

Pender County Planning and Community Development

Planning Division

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Application Information Master Development Plan – PCS K-8

Case Number: MDP 2024-63

Application Type: Master Development Plan

Applicant: Jonathan Blasco - Withers Ravenel

Owners: Michael Taylor – PCS

Location: Along NC HWY 210 across from the intersection of Whispering Pines Court and NC HWY 210. Approximately 1.4 miles west from the intersection of US HWY 17 and NC Hwy 210

Property ID #(s): 3282-28-1109-0000, 3282-29-4656-0000

Description: Plans submitted for the development of a K-8 school and athletic fields within the Pender County Schools system.

Current Zoning: O&I, Office & Institutional

Technical Review Committee Meeting: 02/01/2024

Board of County Commissioners/Planning Board Meeting: TBD

Application Materials

Application Package
Site Plan

APPLICATION PACKAGE

Pender County Planning and Community Development

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425




Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

By- Right Master Development Plan Submission

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

- | | | |
|----|----------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. | <u> X </u> | <p>Pre-submittal Meeting
Date of Meeting <u>7/12/2023; 11/27/2023</u></p> |
| 2. | <u> X </u> | Signed Application |
| 3. | <u> N/A </u> | <p>Payment
\$500 plus \$10 per acre for the first 100 acres, \$5 per acre thereafter</p> |
| 4. | <u> X </u> | <p>Paper Plan Sets
One (1) 24 x 36, Fifteen (15) 11 x 17 Two (2) 24x36; Five (5) 11x17</p> |
| 5. | <u> X </u> | <p>Digital Submission
For all documents submitted in paper copy, bring a digital copy with paper submission.</p> |
| 6. | <u> X </u> | <p>Adjacent Property List
A list of names and addresses, as obtained from the county tax listings and tax abstract, to the owners of all properties located within 500-feet of the of the perimeter of the project bounds.</p> |
| 7. | <u> N/A </u> | <p>Adjacent Property Envelopes
The applicant shall provide a set of business envelopes addressed to each of the owners of all properties located within 500-feet of the perimeter of the project bounds and accompanied with the amount of postage required for first class postage.</p> |
| 8. | <u> N/A </u> | <p>Permits
Include any permits issued on the project including but not limited to: environmental, traffic analysis, utility, or other site specific conditions.</p> |
| 9. | <u> X </u> | <p>Site Plan Requirements
A prepared site plan in accordance with the Unified Development Ordinance standards 6.1, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.
(See Master Development Plan Checklist)</p> |

I certify that all information presented in this application is accurate to the best of my knowledge.

Signature of Applicant 
Printed Name Jonathan Blasco, PLA/ASLA

Date 1/05/2024

Staff Initials: _____
Date: _____

Master Development Plan Specific Requirements

1. Project Narrative - Site plans shall contain a conceptual plan, showing the location and functional relationship between all proposed housing types and land uses, including the following information:

- A land use plan, showing the location, arrangement and approximate boundaries of all proposed land uses.
- The location and approximate boundaries of proposed housing types conceptually shown in accord and with other non-residential uses dimensional requirements.
- The proposed number of dwelling units of each type in each phase and in the total development accompanied by density calculation of the development.
- The location and approximate boundaries of existing environmental features as defined.
- The location of environmental protection land to be included in common open space.
- The approximate acreage in common open space, each use, housing type and in roads, streets or right-of-ways for each phase and the total development.
- Open space labeled Clearly with Acreages (per Section 7.6)
 - Open Space
 - Passive Open Space acreage
 - Active Open Space acreage
- The location and general configuration of recreational facilities, with a general statement of the types of recreational facilities to be provided if applicable.
- The location and extent of proposed buffers, with statements, profiles, cross sections or examples clearly specifying the screening to be provided if applicable.

2. Density

- Non-Residential Acreage
- Wetlands Acreage
- Passive Open space Acreage
- Active Open Space Acreage
- Right of Way Acreage
- Total Units
- Developable Land
- Net Density

3. Location Guidelines

- The approximate location of sewer and water mains, sewage disposal and water source with statements concerning the connection with and availability of existing facilities.
- Letter of intent if a private wastewater service provider will be utilized
- A conceptual plan for stormwater management with the location of stormwater facilities designed to serve more than one lot.
- The location and treatment proposed for all historical structures and sites recognized as significant by the County Commissioners or as identified on any historical landmarks survey for Pender County.
- Calculations describing all proposed bonus factors with the location of and specifications for bonus improvements, when proposed.
- Location and timing of construction for all amenities.
- Landscaping and Buffer requirements per Article 8.

Specific requirements can be found in Section 6.1 of the Pender County Unified Development Ordinance

4. Lot Design (per Section 7.2)

- Access easements have not been included to meet any minimum lot area
- Lots shall be arranged to allow for the opening of future streets
- Lots that have double frontage on streets are prohibited except where it provides separation of residential development from traffic arteries. A buffer of at least 10 feet in width with no right of access abutting such traffic arteries shall be provided on these double frontage lots. - lots are near right angles or radial to street lines have been provided.
- Lot boundaries coincide with natural, existing and new drainage

5. Roadways

- The location and arrangement of street entrances, driveways and parking areas.
- The use of adjoining parcels and the location of adjoining streets and utilities.

6. Traffic - A Traffic Impact Analysis is required when the development generates 100 trips in the morning or evening peak hours or over 1,000 trips per day. The Traffic Impact Analysis must state the dates and times the counts were conducted.

- Estimated AM and PM Peak Hour Trips per the Institute of Transportation Engineers Trip Generation Manual.
- Estimated Average Daily Trips created by the development at build-out per the Institute of Transportation Engineers Trip Generation Manual.

7. Access (per Section 7.4)

- All lots shall have direct or indirect access to a public street, private street, or private access easement.
- Access must provide a reasonable means of ingress and egress for emergency vehicles as well as for all those likely to need or desire access to the property in its intended use.

8. Private streets - will be subject to requirements to construct public collector streets under any of the following conditions (per Section 7.5.3.C)

- Dimension of more than 5280 ft.,
- Any street in the subdivision has the potential to serve more than 200 residential or commercial units,
- Access to any lot or unit in the subdivision is more than 5280 ft. by a private street to a public street,
- Existing public streets have been dedicated or constructed to the property line of the subdivision,
- Access to adjacent properties will be hindered as a result of private streets being allowed in the subdivision.

9. Public and Private Street Design (per Section 7.5.1)

- Adjoining street systems
- Existing, planned and proposed streets, topographic, drainage and other natural features of the property
- Continuity in existing streets and proposed streets,
- Public roadways
- Both Public and Private streets designed must be constructed in compliance with the current NCDOT Subdivision Roads Minimum Construction Standards

Specific requirements can be found in Section 6.1 of the Pender County Unified Development Ordinance

10. Specific Standards

- Adequate right-of-way for collector streets
- Reasonable access provided to adjacent properties for development
- No spite strips
- Street intersections are directly aligned if possible.
- If not aligned not offset centerline to centerline by not less than 125 ft.
- intersect as nearly as possible at right angles
- Permanent dead end streets (cul-de-sacs) or temporary dead end (stub) streets are longer than 1,000 ft.
- Street name approval from the Pender County Addressing Coordinator.
- Sight triangles as required in the NCDOT

11. Adopted Plan Compliance

- Compliance with all adopted plans and Ordinances of Pender County
- Collector Roadways have been shown Per the Pender County Collector Street Plan

Pender County Planning and Community Development

Planning Division
805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

MASTER DEVELOPMENT PLAN

Prior to submission of a preliminary master development plan for approval, the applicant shall request a pre-application review conference with the County staff.

1. The purpose of the pre-application conference shall be to discuss the proposal in relation to the requirements of the Land Use Plan and UDO and to obtain advice on the preparation of the master development plan.
2. At the pre-application conference, the applicant shall provide a land use plan describing the following:
 - a. The general location of the site.
 - b. The general location of proposed roads.
 - c. The general location of proposed uses, environmental areas, housing types or open space.
 - d. The uses on adjoining properties.
 - e. Utility requirements.

The purpose of the master development plan (MDP) is to promote orderly and planned development of property within Pender County. It is the purpose of the MDP to ensure that such development occurs in a manner that suits the characteristics of the land, is harmonious with adjoining property, is in substantial compliance with the goals and policies of the adopted Land Use Plan, and is in the best interest of the general public. The MDP shall be used to illustrate the characteristics of the property proposed for development and of surrounding properties.

**See Figures 2 and 3 at the end of Section 3.4, Pender County UDO for an illustrative process*

1. The MDP shall at least include all contiguous land under single or common ownership in the above zoning districts.
2. A preliminary MDP may be submitted with an application for a conditional rezoning but shall not be considered binding until approval of a final MDP.

