

CS103

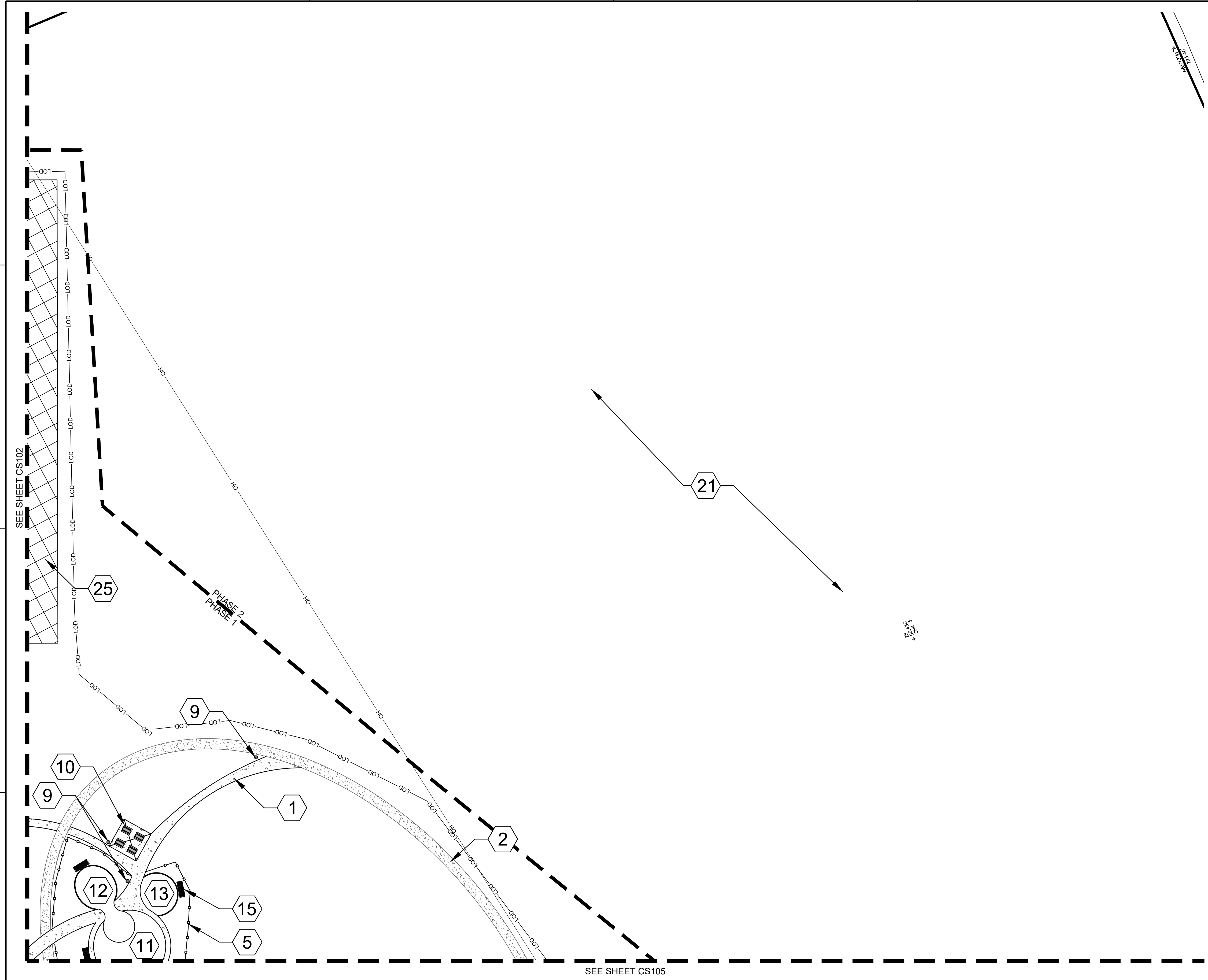
ORIGINAL SHEET SIZE:
22" X 34"

SHEET KEYNOTES

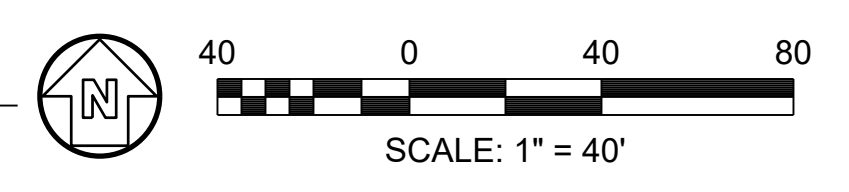
- CONCRETE SIDEWALK
- ASPHALT PATH
- ASPHALT DRIVE
- 4' BLACK VINYL COATED CHAIN LINK FENCE 1/L-502
- WOOD POST AND ROPE BARRIER 2/L-502
- 24'x24' PICNIC SHELTER 4/L-502
- PARK ENTRY SIGN 5/L-502
- CONCESSION/RESTROOM BUILDING (DESIGN BY OTHERS) 8/L-501
- TRASH RECEPTACLE 1/L-501
- PICNIC TABLE 3/L-501
- 'RIDGE RUNNER' PLAY STRUCTURE W/ MULCH BASE 5/L-501
- 'ADVENTURE ALLEY' PLAY STRUCTURE W/ MULCH BASE 6/L-501
- 'MUNCHKIN' PLAY STRUCTURE W/ MULCH BASE 7/L-501
- INVERTED U BICYCLE RACK 2/L-501
- BENCH WITH BACK 4/L-501
- 15' ALUMINUM BLEACHER 3/L-502
- MULTIPURPOSE FIELD LIGHT POLE (16)
- PEDESTRIAN LIGHT POLE (5)
- CHAMPIONSHIP SIZE MULTIPURPOSE FIELD
- GRAVEL PARKING LOT
- PHASE 2 AREA
- FLAGPOLE (3)
- 20'x20' DUMPSTER PAD AND GATED ENCLOSURE
- LANDSCAPE PLANTING AREA (SEE LP SERIES)
- SEPTIC FIELD AREA
- JURISDICTIONAL DITCH

SHEET LEGEND

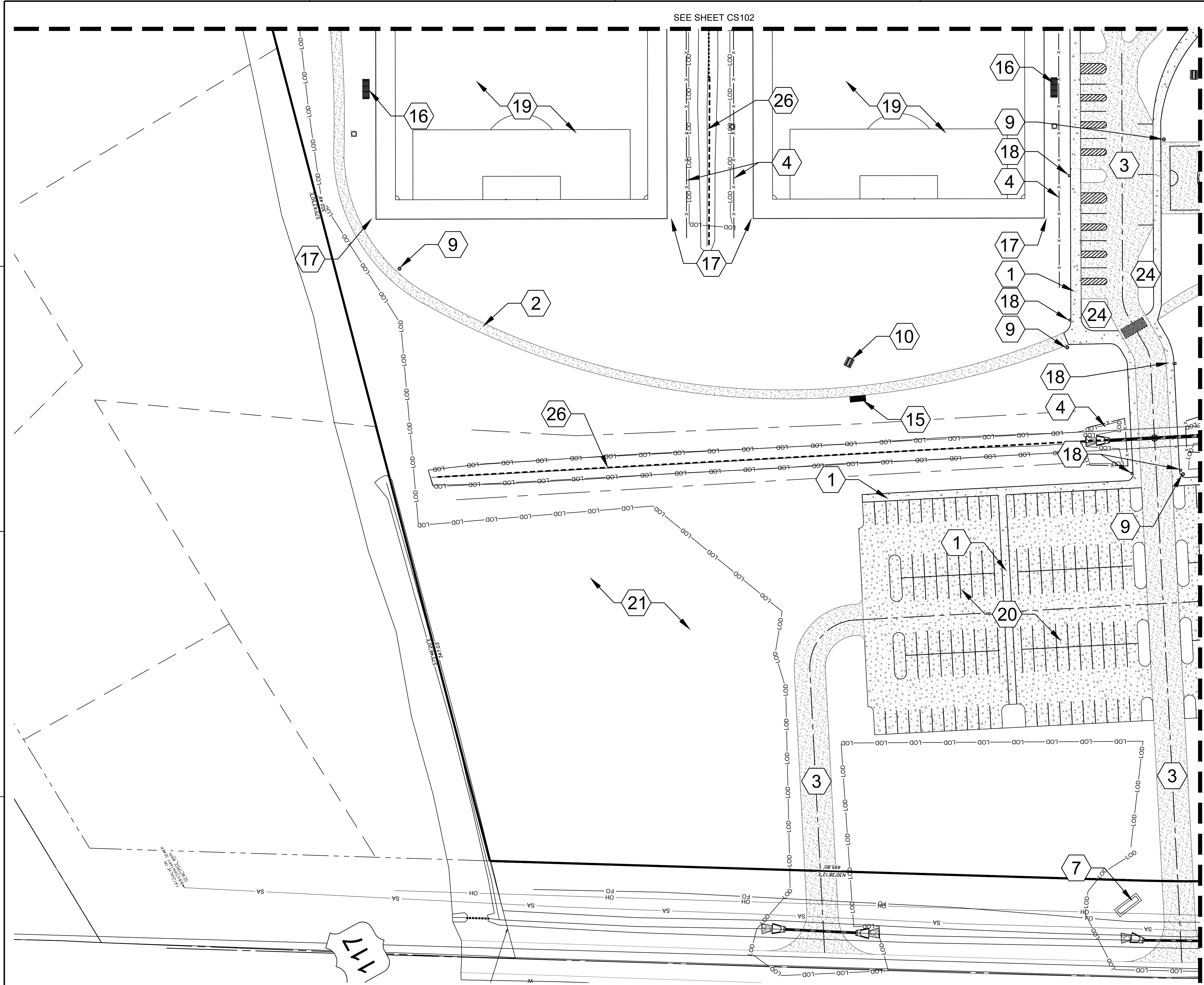
- PEDESTRIAN CONCRETE:
4" GREY CONCRETE SLAB. LIGHT BROOM FINISH. SEE DETAIL
- HARDWOOD MULCH:
4" MULCH ON COMPACTED SUBGRADE SEE DETAIL
- #57 STONE:
6" DEEP ON COMPACTED SUBGRADE - SEE DETAIL
- ASPHALT:
2" ASPHALTIC CONCRETE ON COMPACTED SUBGRADE, - SEE DETAIL
- LEACH FIELD FOR SEPTIC SYSTEM:
SEE CG SERIES.



A3 SITE PLAN
SCALE: 1" = 40'



FILE PATH: X:\FY23\1230819\07.CAD\BIM\07.02.CAD\CIVIL\CS101 PLOTTED BY: ROBERTS, LISA DATE: 10/21/17



SEE SHEET CS102

SEE SHEET CS105

GENERAL SHEET NOTES

- REFER TO SHEET CS101 FOR MORE INFORMATION.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

SHEET KEYNOTES

- CONCRETE SIDEWALK
- ASPHALT PATH
- ASPHALT DRIVE
- 4' BLACK VINYL COATED CHAIN LINK FENCE 1/L-502
- WOOD POST AND ROPE BARRIER 2/L-502
- 24'x24' PICNIC SHELTER 4/L-502
- PARK ENTRY SIGN 5/L-502
- CONCESSION/RESTROOM BUILDING (DESIGN BY OTHERS) 8/L-501
- TRASH RECEPTACLE 1/L-501
- PICNIC TABLE 3/L-501
- 'RIDGE RUNNER' PLAY STRUCTURE W/ MULCH BASE 5/L-501
- 'ADVENTURE ALLEY' PLAY STRUCTURE W/ MULCH BASE 6/L-501
- 'MUNCHKIN' PLAY STRUCTURE W/ MULCH BASE 7/L-501
- INVERTED U BICYCLE RACK 2/L-501
- BENCH WITH BACK 4/L-501
- 15' ALUMINUM BLEACHER 3/L-502
- MULTIPURPOSE FIELD LIGHT POLE (16)
- PEDESTRIAN LIGHT POLE (5)
- CHAMPIONSHIP SIZE MULTIPURPOSE FIELD
- GRAVEL PARKING LOT
- PHASE 2 AREA
- FLAGPOLE (3)
- 20'x20' DUMPSTER PAD AND GATED ENCLOSURE
- LANDSCAPE PLANTING AREA (SEE LP SERIES)
- SEPTIC FIELD AREA
- JURISDICTIONAL DITCH

SHEET LEGEND

- PEDESTRIAN CONCRETE:
4" GREY CONCRETE SLAB. LIGHT BROOM FINISH. SEE DETAIL
- HARDWOOD MULCH:
4" MULCH ON COMPACTED SUBGRADE SEE DETAIL
- #57 STONE:
6" DEEP ON COMPACTED SUBGRADE - SEE DETAIL
- ASPHALT:
2" ASPHALTIC CONCRETE ON COMPACTED SUBGRADE, - SEE DETAIL
- LEACH FIELD FOR SEPTIC SYSTEM:
SEE CG SERIES.

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION

 PENDER COUNTY
 Parks & Recreation

PROJECT NAME
**CENTRAL
 PENDER PARK**
 3387 US HWY 117 N
 BURGAW, NC
 28425

DATE	DESCRIPTION	MARK

DESIGNED BY: RB/LR
 DRAWN BY: RB/LJR
 CHECKED BY: EBS
 SUBMITTED BY: LJR
 DATE: 3/29/2024
 PROJECT #: 1230819

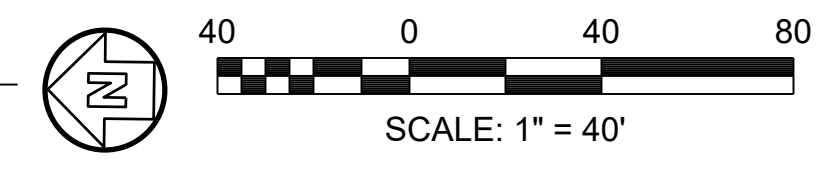
SHEET TITLE
SITE PLAN

SHEET NUMBER
CS104

ORIGINAL SHEET SIZE:
22" X 34"

FILE PATH: X:\FY23\1230819\07 CAD-BIM\07.02 CAD\CIVIL\CS101 PLOTTED BY: ROBERTS, LISA DATE: 10/21/24

A4 SITE PLAN
SCALE: 1"=40'



SEE SHEET CS104

PHASE 2
PHASE 1

GENERAL SHEET NOTES

- REFER TO SHEET CS101 FOR MORE INFORMATION.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR

DRAWN BY: RB/LJR

CHECKED BY: EBS

SUBMITTED BY: LJR

DATE: 3/29/2024

PROJECT # 1230819

SHEET TITLE

SITE PLAN

SHEET NUMBER

CS105

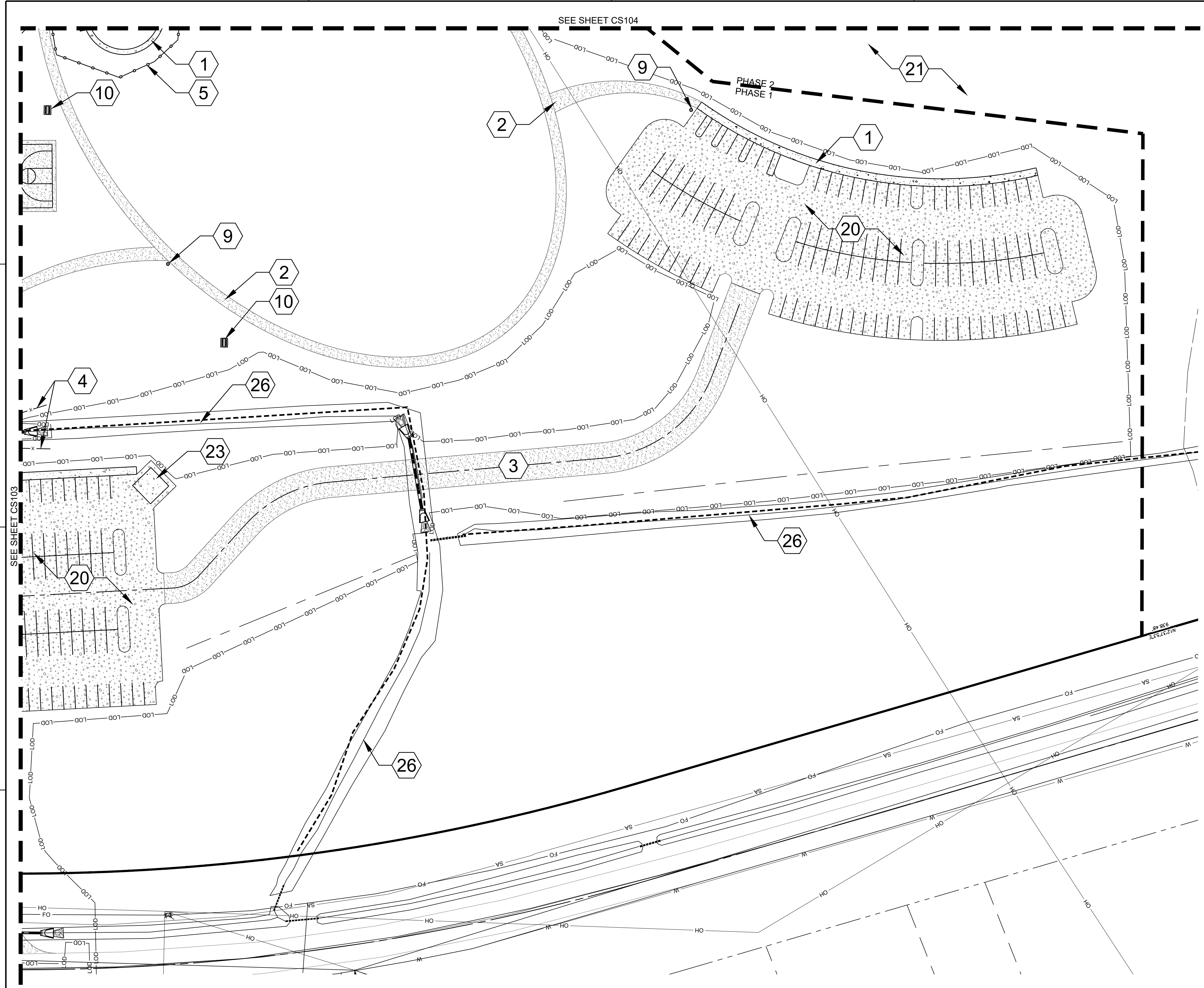
ORIGINAL SHEET SIZE:
22" X 34"

SHEET KEYNOTES

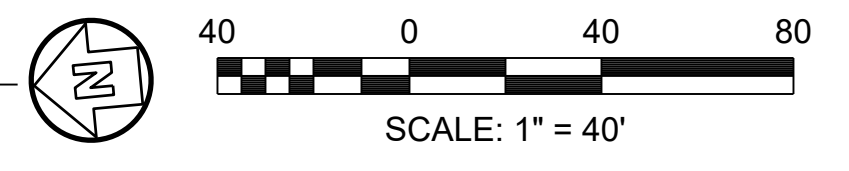
- CONCRETE SIDEWALK
- ASPHALT PATH
- ASPHALT DRIVE
- 4" BLACK VINYL COATED CHAIN LINK FENCE 1/L-502
- WOOD POST AND ROPE BARRIER 2/L-502
- 24'x24' PICNIC SHELTER 4/L-502
- PARK ENTRY SIGN 5/L-502
- CONCESSION/RESTROOM BUILDING (DESIGN BY OTHERS) 8/L-501
- TRASH RECEPTACLE 1/L-501
- PICNIC TABLE 3/L-501
- 'RIDGE RUNNER' PLAY STRUCTURE W/ MULCH BASE 5/L-501
- 'ADVENTURE ALLEY' PLAY STRUCTURE W/ MULCH BASE 6/L-501
- 'MUNCHKIN' PLAY STRUCTURE W/ MULCH BASE 7/L-501
- INVERTED U BICYCLE RACK 2/L-501
- BENCH WITH BACK 4/L-501
- 15' ALUMINUM BLEACHER 3/L-502
- MULTIPURPOSE FIELD LIGHT POLE (16)
- PEDESTRIAN LIGHT POLE (5)
- CHAMPIONSHIP SIZE MULTIPURPOSE FIELD
- #57 GRAVEL PARKING LOT, COMPACTED 6"
- PHASE 2 AREA
- FLAGPOLE (3)
- 20'x20' DUMPSTER PAD AND GATED ENCLOSURE
- LANDSCAPE PLANTING AREA (SEE LP SERIES)
- SEPTIC FIELD AREA
- JURISDICTIONAL DITCH

SHEET LEGEND

- PEDESTRIAN CONCRETE:
4" GREY CONCRETE SLAB. LIGHT BROOM FINISH. SEE DETAIL
- HARDWOOD MULCH:
4" MULCH ON COMPACTED SUBGRADE SEE DETAIL
- #57 STONE:
6" DEEP ON COMPACTED SUBGRADE - SEE DETAIL
- ASPHALT:
2" ASPHALTIC CONCRETE ON COMPACTED SUBGRADE, - SEE DETAIL
- LEACH FIELD FOR SEPTIC SYSTEM:
SEE CG SERIES.



A5 SITE PLAN
SCALE: 1" = 40'



FILE PATH: X:\FY23\1230819\07 CAD-BIM\07.02 CAD\CIVIL\CS101 PLOTTED BY: ROBERTS, LISA DATE: 10/21/24

1

2

3

4

5

GENERAL SHEET NOTES

- REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
 DRAWN BY: RB/LJR
 CHECKED BY: EBS
 SUBMITTED BY: LJR
 DATE: 3/29/2024
 PROJECT #: 1230819

SHEET TITLE

**OVERALL
UTILITY PLAN**

SHEET NUMBER

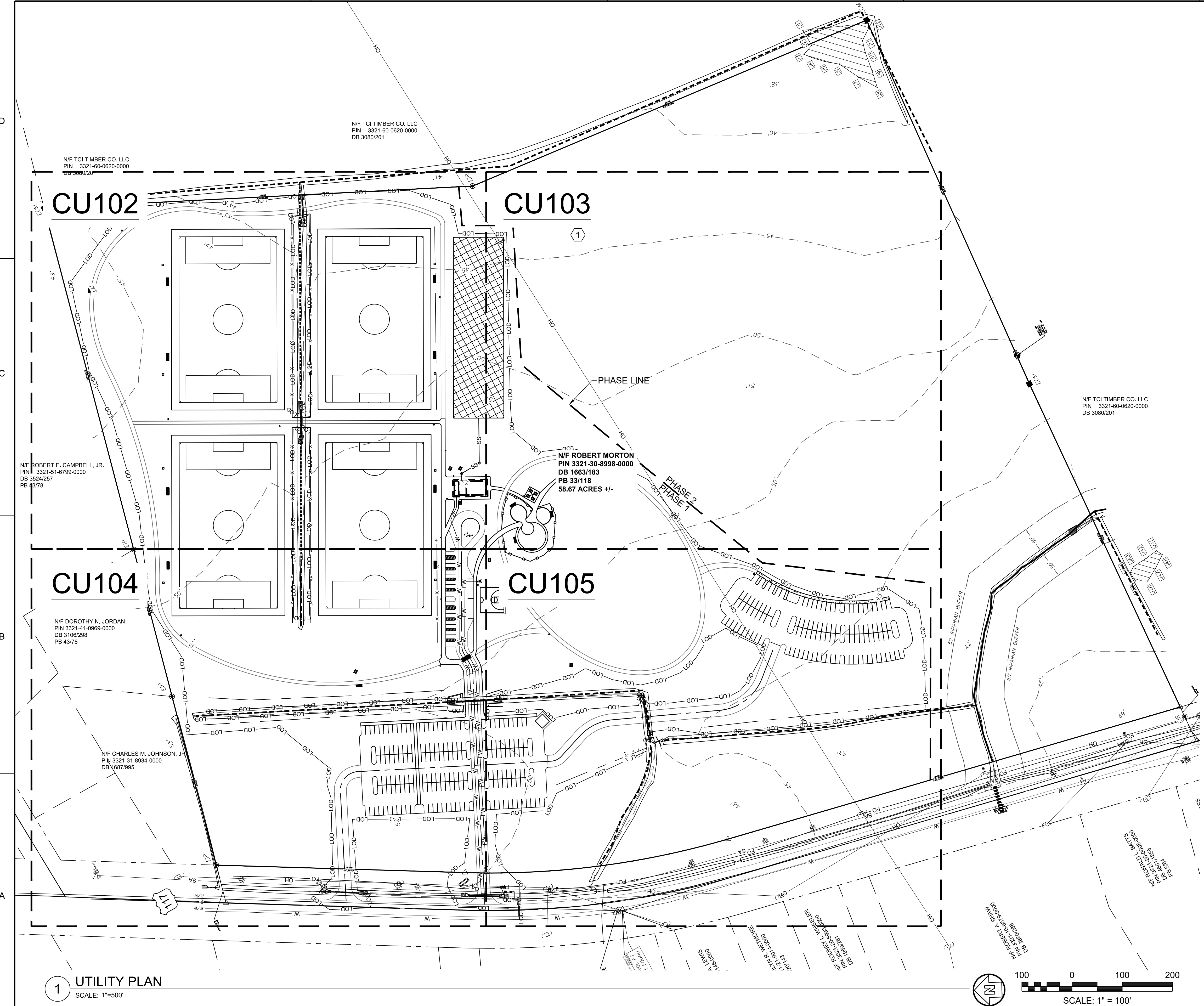
CU101

ORIGINAL SHEET SIZE:
22" X 34"

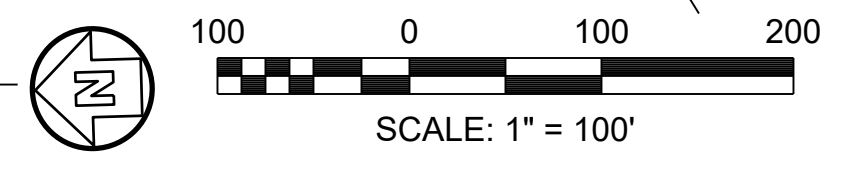
SHEET KEYNOTES

SHEET LEGEND

- SEE SHEET C-002 LEGEND AND ABBREVIATIONS



1 UTILITY PLAN
SCALE: 1"=500'



FILE PATH: I:\STARFIGHTER\PROJECTS\FY23\1230819\07-CAD-BIM\07.02-CAD\CIVIL\CU101 PLOTTED BY: ROBERTS, LISA DATE: 10/2/17

1

2

3

4

5

N/F TCI TIMBER CO. LLC
PIN 3321-60-0620-0000
DB 3080/201

4.3'

STAKE 516
C 3321-60-0620-0000
DB 3080/201

N/F ROBERT E. CAMPBELL, JR.
PIN 3321-51-6799-0000
DB 3524/257
PB 43/78

PHASE LINE

PHASE 2
PHASE 1

SEE SHEET CU103

SEE SHEET CU104

1 UTILITY PLAN ENLARGEMENT
SCALE: 1" = 40'



GENERAL SHEET NOTES

1. REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
2. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

SHEET KEYNOTES

1. PROP. 4" SANITARY SEWER
2. 4' SANITARY SEWER CLEANOUT
3. SEPTIC AREA (100' X 360')
4. JURISDICTIONAL DITCH
5. 2" DOMESTIC WATERLINE

SHEET LEGEND

1. SEE SHEET C-002 LEGEND AND ABBREVIATIONS



3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092

Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR

DRAWN BY: RB/LJR

CHECKED BY: EBS

SUBMITTED BY: LJR

DATE: 3/29/2024

PROJECT # 1230819

SHEET TITLE

**UTILITY PLAN
ENLARGEMENT**

SHEET NUMBER

CU102

ORIGINAL SHEET SIZE:
22" X 34"