Waivers to MDP – Residential Districts

The Administrator may waive the requirements of a MDP in the Residential Districts if the proposed development contains all of the following criteria:

1. Contains ten (10) or less traditional detached single-family dwelling units;
2. Is not an integral portion of a property proposed or planned for future development or subdivision;
3. Is planned to be developed in a manner that is harmonious with surrounding properties and land uses; and
4. Does not substantially affect the purpose and intent of its zoning district and the intent of this article.

Waivers to MDP – Commercial and Industrial Districts

The Administrator may waive the requirement of a MDP in the Commercial and Industrial Districts if the proposed development contains all of the following criteria:

1. If the proposed subdivision or development is less than five (5) acres in size;
2. Includes no new streets, roads or rights-of-way, does not further extend any existing or dedicated street, road or rights-of-way and does not significantly change the layout of any existing or dedicated street, road or rights-of-way;
3. Is not an integral portion of a property proposed or planned for future development or subdivision;
4. That such development is limited to one individual parcel and one single use in accordance with Section 5.2.

APPLICATION FOR MASTER DEVELOPMENT PLAN

THIS SECTION FOR OFFICE USE

Application No.	MDP	Date	
Application Fee	\$	Invoice Number:	
Pre-Application Conference		Hearing Date	

SECTION 1: APPLICANT INFORMATION

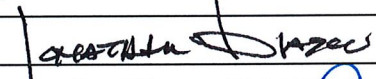
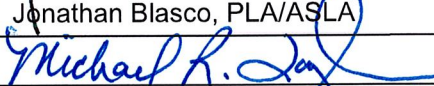
Applicant's Name:	Jonathan Blasco, PLA/ASLA	Owner's Name:	Michael Taylor
Applicant's Address:	137 S. Wilmington St, STE 200	Owner's Address:	965 Penderlea Hwy
City, State, & Zip	Raleigh, NC 27601	City, State, & Zip	Burgaw, NC 28425
Phone Number:	919.817.5356	Phone Number:	910.259.2187
Email Address:	jblasco@withersravenel.com	Email Address:	michael_taylor@pender.k12.nc.us

Legal relationship of applicant to land owner:

SECTION 2: PROJECT INFORMATION

Type of Master Development Plan	<input type="checkbox"/> Residential <i>RP, PD, RM MH District</i>	<input checked="" type="checkbox"/> Commercial <i>GB, OI, IT, GI District</i>	
Property Identification Number (PIN):	3281-28-1109-0000 / 3282-29-4656-0000	Total property acreage:	~146 AC
Zoning Classification:	OI	Acreage to be disturbed:	~55 AC
Project Address :	NC Hwy 210, Hampstead, NC 28443		
Description of Project Location:	145 acres on B/S 210 N/W Hampstead		
Describe activities to be undertaken on project site:	Construction of a new K-8 County school, including parking, vehicular & pedestrian circulation, and athletic facilities		

SECTION 3: SIGNATURES

Applicant's Signature		Date:	
Applicant's Printed Name	Jonathan Blasco, PLA/ASLA	Date:	1/05/2024
Owner's Signature		Date:	
Owner's Printed Name	Michael R. Taylor, Chief Ops Officer	Date:	1/5/2024

NOTICE TO APPLICANT

1. Applicant or agent authorized in writing must attend the public hearing.
2. Once the public hearing has been advertised, the case will be heard unless the applicant withdraws the application or unless the Planning Board or other authorized person agrees to table or delay the hearing.
3. All fees are non-refundable
4. A complete application packet must be submitted prior to the deadline in order to be placed on the next Planning Board Agenda

Office Use Only

<input type="checkbox"/>	MDP Fees: (<i>\$500.00 plus \$10/acre for the first 100 acres \$5/acre thereafter</i>)	Total Fee Calculation: \$
--------------------------	-------------------------------------------------------------------------------------------------	----------------------------------

Attachments Included with Application: (Please include # of copies)

CD /other digital version	<input type="checkbox"/> Y <input type="checkbox"/> N	Plan Sets	# of large	# of 11X17	Other documents/Reports	<input type="checkbox"/> Y <input type="checkbox"/> N
---------------------------	----------------------------------------------------------	-----------	------------	------------	-------------------------	----------------------------------------------------------

Payment Method:	Cash : <input type="checkbox"/> \$ _____	Credit Card: <input type="checkbox"/> Master Card <input type="checkbox"/> Visa	Check: <input type="checkbox"/> Check # _____
------------------------	----------------------------------------------------	----------------------------------------------------------------------------------------------	---------------------------------------------------------

Application received by:	Date:
--------------------------	-------

Application completeness approved by:	Date:
---------------------------------------	-------

Date scheduled for public hearing:

SITE PLAN(S)