50% DESIGN SUBMITTAL

FILE PATH: I:\STARFIGHTER\PROJECTS\FY23\1230819\07-CAD-BIM\07.02-CAD\CIVIL\CU101 PLOTTED BY: ROBERTS, LISA DATE: 10/2/17

GENERAL SHEET NOTES

- REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE	DESCRIPTION	MARK

DESIGNED BY: RB/LR
 DRAWN BY: RB/LJR
 CHECKED BY: EBS
 SUBMITTED BY: LJR
 DATE: 3/29/2024
 PROJECT #: 1230819

SHEET TITLE

**UTILITY PLAN
ENLARGEMENT**

SHEET NUMBER

CU103

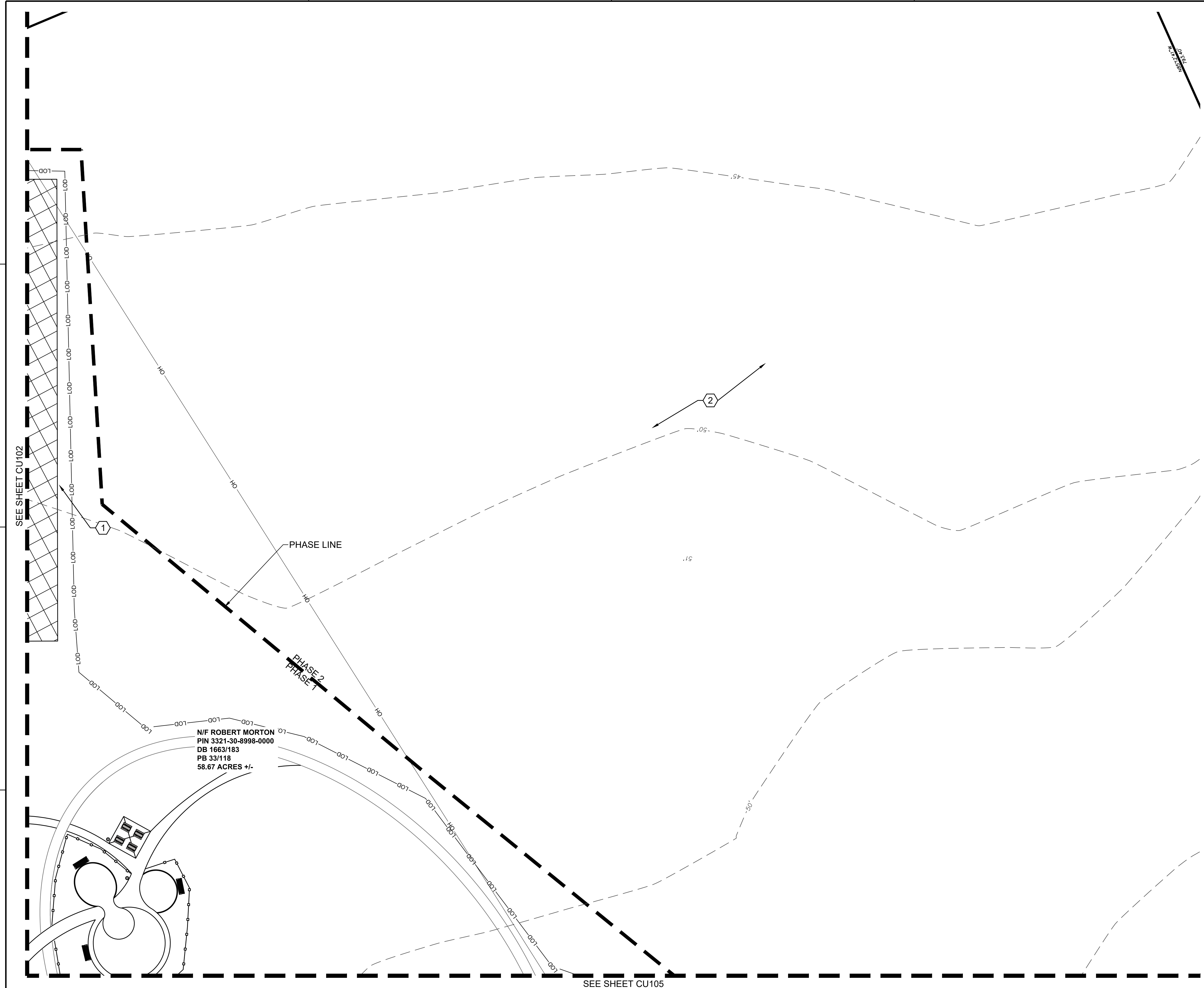
ORIGINAL SHEET SIZE:
22" X 34"

SHEET KEYNOTES

- SEPTIC AREA (100' X 360')
- FUTURE PHASE 2

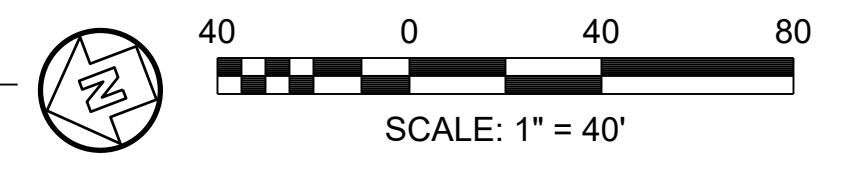
SHEET LEGEND

- SEE SHEET C-002 LEGEND AND ABBREVIATIONS

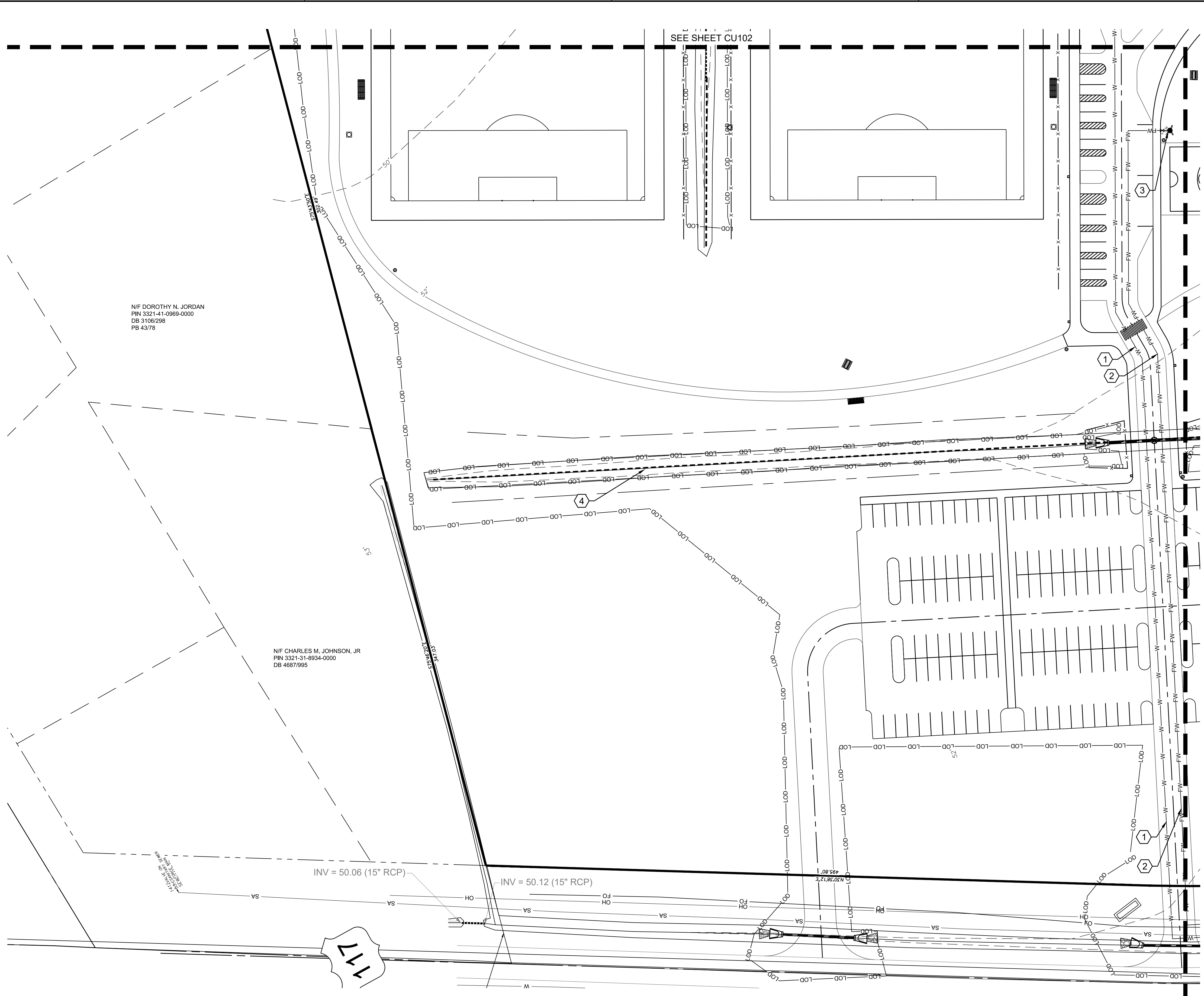


N/F ROBERT MORTON
 PIN 3321-30-8998-0000
 DB 1663/183
 PB 33/118
 58.67 ACRES +/-

1 UTILITY PLAN ENLARGEMENT
 SCALE: 1" = 40'



FILE PATH: I:\STARFIGHTER\PROJECTS\FY23\1230819\07.CAD\CIVIL\CU101 PLOTTED BY: ROBERTS, LISA DATE: 10/2/17



GENERAL SHEET NOTES

- REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

SHEET KEYNOTES

- 2" DOMESTIC WATERLINE
- 6" FIRE LINE
- PROPOSED FIRE HYDRANT ASSEMBLY
- JURISDICTIONAL DITCH

SHEET LEGEND

- SEE SHEET C-002 LEGEND AND ABBREVIATIONS

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION

 PENDER COUNTY
 Parks & Recreation

PROJECT NAME
**CENTRAL
 PENDER PARK**
 3387 US HWY 117 N
 BURGAW, NC
 28425

DRAWING ISSUE	DATE	DESCRIPTION	MARK

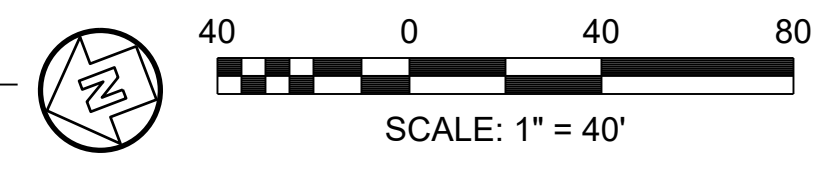
DESIGNED BY: RB/LR
 DRAWN BY: RB/LJR
 CHECKED BY: EBS
 SUBMITTED BY: LJR
 DATE: 3/29/2024
 PROJECT #: 1230819

SHEET TITLE
**UTILITY PLAN
 ENLARGEMENT**

SHEET NUMBER
CU104

ORIGINAL SHEET SIZE:
 22" X 34"

1 UTILITY PLAN ENLARGEMENT
 SCALE: 1" = 40'



FILE PATH: I:\STARFIGHTER\PROJECTS\FY23\1230819\07-CAD\CIVIL\CU101 PLOTTED BY: ROBERTS, LISA DATE: 10/2/17

GENERAL SHEET NOTES

- REFER TO SHEET C-001 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

CENTRAL PENDER PARK

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR

DRAWN BY: RB/LJR

CHECKED BY: EBS

SUBMITTED BY: LJR

DATE: 3/29/2024

PROJECT # 1230819

SHEET TITLE

UTILITY PLAN ENLARGEMENT

SHEET NUMBER

CU105

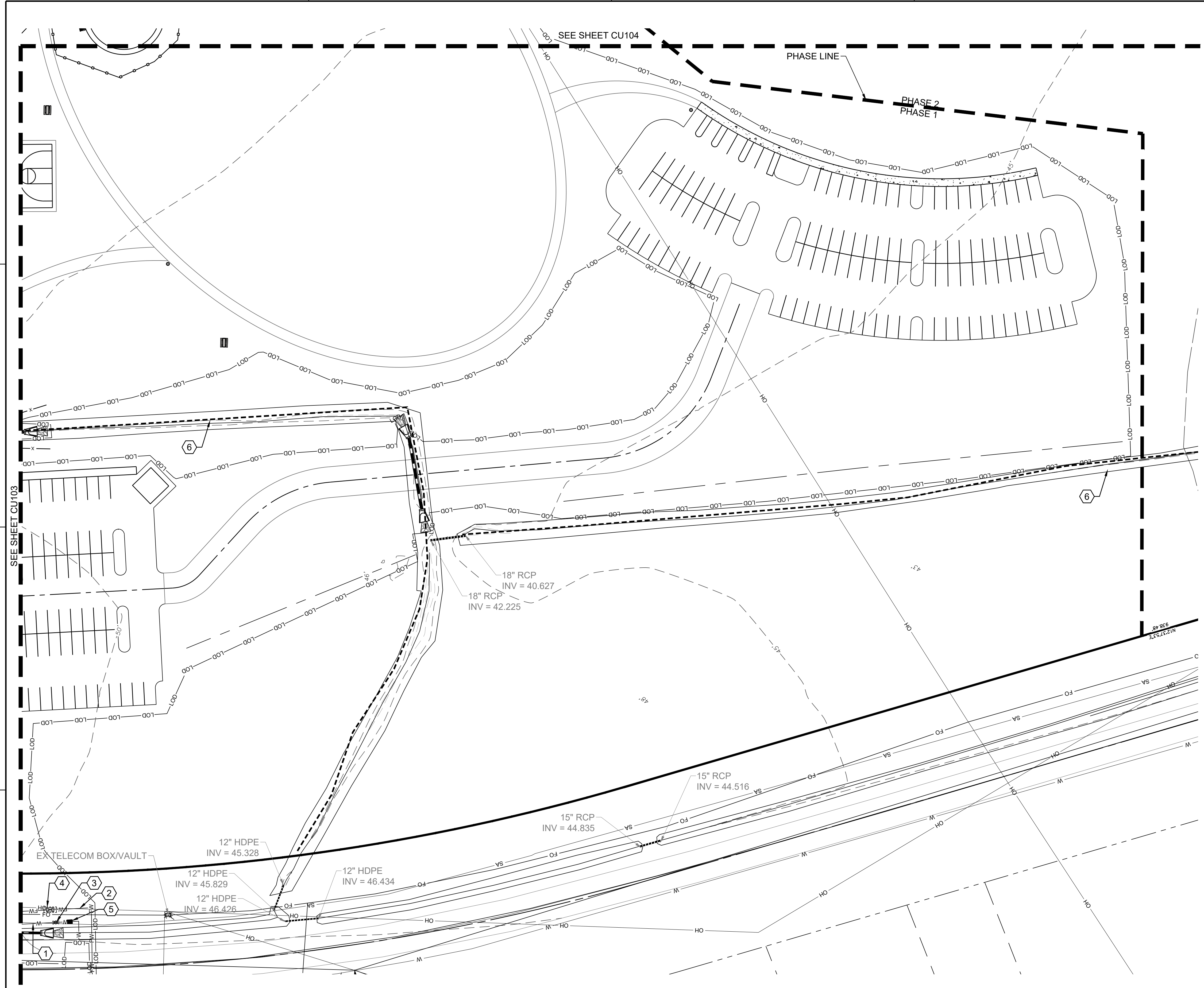
ORIGINAL SHEET SIZE:
22" X 34"