MASTER DEVELOPMENT PLAN

PENDER COUNTY SCHOOLS

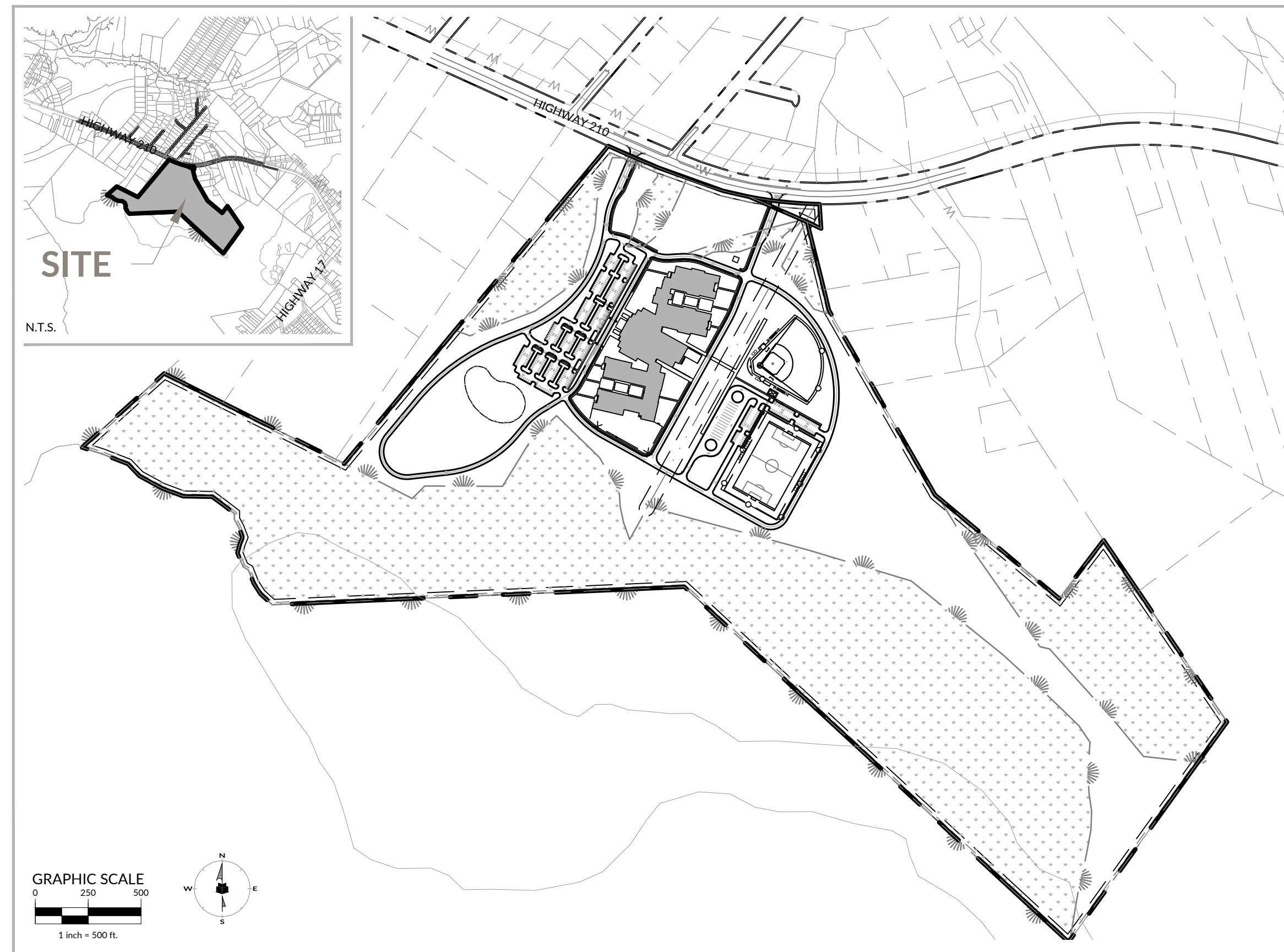
K-8 SCHOOL

HIGHWAY 210 | HAMPSTEAD, NC 28443 | PENDER COUNTY

JANUARY 5, 2023

SITE DATA TABLE

PARCEL DATA		
OWNER	PENDER COUNTY	
ADDRESS	NC HWY 210 HAMPSTEAD, NC 28443	
NCPIN	3281-28-1109-0000 / 3282-29-4656-0000	
DEED REFERENCE	DB 4820 PG 2685 / DB 4822 PG 1209	
PARCEL AREA (ACRES)	±145 AC / 0.415 AC	
ZONING DISTRICT	OI - OFFICE INSTITUTIONAL	
EXISTING LAND USE	UNDEVELOPED (WOODED)	
PROPOSED LAND USE	ELEMENTARY AND MIDDLE SCHOOL	
RIVER BASIN	CAPE FEAR	
WATERSHED (CLASSIFICATION)	HARRISONS CREEK (C; Sw)	
FEMA DESIGNATED FLOODPLAIN		
FIRM PANEL	3720327200J & 3720328200J effective 2/16/2007	
AREA WITHIN DESIGNATED FLOODPLAIN	0.00 AC	
PROPERTY SETBACKS		
FRONT	25 FT	
SIDE	10 FT	
REAR	10 FT	
BUILDING MAX HEIGHT	40 FT	
BUFFERYARDS		
ALONG ALL STREET BOUNDARIES OF THE DEVELOPMENT	TYPE 'A' BUFFER	
ALONG ALL BOUNDARIES ADJACENT TO SINGLE FAMILY RESIDENTIAL USES OR RESIDENTIAL LOTS WITH A PARCEL SIZE OF LESS THAN 1 ACRE AND WHEN A SINGLE FAMILY STRUCTURE IS WITHIN 50' OF THE BOUNDARY OF THE DEVELOPMENT	TYPE 'C' BUFFER	
SCHOOL BUILDING INFORMATION		
TOTAL BUILDING SQUARE FOOTAGE	237,783 SF	
TOTAL CLASSROOMS	102	
TOTAL ADMINISTRATION SQUARE FOOTAGE	13,965 SF	
TOTAL INDOOR RECREATION	4,880 SF	
TOTAL SEATING FOR STAGE (THEATER)	9,000 SF	
SEATING AT BALLFIELDS	200 SEATS	
PARKING SUMMARY		
REQUIRED PER UDO		
1 SPACE PER CLASSROOM	102 SPACES	
1 SPACE PER 300 SF OF ADM	47 SPACES	
1 SPACE PER 250 SF OF INDOOR RECREATION	20 SPACES	
1 SPACE PER 100 SF OF THEATER	90 SPACES	
1 SPACE PER 4 SEATS (BALLFIELDS)	50 SPACES	
TOTAL (125% MAX)	309 SPACES (387 SPACES)	
PROVIDED		
FRONT PARKING LOT	296 SPACES (10 ACC SPACES)	
BUS / BALLFIELD PARKING LOT	91 SPACES (4 ACC SPACES)	
TOTAL	387 SPACES (14 ACC SPACES)	
BUILT UPON AREA (BUA) SUMMARY		
EXISTING	0.00 AC	
PROPOSED	14.61 AC (10.08%)	



INDEX OF SHEETS	
Sheet Number	Sheet Title
C0.00	COVER
C0.02	KEY MAP
C1.00	EXISTING CONDITIONS
C2.00	OVERALL SITE LAYOUT PLAN
C2.01	SITE LAYOUT PLAN
C2.02	SITE LAYOUT PLAN
C2.03	SITE LAYOUT PLAN
C2.04	SITE LAYOUT PLAN
C2.05	SITE LAYOUT PLAN
C2.06	SITE LAYOUT PLAN
C2.07	SITE LAYOUT PLAN
C2.08	SITE LAYOUT PLAN
C2.09	SITE LAYOUT PLAN
C2.10	FIRE ACCESS PLAN
C3.00	OVERALL UTILITY PLAN
C9.10	SITE DETAILS



CONTACT LIST:

Senior Project Manager/Landscape Architect
Jon Blasco, P.L.A., ASLA
WithersRavenel
137 S. Wilmington Street, Suite 200
Raleigh, NC 27601
919-535-5200
jblasco@withersravenel.com

Civil Engineer
Spencer Meekins, PE
WithersRavenel
137 S. Wilmington St., Suite 200
Raleigh, NC 27601
919-535-5200
smeekins@withersravenel.com

Architect
Moseley Architects
911 North West St., Suite 205
Raleigh, NC 27603
919-840-0091

General Contractor
Bordeaux Construction Company, Inc.
4 Copley Parkway, Suite 100
Harrisville, NC 27540
919-220-1141



PREPARED BY:
WithersRavenel
115 MacKenan Drive | Cary, NC 27511
License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

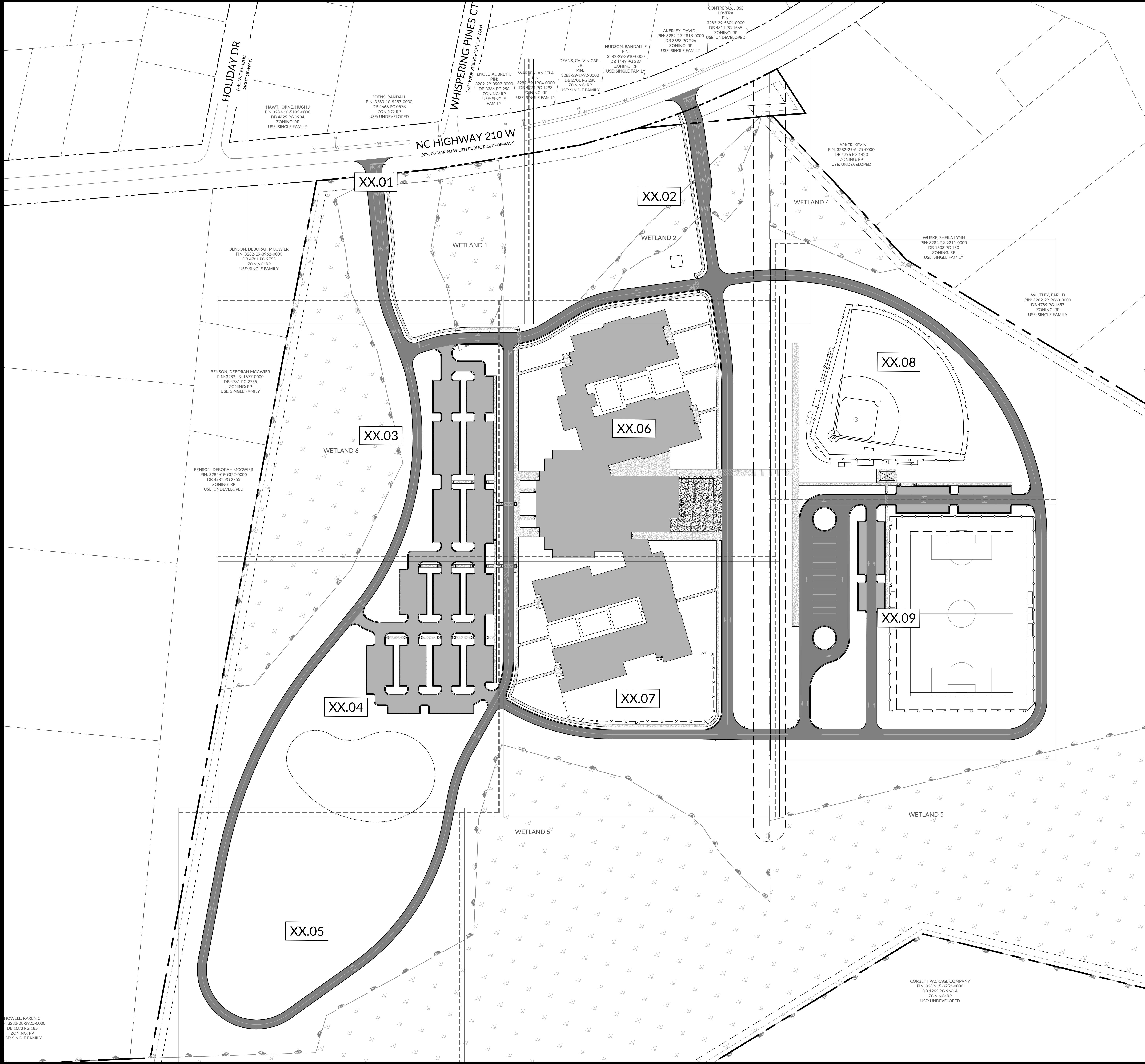


CLIENT:

PENDER COUNTY SCHOOLS
925 PENDERLEA HWY
BURGAW, NC 28425
PHONE #: 910-259-2187
ATTENTION: MICHAEL TAYLOR, CHIEF OPERATIONS OFFICER



J:\23\0576-Moseley Architects - Pender County - DB New K-8 School\CAD\Drawing Sets\SDS\CO.02 Key Map.dwg - Friday, January 5, 2024 4:50:58 PM - SMEEKINS



HOWELL, KAREN C
PIN: 3282-09-2925-0000
DB 1085 PG 185
ZONING: RP
USE: SINGLE FAMILY

BENSON, DEBORAH MCGOWIE
PIN: 3282-19-3962-0000
DB 4781 PG 2755
ZONING: RP
USE: SINGLE FAMILY

BENSON, DEBORAH MCGOWIE
PIN: 3282-19-1677-0000
DB 4781 PG 2755
ZONING: RP
USE: SINGLE FAMILY

BENSON, DEBORAH MCGOWIE
PIN: 3282-19-3962-0000
DB 4781 PG 2755
ZONING: RP
USE: SINGLE FAMILY

HAWTHORNE, HUGH J
PIN: 3283-10-5135-0000
DB 4623 PG 0934
ZONING: RP
USE: SINGLE FAMILY

EDENS, RANDALL
PIN: 3283-10-9257-0000
DB 4464 PG 0578
ZONING: RP
USE: UNDEVELOPED

SINGLE, ALBREY C
PIN: 3282-29-0907-0000
DB 3384 PG 258
ZONING: RP
USE: SINGLE FAMILY

WARREN, ANGELA
PIN: 3282-29-1992-0000
DB 2701 PG 288
ZONING: RP
USE: SINGLE FAMILY

DEANS, CALVIN CARL JR
PIN: 3282-29-3930-0000
ZONING: RP
USE: SINGLE FAMILY

HUDSON, RANDALL E
PIN: 3282-29-3930-0000
ZONING: RP
USE: SINGLE FAMILY

AKERLEY, DAVID L
PIN: 3282-29-4818-0000
DB 3483 PG 376
ZONING: RP
USE: UNDEVELOPED

CONTRERAS, JOSE LOVERA
PIN: 3282-29-3804-0000
DB 4811 PG 1565
ZONING: RP
USE: UNDEVELOPED

HARKER, KEVIN
PIN: 3282-29-4479-0000
DB 4776 PG 1423
ZONING: RP
USE: UNDEVELOPED

WISKE, SHEIL A LYNN
PIN: 3282-29-7211-0000
DB 5200 PG 130
ZONING: RP
USE: SINGLE FAMILY

WHITLEY, EARL D
PIN: 3282-29-0880-0000
DB 4789 PG 1657
ZONING: RP
USE: SINGLE FAMILY

CORBETT PACKAGE COMPANY
PIN: 3282-15-9252-0000
DB 1265 PG 961A
ZONING: RP
USE: UNDEVELOPED



WithersRavenel
115 MacKenan Drive | Cary, NC 27511
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

WR PROJECT NO. 23-576

MOSELEYARCHITECTS

5200 NORFOLK STREET, RICHMOND, VA 23290
PHONE: (804) 754-1551 FAX: (804) 355-5860
MOSELEYARCHITECTS.COM

PENDER COUNTY SCHOOLS K-8 SCHOOL

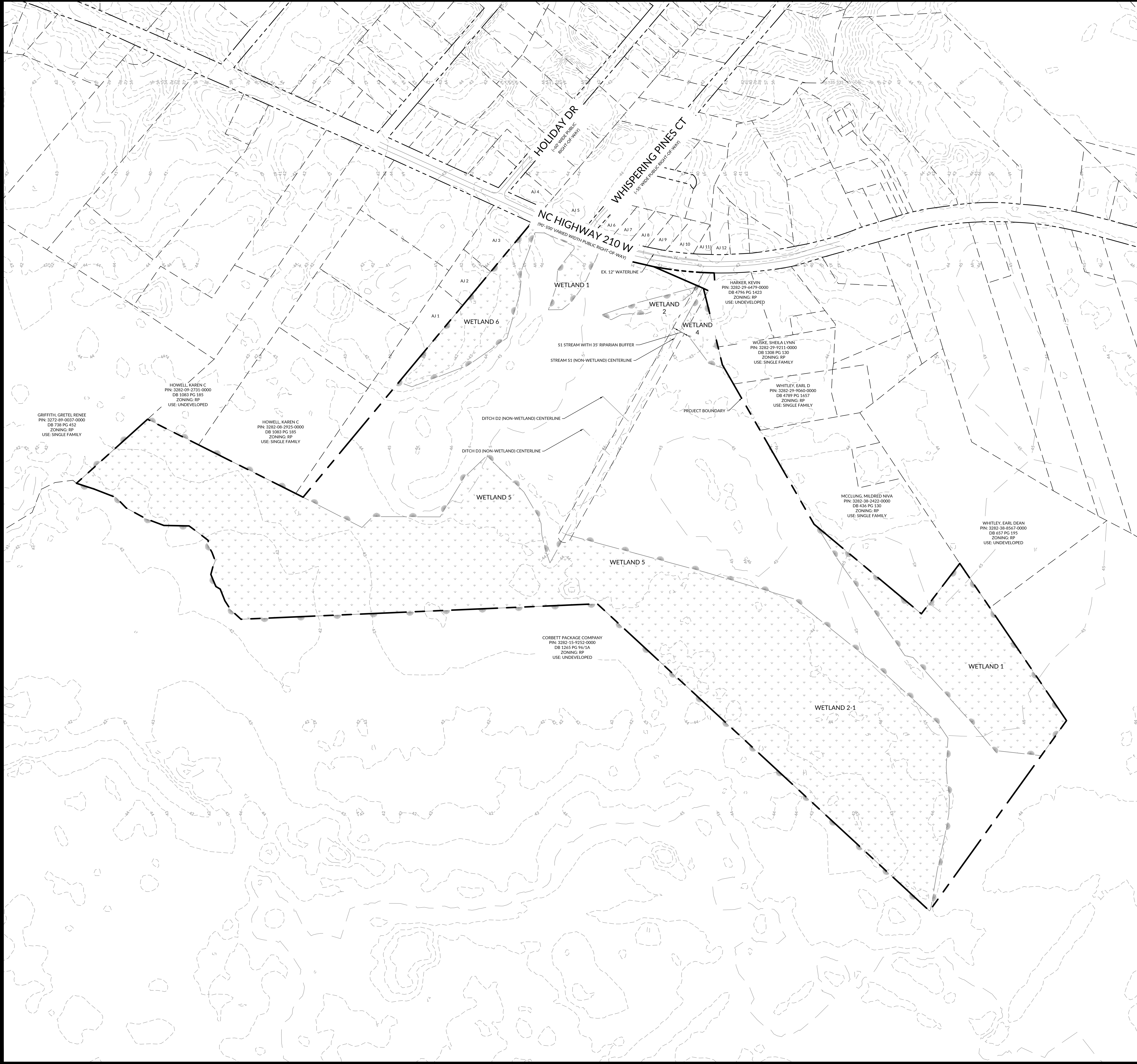
Pender County Schools
Highway 210, Hampstead, NC 28443

PROJECT NO:	631310
DATE:	JANUARY 5, 2024
REVISIONS	
DATE	DESCRIPTION

KEY MAP

C0.02

J:\23\0576-Moseley Architects - Pender County - DB New K-8 School\CAD\Drawing Sets\SDS\C1.00 Existing Conditions.dwg - Friday, January 5, 2024 4:52:05 PM - TTYOU



EXISTING CONDITIONS LEGEND:

SYMBOL	DESCRIPTION
BM	BENCHMARK
MAGN NAIL	MAGNETIC NAIL
IPF	IRON PIPE
CH	CLEAN OUT
FH	FIRE HYDRANT
WV	WATER VALVE
LP	LIGHT POLE
EM	ELECTRIC METER
EBX	ELECTRIC BOX
CBX	CATV BOX
TLP	TELEPHONE PEDESTAL
DMH	STORM DRAIN MANHOLE
SMH	SANITARY SEWER MANHOLE
AI	AREA INLET
CB	CATCH BASIN
FE	FLARED END SECTION
SI	SIGN
RD	ROOF DRAIN
AC	AIR CONDITIONER
BO	BLOW OFF
OT	ORNAMENTAL TREE
SH	SHADE TREE
SP	HANDICAP PARKING SPACE

EXISTING LINETYPE LEGEND:

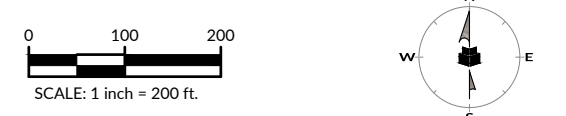
SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	ADJOINER (NOT SURVEYED)
---	STORM DRAINAGE PIPE
---	SEWER LINE
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	SEWER EASEMENT
---	ACCESS EASEMENT
---	STREAM BUFFER
---	EXISTING TREELINE
---	EXISTING CURB & GUTTER
---	EXISTING BUILDING
---	EXISTING SIDEWALK

ADJOINER PROPERTY DATA:

ADJOINER	PROPERTY DATA	WETLANDS
AJ 1	BENSON, DEBORAH MCGWIER PIN: 3282-09-2722-0000 DB 4781 PG 2755 ZONING: RP USE: UNDEVELOPED	WETLAND 1: -1.30 AC WETLAND 2: -0.47 AC WETLAND 2-1: -36.00 AC WETLAND 3: -12.25 AC WETLAND 4: -1.00 AC WETLAND 5: -37.00 AC WETLAND 6: -4.50 AC
AJ 2	BENSON, DEBORAH MCGWIER PIN: 3282-19-1677-0000 DB 4781 PG 2755 ZONING: RP USE: SINGLE FAMILY	TOTAL 92.72 AC
AJ 3	BENSON, DEBORAH MCGWIER PIN: 3282-19-3962-0000 DB 4781 PG 2755 ZONING: RP USE: SINGLE FAMILY	
AJ 4	HAWTHORNE, HUGH J PIN: 3283-10-5135-0000 DB 4625 PG 0574 ZONING: RP USE: SINGLE FAMILY	
AJ 5	EDENS, RANDALL PIN: 3283-10-9257-0000 DB 4666 PG 0578 ZONING: RP USE: UNDEVELOPED	
AJ 6	ENGLE, AUBREY C PIN: 3282-29-0907-0000 DB 3364 PG 258 ZONING: RP USE: SINGLE FAMILY	
AJ 7	WARREN, ANGELA PIN: 3282-29-1904-0000 DB 4779 PG 1293 ZONING: RP USE: SINGLE FAMILY	
AJ 8	DEANS, CALVIN CARL JR PIN: 3282-29-1992-0000 DB 2701 PG 288 ZONING: RP USE: SINGLE FAMILY	
AJ 9	HUDSON, RANDALL E PIN: 3282-29-3910-0000 DB 1449 PG 237 ZONING: RP USE: SINGLE FAMILY	
AJ 10	AKERLEY, DAVID L PIN: 3282-29-4818-0000 DB 3683 PG 296 ZONING: RP USE: SINGLE FAMILY	
AJ 11	CONTRERAS, JOSE LOVERA PIN: 3282-29-5804-0000 DB 4411 PG 1545 ZONING: RP USE: UNDEVELOPED	
AJ 12	WURKE, MICHAEL ANTHONY PIN: 3282-29-5975-0000 DB 2140 PG 1164 ZONING: RP USE: SINGLE FAMILY	

EXISTING CONDITIONS NOTES:

1. TOPOGRAPHIC BOUNDARY AND LOCATION INFORMATION FROM PENDER COUNTY'S GEOGRAPHIC INFORMATION SYSTEM (GIS).
2. WETLANDS AND STREAM LOCATION FOR THE 145 ACRE TRACT (NCPIN 3281-28-1109-0000) FROM AN EXHIBIT PREPARED BY ECS SOUTH EAST, LLC LOCATED AT 5200 GREENS DAIRY ROAD, RALEIGH, NORTH CAROLINA, 27616 DATED 10/20/2023. WETLANDS LOCATED ON THE SITE ARE FRESHWATER WETLANDS (CLASS W1).
3. WETLANDS WERE NOT FOUND FOR THE 0.415 ACRE TRACT (NCPIN 3282-29-4654-0000) FROM A SITE VISIT PERFORMED BY WITHERSRAVENEL IN NOVEMBER OF 2023.



WithersRavenel
115 MacKean Drive | Cary, NC 27511
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

MOSELEY ARCHITECTS
3220 NORFOLK STREET, RICHMOND, VA 23230
PHONE (804) 754-7550 FAX (804) 355-9580
MOSELEYARCHITECTS.COM

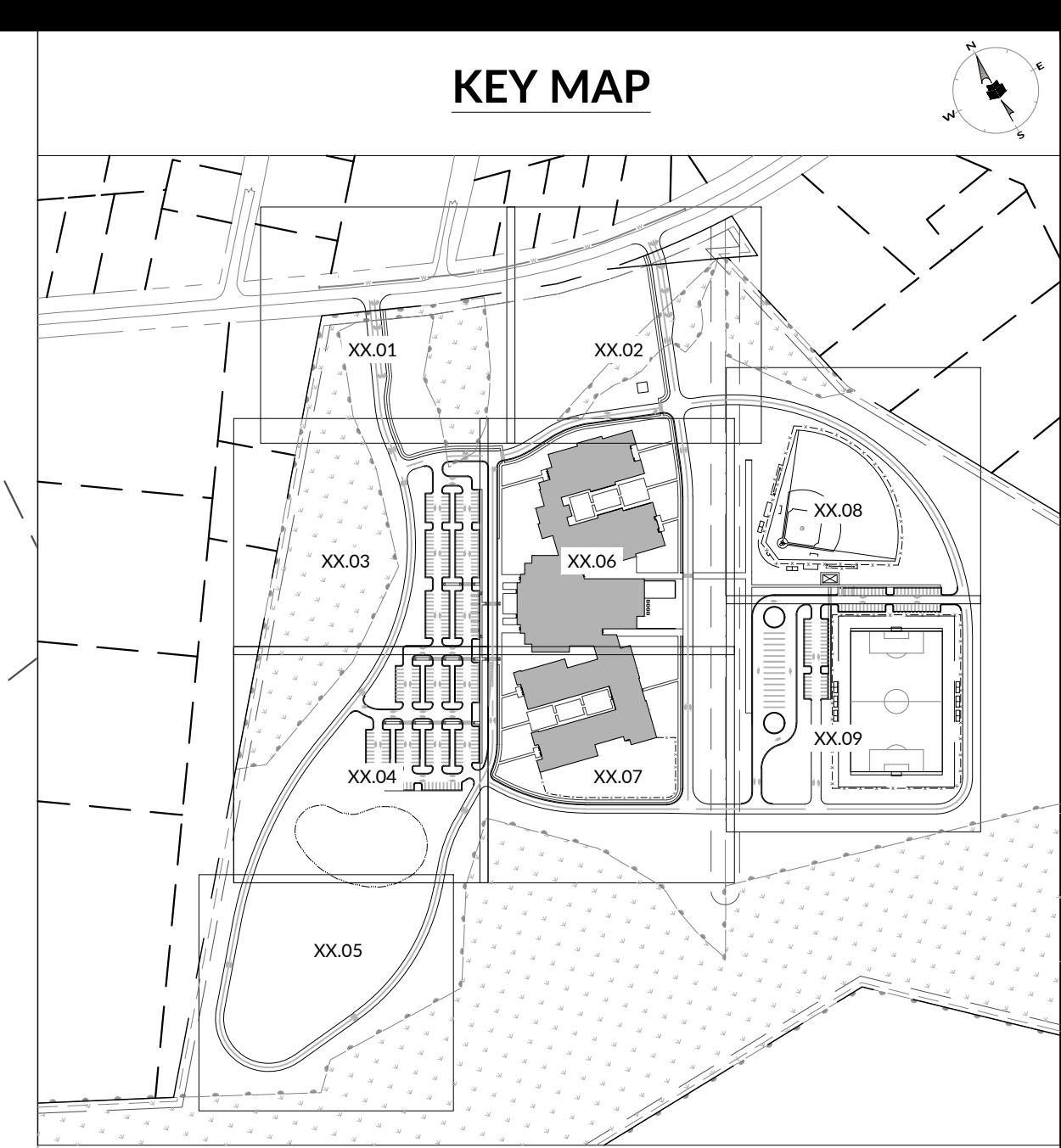
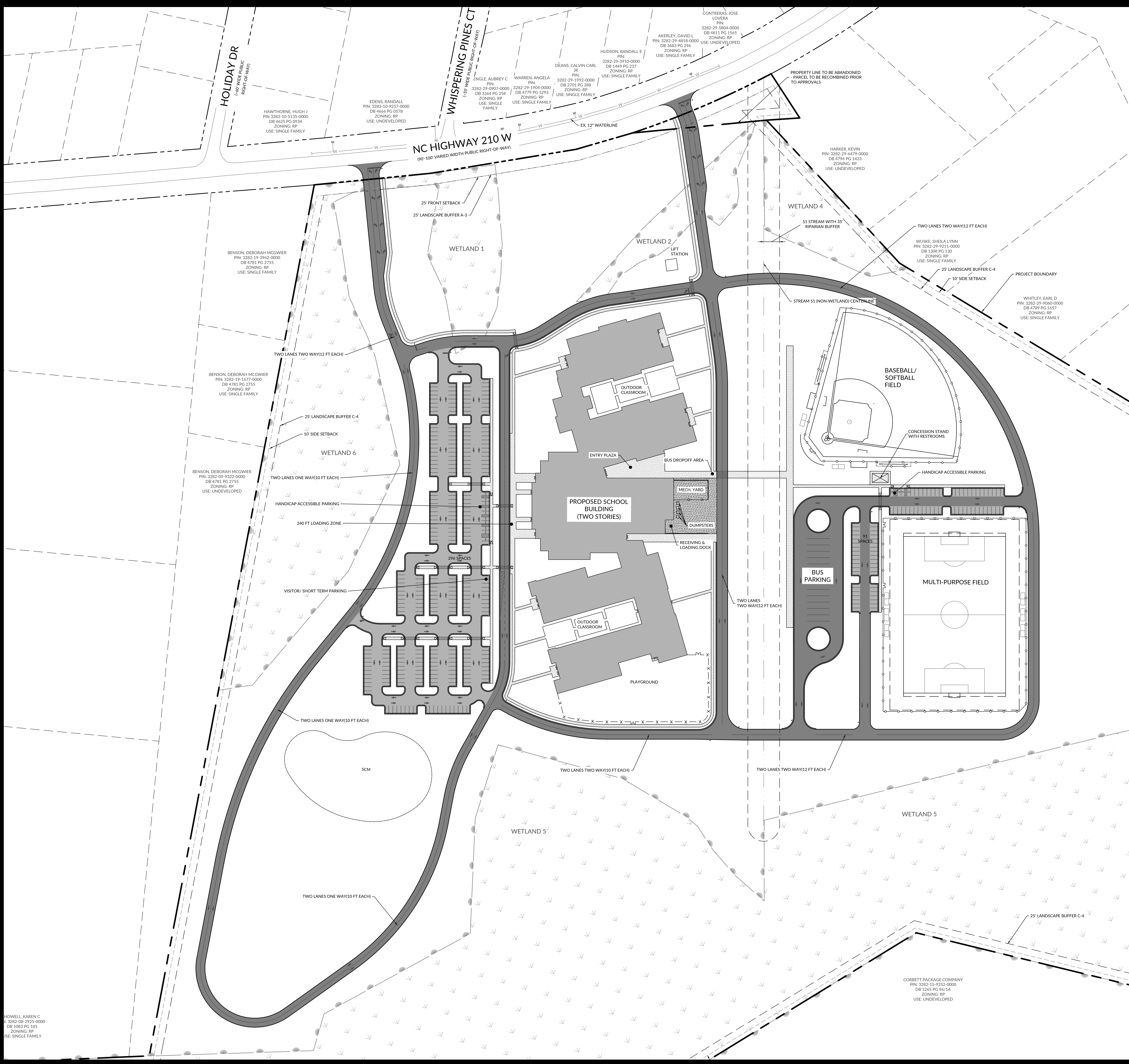
PENDER COUNTY SCHOOLS K-8 SCHOOL
Pender County Schools
Highway 210, Hampstead, NC 28443