SHEET KEYNOTES

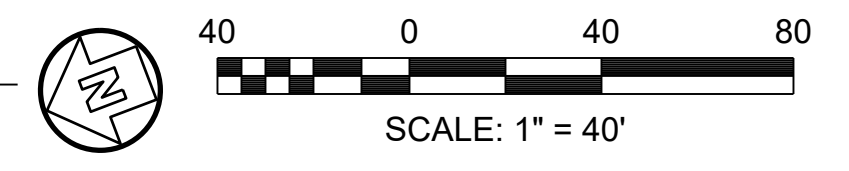
- 2" DOMESTIC WATERLINE
- 6" FIRELINE
- 2" ABOVE GROUND REDUCED PRESSURE ASSEMBLY
- 6" ABOVE GROUND REDUCED PRESSURE ASSEMBLY
- 2" WATER METER
- JURISDICTIONAL DITCH

SHEET LEGEND

- SEE SHEET C-002 LEGEND AND ABBREVIATIONS



1 UTILITY PLAN ENLARGEMENT
SCALE: 1" = 40'



FILE PATH: I:\STARFIGHTER\PROJECTS\FY23\1230819\07-CAD\CIVIL\CU101 PLOTTED BY: ROBERTS, LISA DATE: 10/21/7

GENERAL PLANTING NOTES:

LANDSCAPE CONSTRUCTION.

- 1. THE "DESIGN PROFESSIONAL" AS REFERENCED IN THESE NOTES REFERS TO THE LANDSCAPE ARCHITECT/DESIGN FIRM REPRESENTATIVE, THE OWNER'S REPRESENTATIVE, OR THE OWNER, DEPENDING ON THE PROJECT CONTRACT.
- 2. THE CONTRACTOR WILL SCHEDULE A PRE-CONSTRUCTION MEETING WITH DESIGN PROFESSIONAL TO REVIEW PROJECT LANDSCAPE REQUIREMENTS.
- 3. ANY SPECIFIC GENERAL CONTRACT TERMS AND CONDITIONS THAT SUPERCEDE THE PLANTING NOTES IN THE DRAWINGS AND/OR SPECIFICATIONS MUST BE NOTED BY THE CONTRACTOR TO THE OWNER DURING CONTRACT NEGOTIATION.
- 4. CONTRACTOR'S PRICE MUST INCLUDE ALL LABOR AND MATERIAL NECESSARY TO COMPLETE THE WORK, I.E. MULCH, PLANTING, SOIL MIX, STAKING MATERIAL, WATERING, MAINTENANCE DURING CONSTRUCTION, ETC.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES SHOWN ON THESE DRAWINGS BEFORE PRICING THE WORK, AND WILL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIAL ACCORDING TO PLAN. THE PLANT SCHEDULE IS PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY.
- 7. PROVIDE PLANT MATERIALS TRUE TO SPECIES AND VARIETY/CULTIVAR COMPLYING WITH RECOMMENDATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERY MEN.
- 8. PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIAL INSTALLED PRIOR TO DESIGN PROFESSIONAL'S APPROVAL MUST BE DONE WITHOUT PENALTY OR ADDITIONAL COST TO OWNER. STAKE PLANT LOCATIONS AT SITE AND OBTAIN DESIGN PROFESSIONAL'S APPROVAL PRIOR TO PLANT INSTALLATION.
- 9. DESIGN PROFESSIONAL WILL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS WILL BE AVAILABLE AT TIME OF PLANTING. NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ACCEPTED UNLESS APPROVED WITHIN FOUR (4) WEEKS OF PROJECT AWARD IN WRITING BY THE DESIGN PROFESSIONAL, WHO RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY.
- 11. CONTRACTOR MAY MAKE MATERIAL ORDERS OR OBTAIN GROWING CONTRACTS FROM NURSERIES AT THE BEGINNING OF THE CONTRACT IN ANTICIPATION OF PLANTING AT A LATER DATE. PROVIDE PROVISIONS THAT ANY ORDERS OR CONTRACTS WILL REVERT TO THE OWNER DUE TO CONTRACTOR DEFAULT OR OTHER UNFORESEEN CIRCUMSTANCE.
- 12. IN ORDER TO BE CONSIDERED AS VIABLE ALTERNATES, PLANTS MUST SHARE THE SAME GENERAL APPEARANCE/FORM, INSTALLATION SIZE, MATURE SIZE, COLOR, QUALITY AND GROWTH HABIT. MATERIALS MUST BE OFFERED AT NO ADDITIONAL COSTS TO THE OWNER.
- 13. LANDSCAPE WORK WILL BE SCHEDULED TO BE AT A TIME OF YEAR MOST CONDUCIVE FOR ESTABLISHMENT. ANY MATERIAL SPECIFIED THAT CANNOT BE SUPPLIED DUE TO TIME OF YEAR FOR TRANSPLANTING (e.g. "SUMMER DUG") WILL BE SCHEDULED AT THE APPROPRIATE SEASON AFTER INSTALLATION OF OTHER MATERIAL IF NECESSARY. ANY PLANTING AFTER SUBSTANTIAL COMPLETION AS A RESULT MUST BE COMPLETED AT NO ADDITIONAL COST TO OWNER.
- 14. ALL PLANTS MUST BE HEALTHY, VIGOROUS, FREE OF PESTS AND DISEASE.
- 15. ALL PLANTS MUST BE CONTAINER-GROWN, OR BALLED AND BURLAPPED AS SPECIFIED.
- 16. LOCATE AND VERIFY ALL UTILITY LOCATIONS AND EXISTING STRUCTURES IN AND AROUND THE SITE PRIOR TO WORK. BE FAMILIAR WITH UNDERGROUND UTILITIES BEFORE DIGGING. MAINTAIN EXISTING UTILITIES AND STRUCTURES AND PROTECT AGAINST DAMAGE DURING THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES TO EXISTING UTILITIES, STRUCTURES, PAVING AND/OR WORK OF OTHER TRADES RESULTING FROM

- 17. THE CONTRACTOR WILL NOTIFY ALL NECESSARY UTILITY COMPANIES 72 HRS MINIMUM PRIOR TO DIGGING FOR FIELD VERIFICATION OF ALL UNDERGROUND UTILITIES, AND OTHER ELEMENTS, AND COORDINATE WITH THE DESIGN PROFESSIONAL PRIOR TO INITIATING OPERATIONS. THE CONTRACTOR MUST AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF WORK.
- 18. CONTRACTOR MUST PROTECT ALL EXISTING PLANT MATERIALS INDICATED ON PLANS TO REMAIN. ALL PLANT MATERIAL INDICATED TO REMAIN THAT IS DAMAGED BY THE CONTRACTOR MUST BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITH THE SAME SIZE, QUALITY, AND TYPE OF PLANT MATERIAL OR AS REQUIRED BY THE LOCAL REVIEWING AUTHORITY, WHICHEVER HAS A GREATER RECOMPENSE VALUE.
- 19. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO DATE OF SUBSTANTIAL COMPLETION OF THE WORK) MUST BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL THE PLANT LIST SPECIFICATIONS.
- 20. PLANTS MUST BE SPECIMEN QUALITY, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF DISEASES, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS AND/OR DISFIGUREMENT.
- 21. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT MUST BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50 PERCENT OF THE PLANTS MUST BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
- 22. HARDWOOD TREES MUST HAVE STRAIGHT TRUNKS WITH CENTRAL LEADERS, FULL HEADED, AND MEET ALL REQUIREMENTS SPECIFIED. DO NOT HANDLE PLANTS BY THE TRUNK.
- 23. PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- 24. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF MUST BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- 25. MULCH: PROVIDE 3" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. UTILIZE SHREDDED, AGED HARDWOOD MULCH.
- 26. LEAVES: MUST BE OF MEDIUM FOLIAGE, ALL GOOD LEAVES, MAXIMUM OF 10% CHLOROSIS ALLOWED, WITH NO EXTREME SUCCULENCE.
- 27. IF DRAINAGE IS NOT SUFFICIENT NOTIFY THE DESIGN PROFESSIONAL IN WRITING BEFORE INSTALLING THE PLANTS. OTHERWISE CONTRACTOR IS RESPONSIBLE FOR THE GUARANTEE AND LIVABILITY OF THE PLANT.
- 28. THE CONTRACTOR MUST PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES
- 29. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE DESIGN PROFESSIONAL PRIOR TO STARTING CONSTRUCTION. FOLLOW THE DESIGN PROFESSIONAL'S INSTRUCTIONS ON RESOLVING ANY DISCREPANCIES.
- 30. UNLESS OTHERWISE SPECIFIED DUE TO SOIL CONDITIONS, SET ROOT FLARE OF ROOTBALL LEVEL WITH SURROUNDING GRADE. ROOT SYSTEM MUST BE AS SPECIFIED IN PLANT SCHEDULE:
 - A. BALLED AND BURLAPPED: ROOTS MUST BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN TIGHTLY WRAPPED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED. WHERE WIRE BASKETS ARE USED ON TREES OR SHRUBS, CUT BURLAP AND WIRE BACK TO ¼ THE BASE OF ROOTBALL AND REMOVE FROM PLANTING HOLE. REMOVE ALL STRAPS, WIRE STRAP HANGERS, ETC. FROM ROOTBALL. DO NOT ALLOW REMAINING WIRE TO PROTRUDE INTO MULCH OR TOPSOIL AREAS.

- B. CONTAINER GROWN: CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING DESIGN PROFESSIONAL OF ROOT BOUND SPECIMENS. REMOVE CONTAINER AND SCARIFY OR SHAVE ROOTBALL AS NEEDED TO REMEDIATE ROOT BOUND CONDITION. PULL SURFACE ROOTS AT TOP OF ROOTBALL OUT IN A DIRECTIONAL PATTERN TO DISCOURAGE CIRCLING ROOTS.
- 31. STAKING IS ONLY TO BE INSTALLED IN SPECIAL CIRCUMSTANCES AT THE DIRECTION OF THE DESIGN PROFESSIONAL. ANY STAKING MATERIAL MUST BE REMOVED AT THE END OF THE WARRANTY PERIOD.
- 32. IN THE CASE OF LANDSCAPING WORK INDICATED OUTSIDE THE LIMIT OF DISTURBANCE ON THE DRAWINGS, THE CONTRACTOR WILL CLEAR ANY UNDERGROWTH IN THE AREA REQUIRED FOR PLANTING. THIS INCLUDES THE DEMOLITION OF ANY INVASIVE VEGETATION INCLUDING, BUT NOT LIMITED TO, ENGLISH IVY, CHINESE PRIVET, WISTERIA, AND ELEAGNUS.
- 33. PLANTING PITS IN AREAS OUTSIDE THE LIMIT OF DISTURBANCE IN WOODED AREAS MAY BE REDUCED FROM THREE TIMES THE WIDTH OF THE PLANTING HOLE TO TWO TIMES THE WIDTH.
- 34. ALL PLANTS TO BE INSTALLED WILL BE FIELD LOCATED TO AVOID EXISTING IMPACT TO NATIVE PLANTS AND STRUCTURAL ROOT PLATES OF EXISTING TREES. COORDINATE WITH DESIGN PROFESSIONAL.

PLANTING SOIL MIX NOTES:

- 1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROCURING A LANDSCAPE SOIL REPORT FROM XXXX, OR OTHER VENDOR.
- 2. THE LANDSCAPE CONTRACTOR MUST SUPPLY ALL TOPSOIL, PLANTING SOIL MIX AND OTHER ADDITIVES AND MUST APPROVED BY THE DESIGN PROFESSIONAL PRIOR TO ANY BACKFILLING.
- 3. THE TYPICAL PLANTING SOIL MIX FOR ON-GRADE PLANTINGS (TREES, SHRUBS & GROUND COVERS) MUST CONSIST OF THE FOLLOWING UNLESS OTHERWISE INDICATED ON THE DRAWINGS:
 - 3.1. 60% TOPSOIL (AS SPECIFIED), 40% MR. NATURAL CLM (COMPLETE LANDSCAPE MIX) BY ITSALNATURAL,LLC, OR AS NOTED BELOW AS AN EQUIVALENT 40% OF PREPARED ADDITIVES (BY VOLUME AS FOLLOWS):
 - 3.1.1. 2 PARTS HUMUS AND/OR PEAT, 1 PART STERILIZED COMPOSTED COW MANURE
 - 3.1.2. 1 PART SHREDDED PINE BARK (BARK PIECES BETWEEN ½ INCH AND 2 INCHES IN LENGTH)
 - 3.1.3. COMMERCIAL FERTILIZER OR LIME AS RECOMMENDED IN SOIL REPORT (IF ANY).
- 4. TYPICAL PLANTING SOIL MIX FOR PERENNIAL OR SEASONAL COLOR BEDS CONSIST OF TOPSOIL AND THE FOLLOWING SOIL AMENDMENTS BY VOLUME:
 - 4.1. 40% TOPSOIL (AS SPECIFIED)
 - 4.2. 25 % HUMUS 15% PULVERIZED PINE BARK MULCH (FINGERNAIL SIZED CHIPS - 1/4 INCH MAX.
 - 4.3. 5% STERILIZED COMPOSTED COW MANURE
 - 4.4. 5 % SAND (ANGULAR BUILDERS SAND) LIME AT A RATE OF 5 LBS. PER 50 SQ. FEET (ADJUST FOR ALKALINE SOILS).
 - 4.5. COMMERCIAL FERTILIZER OR LIME AS RECOMMENDED IN SOIL REPORT (IF ANY).

WATERING/IRRIGATION:

- 1. WATERING AFTER INSTALLATION AND WATER TRANSPORTATION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
- 2. USE OF TREE CAMEL, OOZE TUBES OR TREE GATOR BAGS FOR TREES ARE REQUIRED IF A TEMPORARY IRRIGATION SYSTEM IS NOT INSTALLED.
- 3. INSTALLATION OF A PERMANENT IRRIGATION SYSTEM IS NOT PROPOSED. THE CONTRACTOR MAY CHOOSE TO INSTALL A TEMPORARY IRRIGATION SYSTEM IN ORDER TO ESTABLISH INSTALLED PLANT MATERIAL. SUBMIT A PLAN FOR A TEMPORARY SYSTEM TO THE DESIGN PROFESSIONAL FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. THE SYSTEM SHALL BE DESIGNED TO PROVIDE FULL AND COMPLETE COVERAGE TO ALL LANDSCAPED AREAS OF THE SITE INDICATED ON THE LANDSCAPE PLAN.

- 4. ALL MATERIALS USED IN THE DESIGN OF THE TEMPORARY SYSTEM, INCLUDING SPRINKLER HEADS, VALVES, VALVE BOXES, CONTROLLERS, PUMPS, BACKFLOW PREVENTORS, RAIN AND FREEZE SENSORS, DRIP EQUIPMENT, WIRE, ELECTRICAL CONNECTIONS, AND PVC PIPE AND FITTINGS, MUST MEET MINIMUM INDUSTRY STANDARDS. MANUFACTURER AND MODEL MUST BE SPECIFIED.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY SYSTEM AFTER SUBSTANTIAL COMPLETION IS OBTAINED.
- 6. IF PLANTING AREAS ARE NOT IRRIGATED OR IF IRRIGATION IS NOT OPERATING, HAND WATER ROOT BALLS (OR PLANT BEDS FOR GROUNDCOVERS) OF ALL PLANTS TO ASSURE THAT THE ROOTS HAVE ADEQUATE MOISTURE. TEST THE MOISTURE CONTENT IN EACH ROOTBALL TO DETERMINE WATER CONTENT. THE CONTRACTOR MUST INSTALL ONE SET OF WATERING BAGS FOR EACH TREE TO BE MAINTAINED (AND NOT IRRIGATED) FOR TREE WATERING DURING THE WARRANTY PERIOD. WATERING BAGS MUST BE REMOVED BETWEEN DECEMBER 1 AND MARCH 1.
- 7. IF NO TEMPORARY SYSTEM IS PROPOSED, THE CONTRACTOR WILL DEVELOP A SCHEDULE FOR MANUAL WATERING OF PLANTS. THIS SCHEDULE SHOULD BE INCLUDED IN ANY MAINTENANCE AGREEMENT AND/OR BONDING OF LANDSCAPE MATERIAL AND SHOULD INDICATE THE PARTY RESPONSIBLE FOR PERFORMING THE MANUAL WATERING. THE DURATION OF THE SCHEDULE OF MANUAL WATERING SHOULD BE EQUAL TO THE DURATION OF THE BOND PERIOD OR 12 MONTHS STARTING FROM THE INSTALLATION DATE, WHICHEVER IS GREATER. THE SCHEDULE SHOULD ALSO INDICATE THE AMOUNT OF WATER TO BE APPLIED PER WEEK. THE FOLLOWING IRRIGATION RATES ARE OFFERED AS A GUIDELINE; HOWEVER, THE SUPPLIER OF THE LANDSCAPE MATERIAL SHOULD BE CONSULTED FOR THEIR RECOMMENDATIONS.

- TREES: MUST BE WATERED DAILY FOR MONTH 1, EVERY OTHER DAY FOR MONTHS 2-4, AND WEEKLY FOR MONTHS 5-12. APPLY 8 GALLONS PER 4" CALIPER TREE PER APPLICATION. ADJUST RATE TO LOCAL RAINFALL AMOUNT. (ASSUME 30 GALLONS PER TREE FOR EVERY INCH OF RAINFALL).
- SHRUBS: MUST BE WATERED DAILY FOR MONTH 1, EVERY OTHER DAY FOR MONTHS 2-4, AND WEEKLY FOR MONTHS 5-12. APPLY 1 GALLON PER SHRUB PER APPLICATION. ADJUST RATE TO LOCAL RAINFALL AMOUNT. (ASSUME 2 GALLONS PER SHRUB FOR EVERY INCH OF RAINFALL)
- TURF: MUST RECEIVE 1-INCH OF IRRIGATION PER WEEK APRIL THROUGH SEPTEMBER, 1/2-INCH OF IRRIGATION OCTOBER THROUGH MARCH. ADJUST RATE TO LOCAL RAINFALL AMOUNT.
- NATIVE GRASS BEDS: WATER EVERY OTHER DAY FOR THE FIRST MONTH. ONLY CONTINUE WATERING AFTER THAT ONLY DURING EXTENDED OR FORECASTED DRY PERIODS, AND THEN, ONLY ONCE PER WEEK.

MULCHING:

- 1. MULCH TOP OF ROOT BALLS AND PLANTING BEDS, COVERING THE ENTIRE PLANTING BED AREA. PROVIDE THE FOLLOWING THICKNESS OF MULCH. TOP OF MULCH MUST BE SMOOTH AND EVEN IN ALL DIRECTIONS.
 - A. TREE SHRUB AND GROUND COVER PLANTING AREAS: 3-INCH DEPTH CONTINUOUS FROM PLANT TO PLANT. DEPTH IS DEPTH AFTER SETTILING.
 - B. PERENNIAL PLANTING AREAS: 3-INCH DEPTH CONTINUOUS FROM PLANT TO PLANT. DEPTH IS DEPTH AFTER SETTILING.
- 2. IN NO CASE WILL MULCH COME IN CONTACT WITH ANY PART OF TRUNK OR ROOT FLARE.
- 3. APPLY MULCH AFTER ALL PLANTS HAVE BEEN INSTALLED AND APPROVED.
- 4. CONTRACTOR MUST NOT OVER-MULCH PLANTING BEDS WITH EXCESS MULCH. EXCESS MULCH MUST BE REMOVED AND DISPOSED OF OFF-SITE.
- 5. LIFT ALL LEAVES, LOW HANGING STEMS AND OTHER GREEN PORTIONS OF PLANTS OUT OF THE MULCH IF COVERED.

WARRANTY:

- 1. THE CONTRACTOR MUST COMPLETELY WARRANTY ALL

- PLANT MATERIAL AS INDICATED BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. MAINTENANCE WORK MUST BE PERFORMED UNTIL DATE OF FINAL ACCEPTANCE BY OWNER. THE CONTRACTOR MUST PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTY PERIOD.
- 2. INSTALLER AGREES TO REPAIR OR REPLACE PLANTINGS AND ACCESSORIES THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN SPECIFIED WARRANTY PERIOD.
 - A. WARRANTY PERIOD FOR TREES AND SHRUBS: ONE-YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
 - B. WARRANTY PERIOD FOR VINES AND PERENNIALS: ONE-YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- 3. PLANTS MUST BE HEALTHY, FREE OF PESTS AND DISEASE, AND IN FLOURISHING CONDITION AT THE END OF THE WARRANTY PERIOD. PLANTS MUST BE FREE OF DEAD AND DYING BRANCHES AND BRANCH TIPS, AND MUST BEAR FOLIAGE OF NORMAL DENSITY, SIZE, AND COLOR FOR THE SPECIES.
- 4. PLANTS THAT ARE DEAD, DISEASED, INSECT INFESTED, OR NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE DESIGN PROFESSIONAL DURING OR AT THE END OF THE WARRANTY PERIOD, WILL BE DEEMED DEFECTIVE. PLANTS THAT HAVE HAD MORE THAN 25% OF THEIR BRANCHES DIE OR REMOVED MUST BE REPLACED. PLANTS THAT HAVE HAD A MAJOR BRANCH OR SIDE OF THE PLANT REMOVED SUCH THAT CURRENT OR FUTURE AESTHETIC APPEAL OR STRUCTURAL INTEGRITY OF THE PLANT, AS DETERMINED BY THE DESIGN PROFESSIONAL, IS DIMINISHED WILL BE CONSIDERED DEFECTIVE. PLANT MATERIAL DETERMINED TO BE DEFECTIVE MUST BE REPLACED WITHOUT COST TO THE OWNER.
 - A. REMOVE DEFECTIVE OR DEAD PLANTS IMMEDIATELY. REPLACE AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN ONE OF THE SPECIFIED PLANTING PERIODS.
- 5. REPLACEMENTS MUST CLOSELY MATCH ADJACENT SPECIMENS OF THE SAME SPECIES. REPLACEMENTS WILL BE SUBJECT TO ALL REQUIREMENTS STATED IN THIS SPECIFICATION. MAKE ALL NECESSARY REPAIRS DUE TO PLANT REPLACEMENTS. SUCH REPAIRS MUST BE DONE AT NO EXTRA COST TO THE OWNER.
- 6. AT THE END OF THE WARRANTY PERIOD, AND NO LESS THAN FIVE DAYS PRIOR TO FINAL INSPECTION, TREE TIES AND GUYING MUST BE REMOVED FROM THE SITE. ALL TREES THAT HAVE LEANED MUST BE STRAIGHTENED.

MAINTENANCE PERIOD:

- 1. THE CONTRACTOR IS REQUIRED TO PROVIDE A 60 DAY LANDSCAPE MAINTENANCE PERIOD INCLUDING WEEDING, MOWING, RE-MULCHING AND WATERING BASED ON THE REQUIREMENTS NOTED ON THIS SHEET UNDER "WATERING/IRRIGATION."
- 2. MAINTENANCE PERIOD WILL BEGIN IMMEDIATELY AFTER FINAL ACCEPTANCE HAS BEEN PROVIDED IN WRITING BY THE OWNER.



3500 Parkway Lane Suite 500 Peachtree Corners Georgia 30092

Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

CENTRAL PENDER PARK

3387 US HWY 117 N BURGAW, NC 28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RBL/R DRAWN BY: RBL/LR CHECKED BY: EBS SUBMITTED BY: LJR DATE: 3/29/2024 PROJECT #: 1230819

SHEET TITLE

LANDSCAPE NOTES

SHEET NUMBER

L-001

ORIGINAL SHEET SIZE: 22" X 34"

1

2

3

4

5

GENERAL SHEET NOTES

- REFER TO SHEET C-001 AND C-002 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.



3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092

Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
DRAWN BY: RB/LJR
CHECKED BY: EBS
SUBMITTED BY: LJR
DATE: 3/29/2024
PROJECT #: 1230819

SHEET TITLE



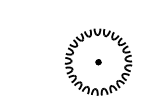

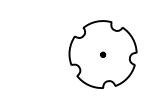
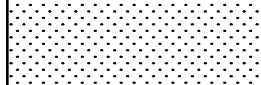

**OVERALL
LANDSCAPE
PLAN**

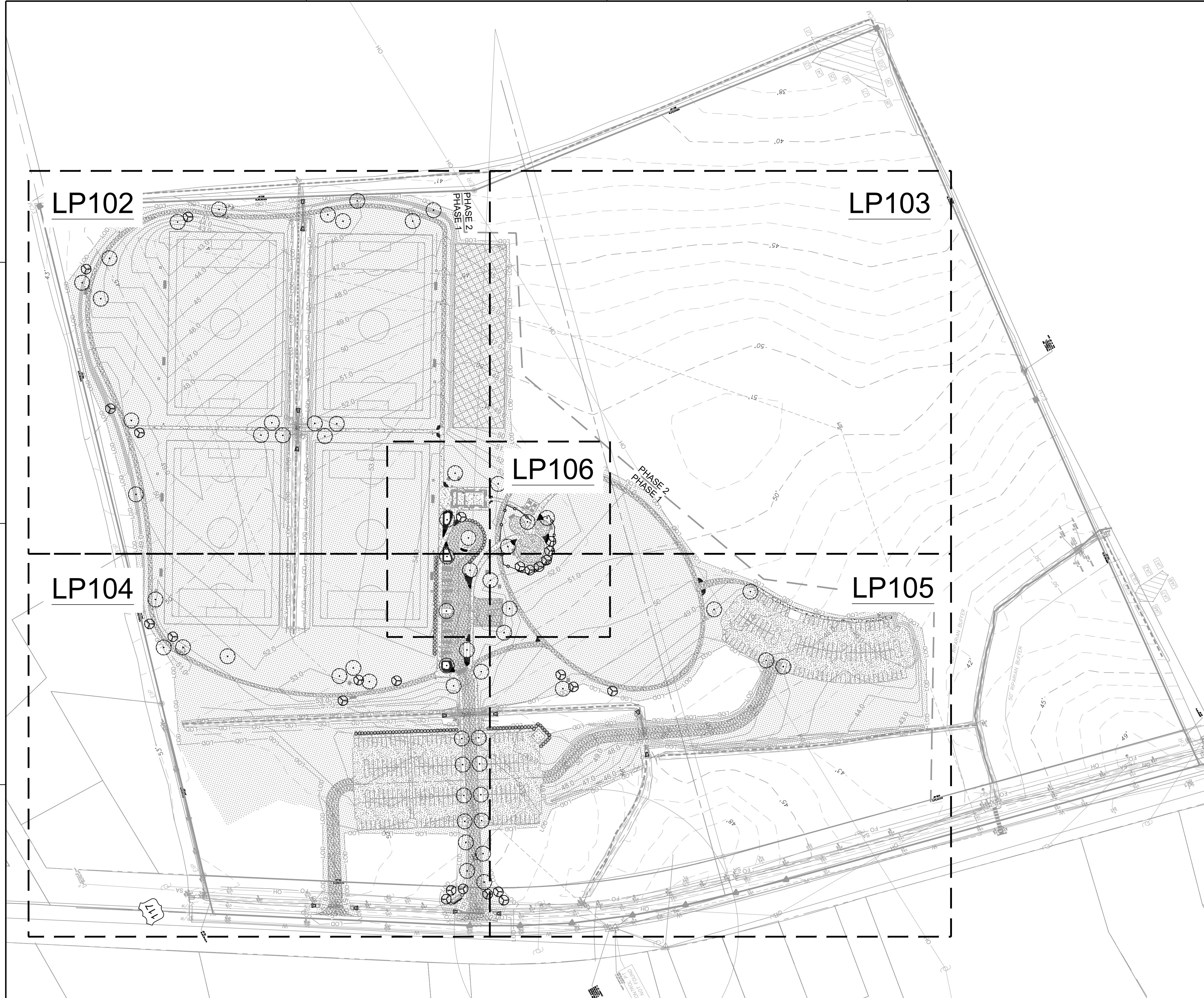
SHEET NUMBER

LP101

ORIGINAL SHEET SIZE:
22" X 34"

SHEET LEGEND

-  CANOPY TREE 6/L-502
-  UNDERSTORY TREE 6/L-502
-  ACCENT SHRUB 6/L-502
-  GRASSES 6/L-502
-  SCREENING SHRUB 6/L-502
-  SEEDED GRASS AREA (TIFWAY 419 BERMUDA GRASS)
-  MULCH BASE



1 OVERALL LANDSCAPE PLAN
SCALE: 1" = 100'



FILE PATH: X:\FY23\1230819\07 CAD-BIM\07.02 CAD\CIVIL\LP101 PLOTTED BY: ROBERTS, LISA DATE: 10/2/17

GENERAL SHEET NOTES

1. REFER TO SHEET C-001 AND C-002 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
2. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.