PROJECT NO:	Z30576
DATE:	December 19, 2023
REVISIONS	
DATE	DESCRIPTION

EXISTING CONDITIONS

C1.00

J:\23\0576-Moseley Architects - Pender County - DB New K-8 School\CADD\Drawing Sets\SDS\C2.00 Overall Site Layout Plan.dwg - Friday, January 5, 2024 4:52:56 PM - TTYOU



SITE LEGEND:

NO.	PAVEMENTS, CURBS, CURB RAMPS	MATERIAL HATCH	DETAIL REF./ SHEET
1.0	PEDESTRIAN CONCRETE	[Hatch]	
1.1	HD VEHICULAR CONCRETE	[Hatch]	
1.2	STANDARD ASPHALT PAVEMENT	[Hatch]	
1.3	HD ASPHALT PAVEMENT	[Hatch]	
1.4	CONCRETE PAVER TYPE 1	[Hatch]	
1.5	CONCRETE PAVER TYPE 2	[Hatch]	
1.6	CONCRETE CURB & GLITTER	[Hatch]	
1.7	CONCRETE FLUSH CURB	[Hatch]	
1.8	CONCRETE CURB RAMP TYPE 1	[Hatch]	
1.9	CONCRETE CURB RAMP TYPE 2	[Hatch]	
1.10	NO PARKING AREA	[Hatch]	
1.11	FIRE LANE STRIPING	[Hatch]	
1.12	TYPICAL PAVEMENT STRIPING	[Hatch]	
1.13	TYPICAL PAVEMENT MARKINGS	[Hatch]	
1.14	TRAFFIC SIGN	[Hatch]	

STORMWATER MANAGEMENT STATEMENT:

THE PROJECT WILL PROVIDE VELOCITY CONTROL OF STORMWATER RUN-OFF SO THAT RUN-OFF WILL NOT BE OF AN EROSION NATURE. AREAS THAT HAVE PIPE CONVEYANCE, SUCH AS THE WESTERN PARKING LOT, WILL BE ASSESSED AS HIGH DENSITY WITH AN APPROPRIATELY SIZED STORMWATER CONTROL MEASURE (SCM) LOCATED IN THE SOUTHWESTERN PART OF THE SITE TO LIMIT PONDING OF WATER DURING THE 10-YEAR STORM EVENT. FOR THE REMAINDER AND MAJORITY OF THE SITE, THE LOW DENSITY DEVELOPMENT WILL FACILITATE THE USE OF VEGETATED CONVEYANCES TO MANAGE RUNOFF OF THE 10-YEAR STORM EVENT.

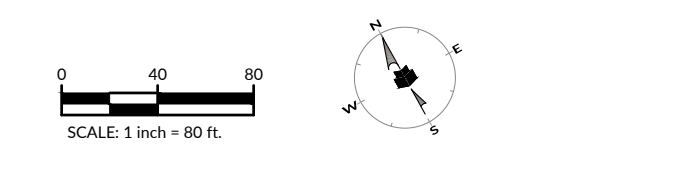
THE SCMS AND CONVEYANCE WILL BE DESIGNED SUCH THAT POST DEVELOPMENT RUNOFF WILL BE NO MORE THAN TEN (10) PERCENT MORE THAN THE PREDEVELOPMENT RUNOFF. THE LOW DENSITY AREAS OF THE PROJECT WILL BE DESIGNED SUCH THAT THE DISCHARGE IS NO GREATER THAN 50% OF THE TOTAL PREDEVELOPMENT FLOW FOR THE 1 YEAR 24-HOUR STORM EVENT.

THE STORMWATER DESIGN WILL FACILITATE THE USE OF THE RATIONAL METHOD AND THE SAINFALL DATA AVAILABLE PER THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA). ANY OFF-SITE RUNOFF CONVEYANCES WILL BE DESIGNED FOR THE 10-YEAR EVENT.

TRAFFIC AND CIRCULATION STATEMENT:

TIA: AT THE TIME OF THIS SUBMITTAL A TRAFFIC IMPACT ANALYSIS IS CURRENTLY UNDERWAY BY KIMLEY-HORN. TRAFFIC COUNTS WERE COMPLETED DECEMBER 2023 WHILE SCHOOLS WERE STILL IN SESSION.

CIRCULATION: THE SITE WILL BE ACCESSED FROM NC-HWY 210 BY TWO SEPARATE DRIVEWAYS. THE WESTERN MOST DRIVEWAY WILL BE THE PRIMARY CARPOOL ENTRANCE ONCE STUDENT DROP-OFF/PICKUP HAS OCCURRED ON THE WEST SIDE OF THE SCHOOL. THE CARPOOL TRAFFIC WILL EXIT THE SITE FROM THE EASTERN MOST DRIVEWAY. BUS AND DELIVERY TRUCK ACCESS TO THE SCHOOL WILL BE FROM THE EASTERN MOST DRIVEWAY TO THE EAST SIDE OF THE SCHOOL AND WILL CIRCULATE AROUND THE SITE TO THE EAST TO EXIT BACK OUT THE EASTERN MOST DRIVEWAY. OFF-SITE IMPROVEMENTS ALONG NC-210 WILL BE EVALUATED AND DESIGNED BY KIMLEY-HORN FOLLOWING THE TIA RESULTS.



WithersRavenel
 115 MacKean Drive | Cary, NC 27511
 License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

MOSELEY ARCHITECTS
 5220 NORFOLK STREET, RICHMOND, VA 23230
 PHONE: (804) 754-1550 FAX: (804) 355-9800
 MOSELEYARCHITECTS.COM

PENDER COUNTY SCHOOLS K-8 SCHOOL
 Pender County Schools
 Highway 210, Hampstead, NC 28443

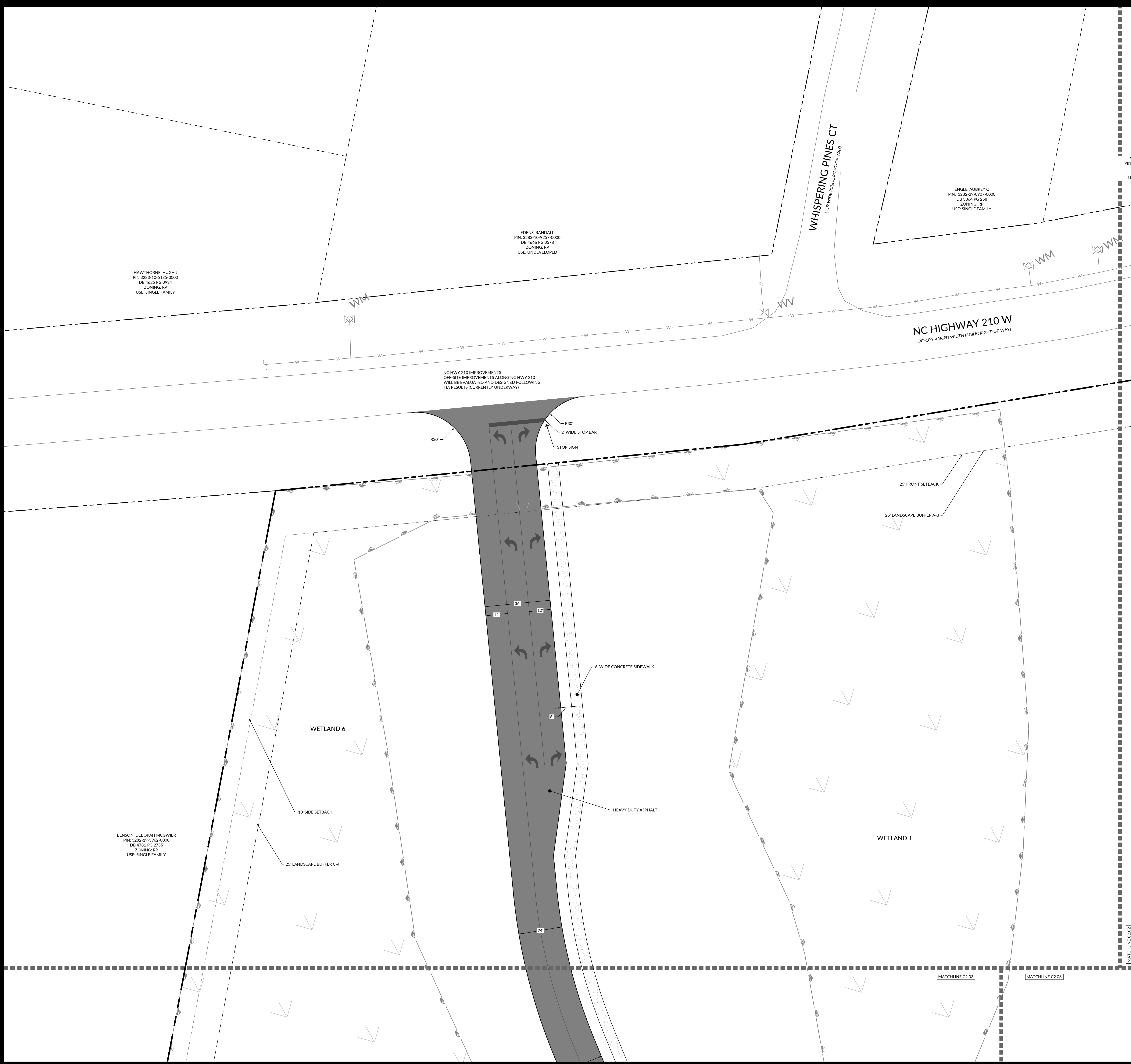
PROJECT NO:	631310
DATE:	JANUARY 5, 2024
REVISIONS	
DATE	DESCRIPTION

OVERALL SITE LAYOUT PLAN

C2.00

WR PROJECT NO. 23-576

J:\23\0576-Moseley Architects - Pender County - DB New K-8 School\CAD\Drawing Sets\SDS\C2.01 - C2.09 Site Layout Plan.dwg - Friday, January 5, 2024 4:55:05 PM - TYOU



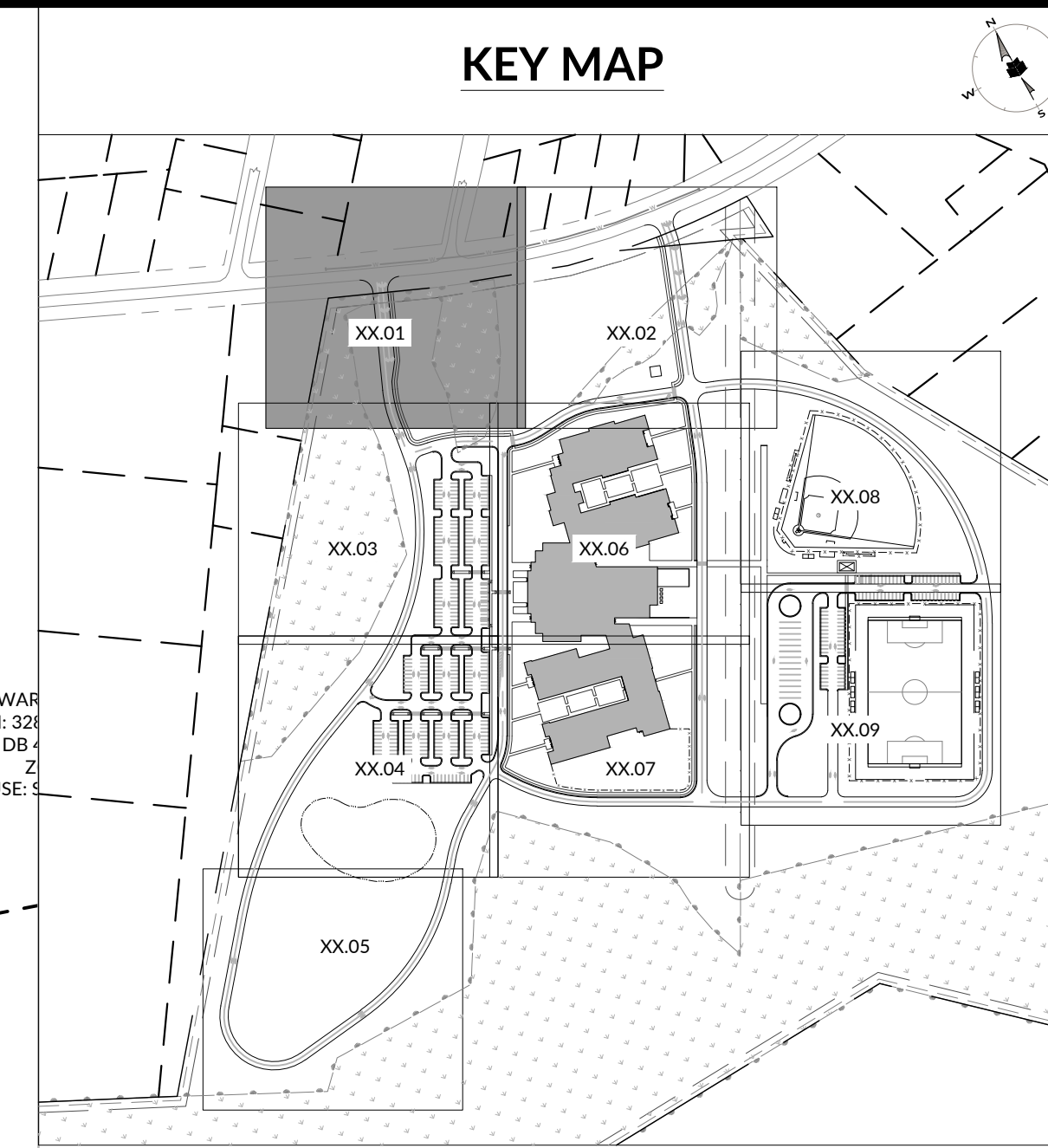
HAWTHORNE, HUGH J
PIN: 3283-10-9237-0000
DB 4625 PG 0934
ZONING: RP
USE: SINGLE FAMILY