3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092

Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
DRAWN BY: RB/LJR
CHECKED BY: EBS
SUBMITTED BY: LJR
DATE: 3/29/2024
PROJECT #: 1230819

SHEET TITLE

**LANDSCAPE
PLAN**

SHEET NUMBER

LP102

ORIGINAL SHEET SIZE:
22" X 34"

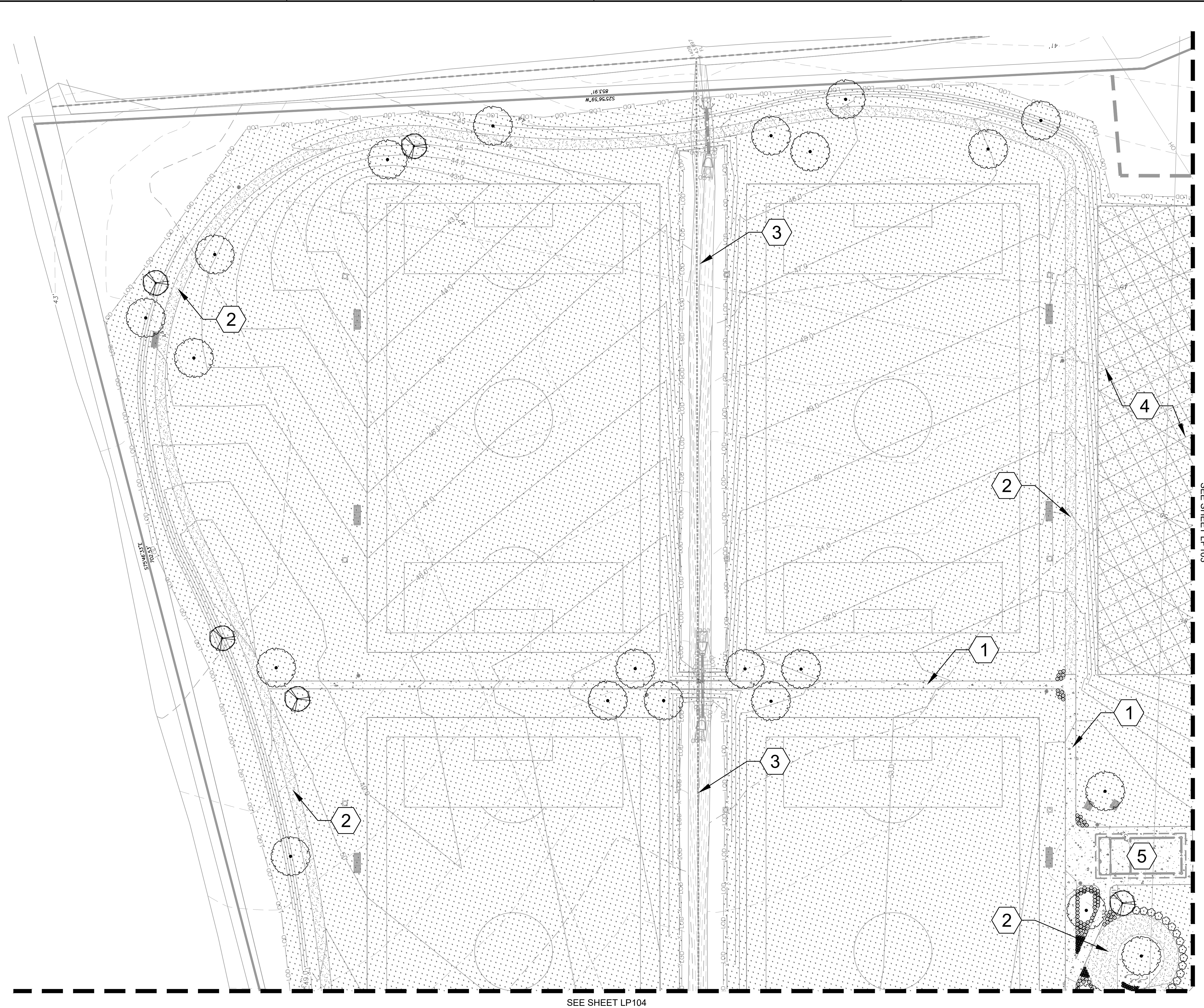
SHEET KEYNOTES

1. CONCRETE SIDEWALK
2. ASPHALT PATH
3. JURISDICTIONAL DITCH
4. SEPTIC FIELD AREA. SEE CG SERIES.
5. CONCESSIONS/RESTROOM BUILDING (DESIGN BY OTHERS). 8/L-501.
6. PLAY STRUCTURES ON MULCH BASE. 5/L-501, 6/L-501, 7/L-501.

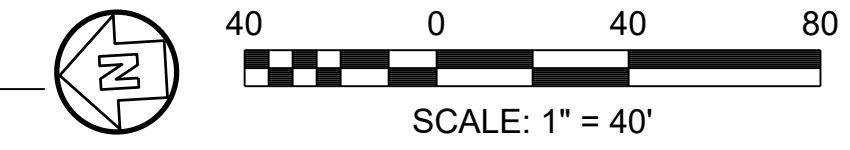
SHEET LEGEND

- CANOPY TREE 6/L-502
- UNDERSTORY TREE 6/L-502
- ACCENT SHRUB 6/L-502
- GRASSES 6/L-502
- SCREENING SHRUB 6/L-502
- SEEDED GRASS AREA (TIFWAY 419 BERMUDA GRASS)
- MULCH BASE

KEY PLAN



1 LANDSCAPE PLAN
SCALE: 1" = 40'



FILE PATH: X:\FY23\1230819\07 CAD-BIM\07.02 CAD\CIVIL\LP101 PLOTTED BY: ROBERTS, LISA DATE: 10/2/17

1

2

3

4

5

SEE SHEET LP102

GENERAL SHEET NOTES

1. REFER TO SHEET C-001 AND C-002 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
2. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
 DRAWN BY: RB/LJR
 CHECKED BY: EBS
 SUBMITTED BY: LJR
 DATE: 3/29/2024
 PROJECT #: 1230819

SHEET TITLE

**LANDSCAPE
PLAN**

SHEET NUMBER

LP103

ORIGINAL SHEET SIZE:
22" X 34"

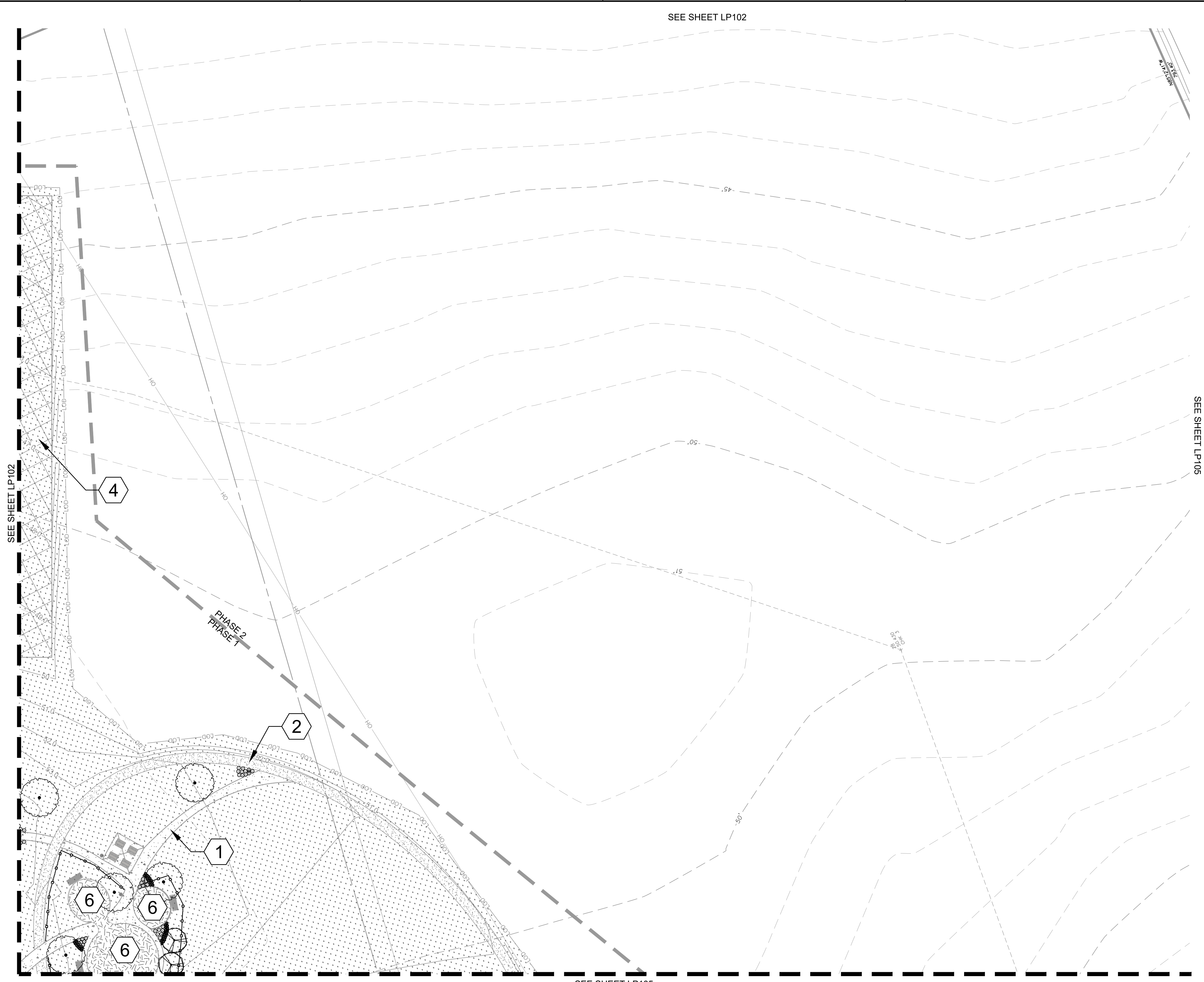
SHEET KEYNOTES

1. CONCRETE SIDEWALK
2. ASPHALT PATH
3. JURISDICTIONAL DITCH
4. SEPTIC FIELD AREA. SEE CG SERIES.
5. CONCESSIONS/RESTROOM BUILDING (DESIGN BY OTHERS). 8/L-501.
6. PLAY STRUCTURES ON MULCH BASE. 5/L-501, 6/L-501, 7/L-501.

SHEET LEGEND

- CANOPY TREE 6/L-502
- UNDERSTORY TREE 6/L-502
- ACCENT SHRUB 6/L-502
- GRASSES 6/L-502
- SCREENING SHRUB 6/L-502
- SEEDED GRASS AREA (TIFWAY 419 BERMUDA GRASS)
- MULCH BASE

KEY PLAN



1 LANDSCAPE PLAN
SCALE: 1" = 40'



FILE PATH: X:\FY23\1230819\07 CAD-BIM\07.02 CAD\CIVIL\LP101 PLOTTED BY: ROBERTS, LISA DATE: 10/21/7

SEE SHEET LP102

GENERAL SHEET NOTES

1. REFER TO SHEET C-001 AND C-002 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
2. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.



3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092

Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
DRAWN BY: RB/LJR
CHECKED BY: EBS
SUBMITTED BY: LJR
DATE: 3/29/2024
PROJECT #: 1230819

SHEET TITLE

**LANDSCAPE
PLAN**

SHEET NUMBER

LP104

ORIGINAL SHEET SIZE:
22" X 34"

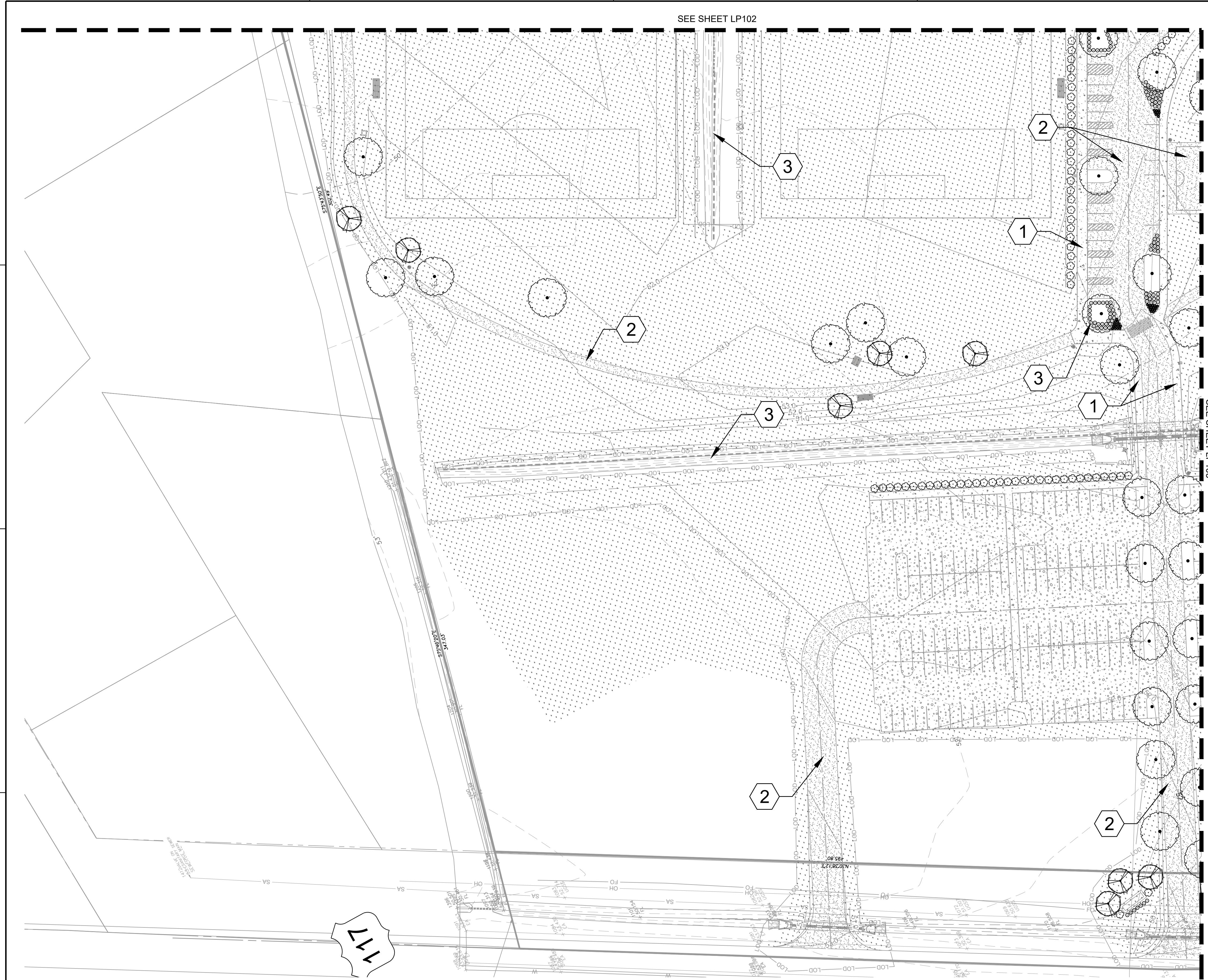
SHEET KEYNOTES

1. CONCRETE SIDEWALK
2. ASPHALT PATH
3. JURISDICTIONAL DITCH
4. SEPTIC FIELD AREA. SEE CG SERIES.
5. CONCESSIONS/RESTROOM BUILDING (DESIGN BY OTHERS). 8/L-501.
6. PLAY STRUCTURES ON MULCH BASE. 5/L-501, 6/L-501, 7/L-501.

SHEET LEGEND

- CANOPY TREE 6/L-502
- UNDERSTORY TREE 6/L-502
- ACCENT SHRUB 6/L-502
- GRASSES 6/L-502
- SCREENING SHRUB 6/L-502
- SEEDED GRASS AREA (TIFWAY 419 BERMUDA GRASS)
- MULCH BASE

KEY PLAN



SEE SHEET LP105

1 LANDSCAPE PLAN
SCALE: 1" = 40'



FILE PATH: X:\FY23\1230819\07 CAD-BIM\07.02 CAD\CIVIL\LP101 PLOTTED BY: ROBERTS, LISA DATE: 10/2/17

SEE SHEET LP104

PHASE 2
PHASE 1

GENERAL SHEET NOTES

- REFER TO SHEET C-001 AND C-002 FOR GENERAL CIVIL NOTES, LEGENDS, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.

POND
 3500 Parkway Lane
 Suite 500
 Peachtree Corners
 Georgia 30092
Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
 DRAWN BY: RB/LJR
 CHECKED BY: EBS
 SUBMITTED BY: LJR
 DATE: 3/29/2024
 PROJECT #: 1230819

SHEET TITLE

**LANDSCAPE
PLAN**

SHEET NUMBER

LP105

ORIGINAL SHEET SIZE:
22" X 34"

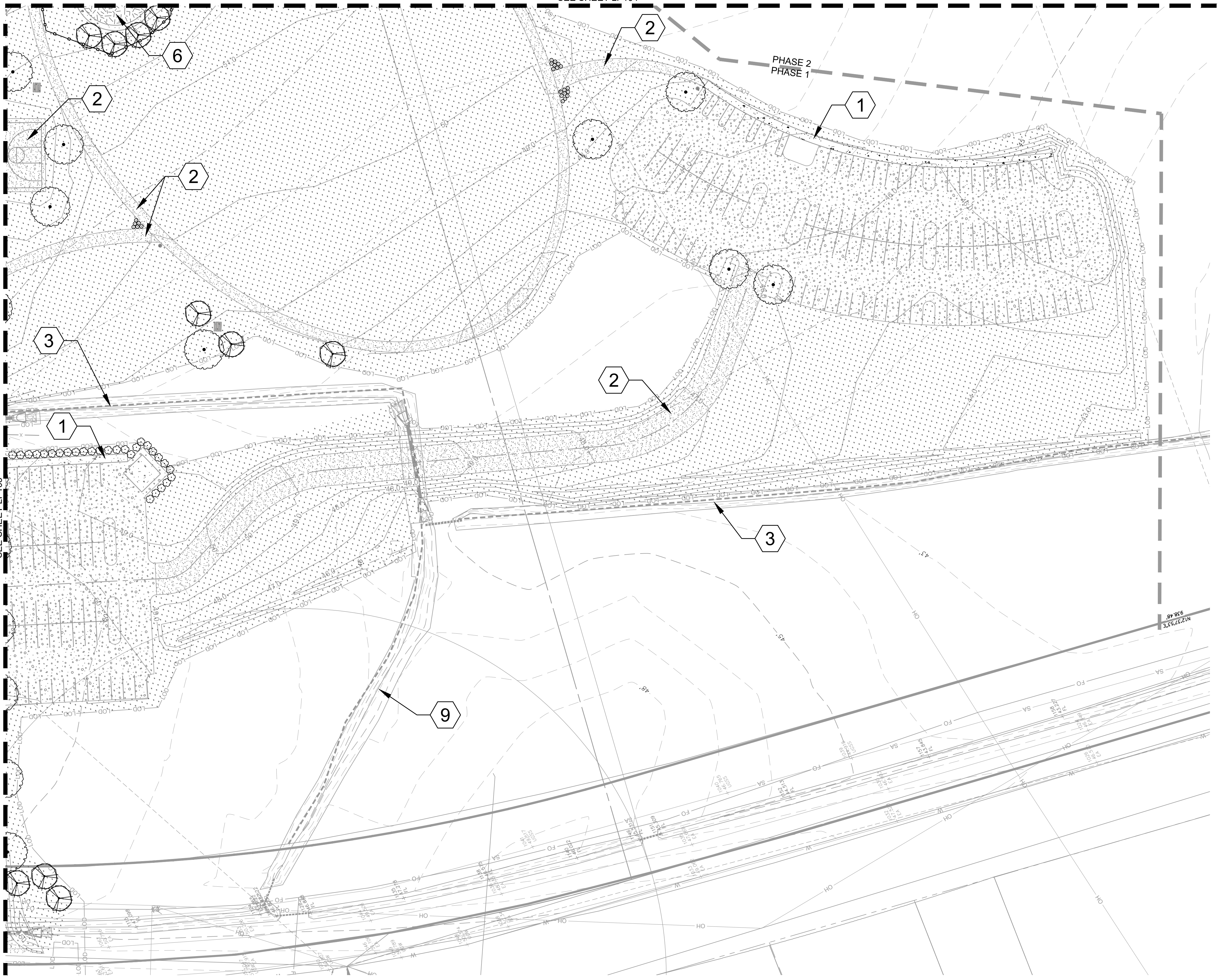
SHEET KEYNOTES

- CONCRETE SIDEWALK
- ASPHALT PATH
- JURISDICTIONAL DITCH
- SEPTIC FIELD AREA. SEE CG SERIES.
- CONCESSIONS/RESTROOM BUILDING (DESIGN BY OTHERS). 8/L-501.
- PLAY STRUCTURES ON MULCH BASE. 5/L-501, 6/L-501, 7/L-501.

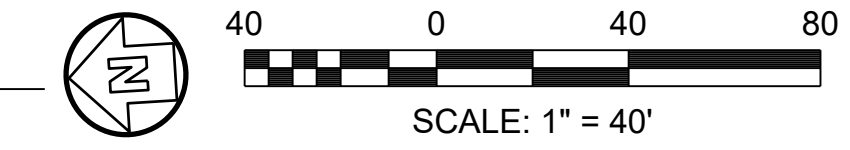
SHEET LEGEND

- CANOPY TREE 6/L-502
- UNDERSTORY TREE 6/L-502
- ACCENT SHRUB 6/L-502
- GRASSES 6/L-502
- SCREENING SHRUB 6/L-502
- SEEDED GRASS AREA (TIFWAY 419 BERMUDA GRASS)
- MULCH BASE

KEY PLAN



1 LANDSCAPE PLAN
SCALE: 1" = 40'



FILE PATH: X:\FY23\1230819\07 CAD-BIM\07.02 CAD\CIVIL\LP101 PLOTTED BY: ROBERTS, LISA DATE: 10/2/17

1

2

3

4

5



1 NORTH GATE GRAND 45 GAL RECEPTACLE
SCALE: NOT TO SCALE

2 INVERTED U BICYCLE RACK
SCALE: NOT TO SCALE

3 A FRAME PRESSURE TREATED PINE PICNIC TABLE
SCALE: NOT TO SCALE

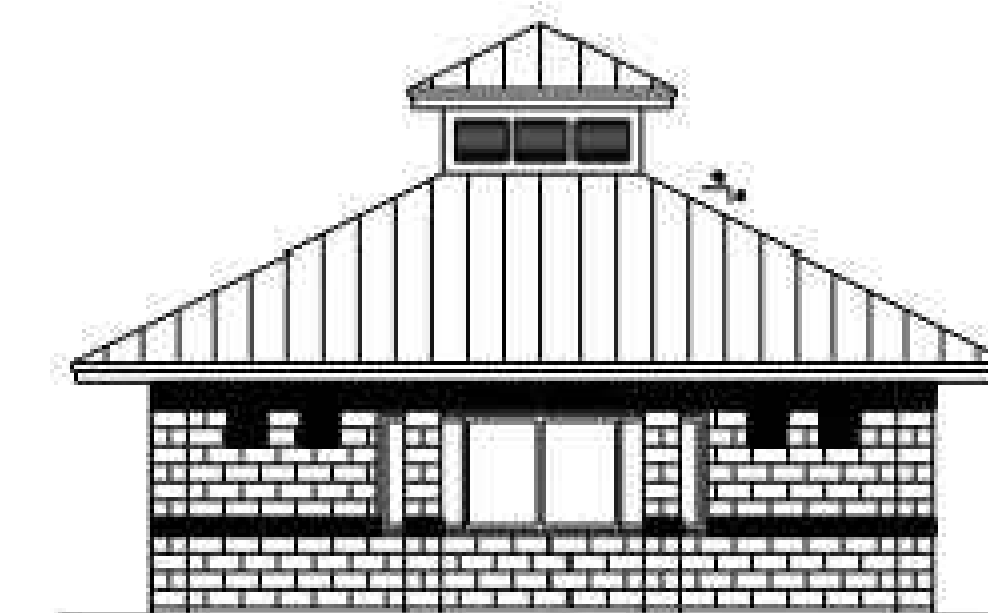
4 NORTH GATE ARCHED BENCH WITH BACK
SCALE: NOT TO SCALE



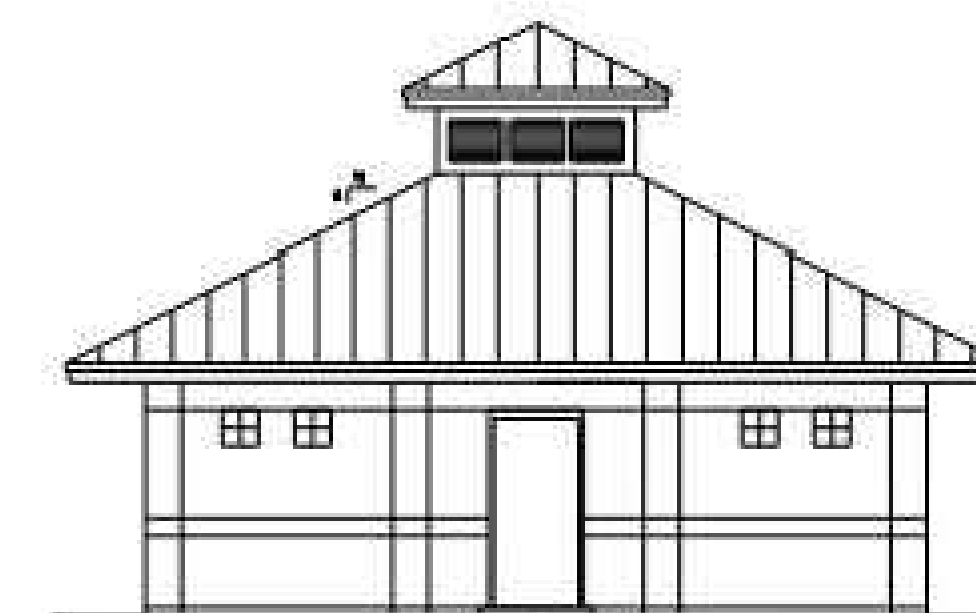
5 PLAYCORE DURAMAX RIDGE RUNNER STRUCTURE W/ MULCH BASE
SCALE: NOT TO SCALE



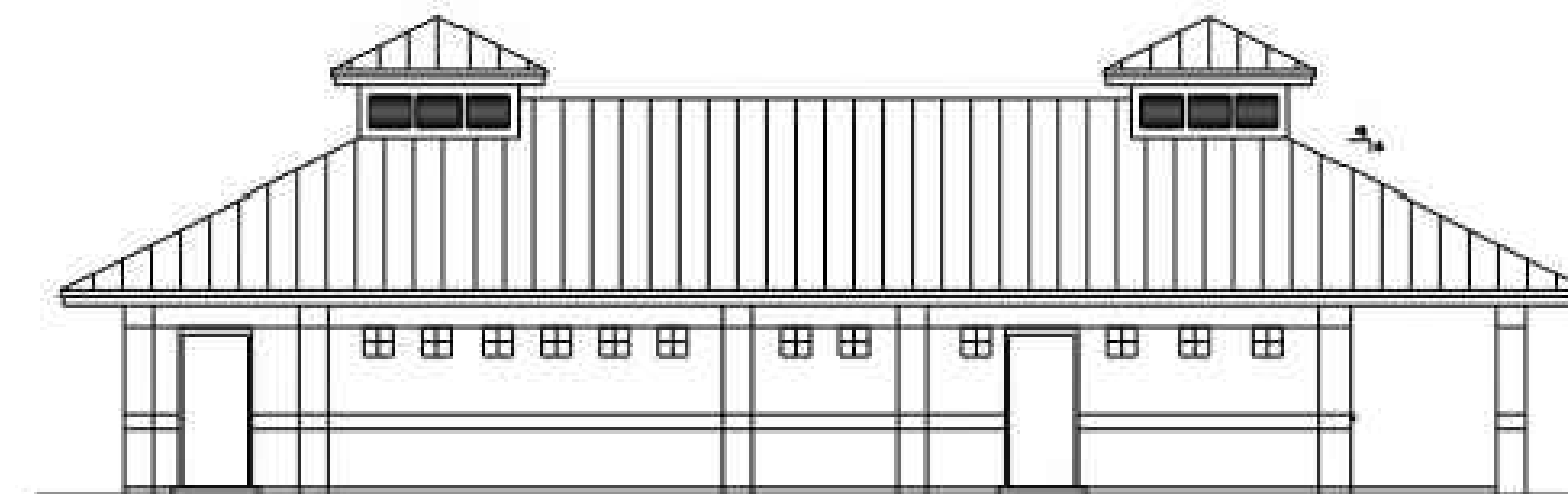
5 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



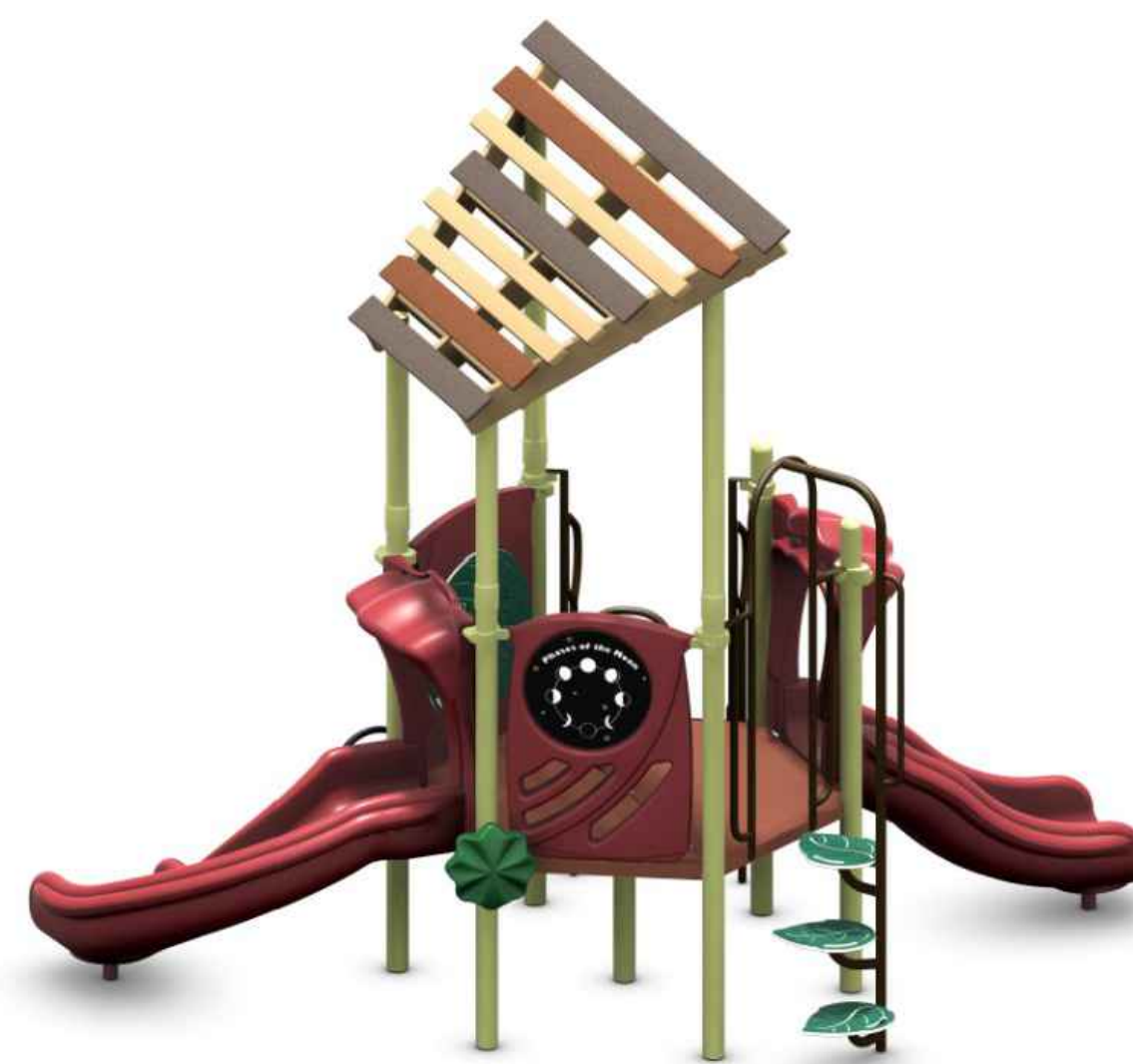
4 REAR ELEVATION
SCALE: 1/8" = 1'-0"



8 CONCESSION/RESTROOM BUILDING (DESIGN BY OTHERS)
SCALE: NOT TO SCALE



6 PLAYCORE SUPERMAX ADVENTURE ALLEY STRUCTURE (MULCH BASE)
SCALE: NOT TO SCALE



7 PLAYCORE DURAMAX MUNCHKIN STRUCTURE
SCALE: NOT TO SCALE



3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092

Copyright © 2023 by Pond & Company. All rights reserved. No copying or duplication of these documents is allowed without the expressed written agreement of Pond & Company.

DPR SEAL

CLIENT INFORMATION



PROJECT NAME

CENTRAL
PENDER PARK

3387 US HWY 117 N
BURGAW, NC
28425

DRAWING ISSUE

DATE

DESCRIPTION

MARK

DESIGNED BY: RB/LR
DRAWN BY: RB/LJR
CHECKED BY: EBS
SUBMITTED BY: LJR
DATE: 3/29/2024
PROJECT #: 1230819

SHEET TITLE

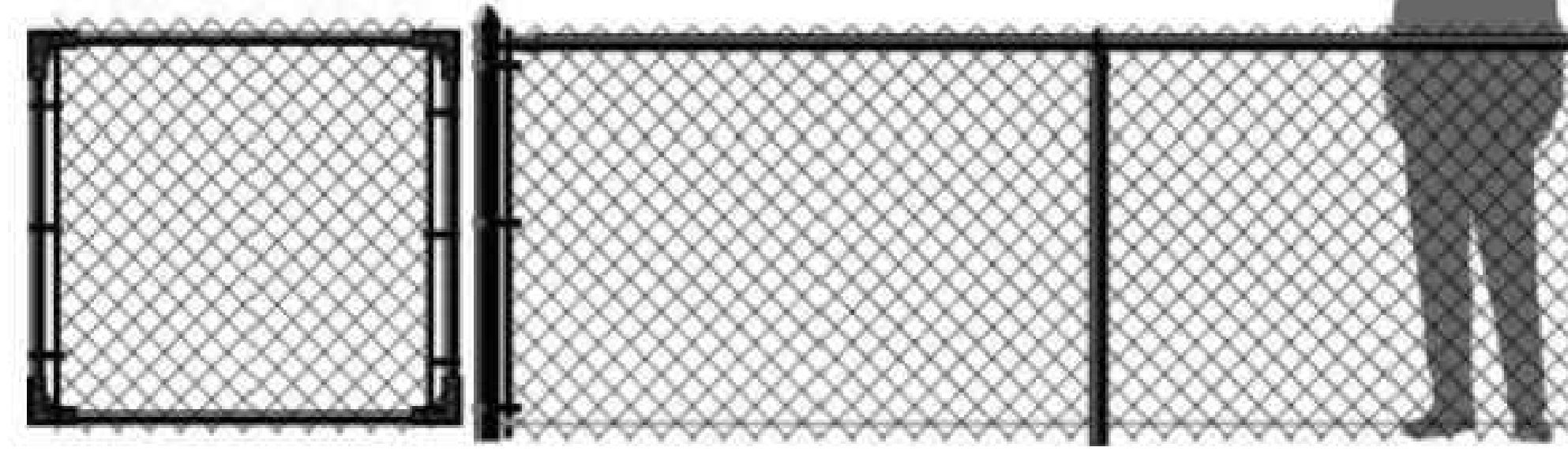
MATERIALS
SCHEDULE

SHEET NUMBER

L-501

ORIGINAL SHEET SIZE:
22" X 34"

FILE PATH: X:\FY23\1230819\07 CAD-BIM\07.02 CAD\CIVIL\LL-501 PLOTTED BY: ROBERTS, LISA DATE: 10/2/17



1 4' VINYL COATED CHAIN LINK FENCE
SCALE: NOT TO SCALE



2 WOOD POST AND ROPE BARRIER
SCALE: NOT TO SCALE



3 15' 4-ROW ALUMINUM BLEACHER
SCALE: NOT TO SCALE



4 POLIGON 24'X24' PICNIC SHELTER
SCALE: NOT TO SCALE



5 PARK ENTRY SIGN
SCALE: NOT TO SCALE

CONCEPT PLANT SCHEDULE

MARK	DESCRIPTION	DATE
●	CANOPY TREES ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE BETULA NIGRA 'BNMTF' / DURA HEAT® RIVER BIRCH CRATAEGUS PHAENOPYRUM / WASHINGTON HAWTHORN QUERCUS LYRATA / OVERCUP OAK QUERCUS NIGRA / WATER OAK QUERCUS NUTTALLII / NUTTALL OAK TAXODIUM DISTICHUM / BALD CYPRESS	62
○	UNDERSTORY TREES AMELANCHIER ARBOREA / DOWNY SERVICEBERRY CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD CERCIS CANADENSIS 'ROYAL WHITE' / ROYAL WHITE EASTERN REDBUD CORNUS FLORIDA 'CHEROKEE PRINCESS' / CHEROKEE PRINCESS DOGWOOD CORNUS FLORIDA 'CLOUD NINE' / CLOUD NINE DOGWOOD ILEX DECIDUA 'COUNCIL FIRE' / COUNCIL FIRE POSSUMHAW ILEX DECIDUA 'WARREN'S RED' / WARREN'S RED POSSUMHAW VIBURNUM PRUNIFOLIUM / BLACKHAW VIBURNUM	25
○	SCREENING SHRUBS ILEX VOMITORIA / YAUPON HOLLY ILLICIAM PARVIFLORUM / ANISE TREE MYRICA CERIFERA / WAX MYRTLE	109
○	ACCENT SHRUBS CALLICARPA AMERICANA / AMERICAN BEAUTYBERRY CLETHRA ALNIFOLIA 'HUMMINGBIRD' / HUMMINGBIRD SUMMERSWEET CLETHRA ALNIFOLIA 'SIXTEEN CANDLES' / SIXTEEN CANDLES SUMMERSWEET HYDRANGEA QUERCIFOLIA 'ALICE' / ALICE OAKLEAF HYDRANGEA HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' / SNOW QUEEN OAKLEAF HYDRANGEA ILEX GLABRA 'SHAMROCK' / SHAMROCK INKBERRY HOLLY ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY ILEX VERTICILLATA 'WINTER RED' / WINTER RED WINTERBERRY ILEX VOMITORIA 'SCHILLINGS DWARF' / SCHILLINGS DWARF YAUPON HOLLY ILLICIAM FLORIDANUM 'HALLEY'S COMET' / HALLEY'S COMET FLORIDA ANISE LONICERA SEMPERVIRENS 'LEO' / LEO TRUMPET HONEYSUCKLE VIBURNUM OBOVATUM 'DENSE' / DWARF WALTER'S VIBURNUM VIBURNUM OBOVATUM 'WHORLED CLASS' / WHORLED CLASS DWARF WALTER'S VIBURNUM VIBURNUM PRUNIFOLIUM / BLACKHAW VIBURNUM	244
☼	GRASSES MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	124

6 PLANT MATERIAL SCHEDULE
SCALE: NOT TO SCALE



**CENTRAL
PENDER PARK**

3387 US HWY 117 N
BURGAW, NC
28425

DESIGNED BY: RB/LR
DRAWN BY: RB/LJR
CHECKED BY: EBS
SUBMITTED BY: LJR
DATE: 3/29/2024
PROJECT #: 1230819

**MATERIALS
SCHEDULE**

L-502