EDENS, RANDALL
PIN: 3283-10-9237-0000
DB 4646 PG 0578
ZONING: RP
USE: UNDEVELOPED

INGLE, AUBREY C
PIN: 3283-29-0907-0000
DB 3364 PG 258
ZONING: RP
USE: SINGLE FAMILY

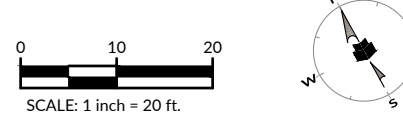
BENSON, DEBORAH MCCOWIE
PIN: 3283-19-0942-0000
DB 4781 PG 2755
ZONING: RP
USE: SINGLE FAMILY

NC HWY 210 IMPROVEMENTS
DRP SITE IMPROVEMENTS ALONG NC HWY 210
WILL BE EVALUATED AND DESIGNED FOLLOWING
TIA RESULTS (CURRENTLY UNDERWAY)



SITE LEGEND:

NO.	DESCRIPTION	MATERIAL HATCH	DETAIL REF./ SHEET
1.0	PAVEMENTS, CURBS, CURB RAMPS		
1.1	PEDESTRIAN CONCRETE	[Hatch]	
1.2	HD VEHICULAR CONCRETE	[Hatch]	
1.3	STANDARD ASPHALT PAVEMENT	[Hatch]	
1.4	HD ASPHALT PAVEMENT	[Hatch]	
1.5	CONCRETE PAVER TYPE 1	[Hatch]	
1.6	CONCRETE PAVER TYPE 2	[Hatch]	
1.7	CONCRETE CURB & GLITTER	[Hatch]	
1.8	CONCRETE FLUSH CURB	[Hatch]	
1.9	CONCRETE CURB RAMP TYPE 1	[Hatch]	
1.10	CONCRETE CURB RAMP TYPE 2	[Hatch]	
1.11	NO PARKING AREA	[Hatch]	
1.12	FIRE LANE STRIPING	[Hatch]	
1.13	TYPICAL PAVEMENT STRIPING	[Hatch]	
1.14	TYPICAL PAVEMENT MARKINGS	[Hatch]	
1.15	TRAFFIC SIGN	[Hatch]	
2.0	JOINTING		
2.1	CONTROL JOINT	[Hatch]	
2.2	EXPANSION JOINT	[Hatch]	
3.0	STEPS / RAMPS		
3.1	STEPS TYPE 1 (CONCRETE)	[Hatch]	
3.2	CONCRETE ACCESSIBLE RAMP	[Hatch]	
4.0	SITE WALLS / EMBANKMENTS		
4.1	DUMPSTER ENCLOSURE WALL	[Hatch]	
4.2	RETAINING WALL	[Hatch]	
5.0	RAILINGS, BARRIERS, FENCING / GATES		
5.1	HANDRAIL	[Hatch]	
5.2	GUARDRAIL	[Hatch]	
5.3	BLACK ALUM. FENCING	[Hatch]	
5.4	BLACK ALUM. GATE	[Hatch]	
5.5	CONCRETE FILLED BOLLARD	[Hatch]	
5.6	REMOVABLE BOLLARD	[Hatch]	
6.0	SITE FURNISHINGS		
6.1	WASTE RECEPTACLE TYPE 1	[Hatch]	
6.2	BIKE RACK	[Hatch]	
7.0	SITE LIGHTING		
7.1	VEHICULAR AREA LIGHT POLE	[Hatch]	
8.0	MISCELLANEOUS SITE FEATURES		
8.1	TREE PROTECTION AREA	[Hatch]	
8.2	TREE PROTECTION FENCE	[Hatch]	
8.3	LIMITS OF DISTURBANCE	[Hatch]	
8.4	LANDSCAPE YARD	[Hatch]	
8.5	CONCRETE FLUSH BAND	[Hatch]	
8.6	TRANSFORMER	[Hatch]	
8.7	ADA ACCESSIBLE ROUTE	[Hatch]	



WithersRavenel
115 MacKenan Drive | Cary, NC 27511
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

MOSELEY ARCHITECTS
5200 NORFOLK STREET, RICHMOND, VA 23290
PHONE: (804) 754-1555 FAX: (804) 555-5660
MOSELEYARCHITECTS.COM

PENDER COUNTY SCHOOLS K-8 SCHOOL
Pender County Schools
Highway 210, Hampstead, NC 28443

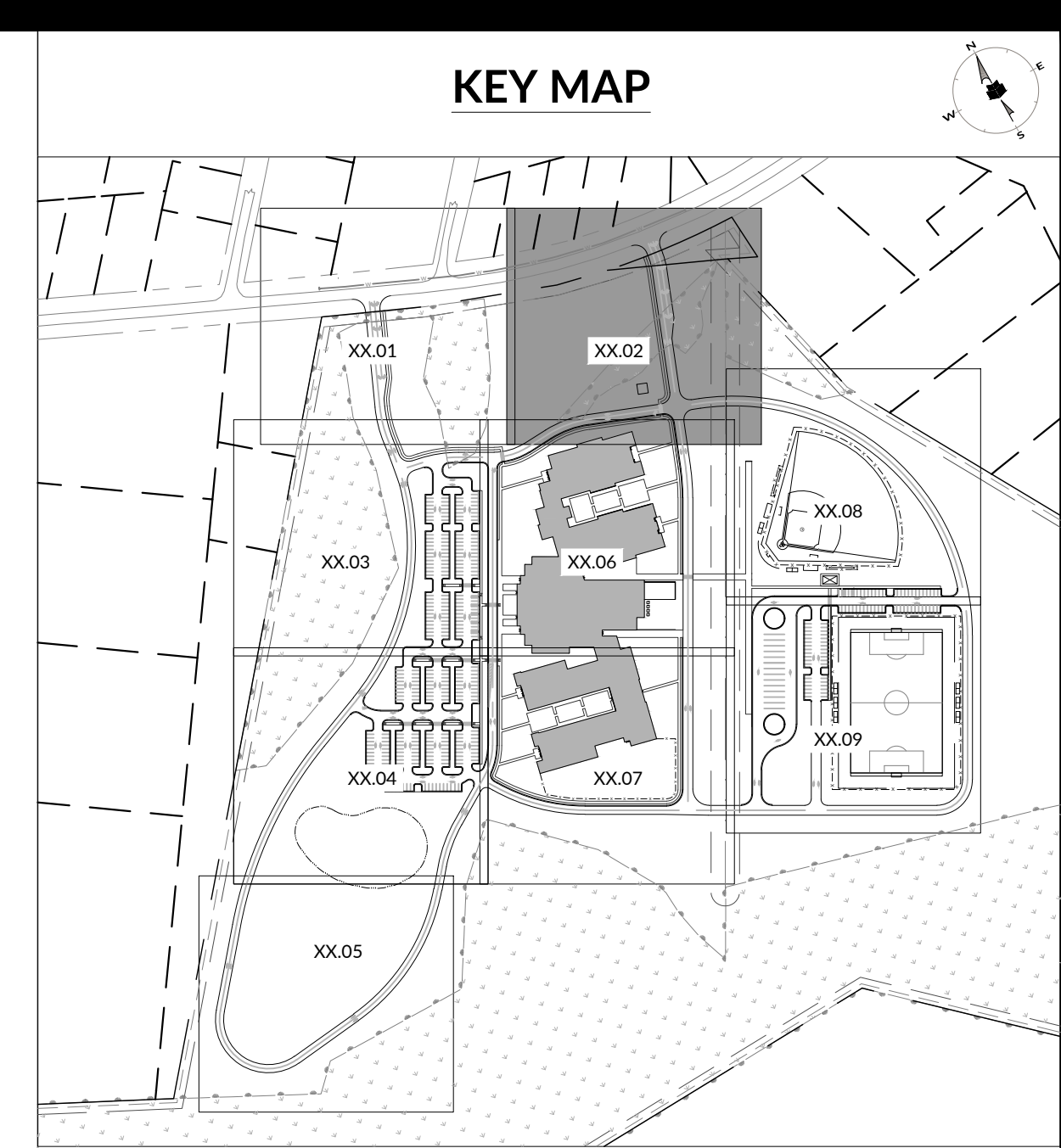
PROJECT NO:	631310
DATE:	JANUARY 5, 2024
REVISIONS	
DATE	DESCRIPTION

SITE LAYOUT PLAN

C2.01

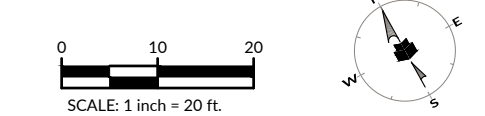
WR PROJECT NO. 23-576

J:\23\0576-Moseley Architects - Pender County - DB New K-8 School\CAD\Drawing Sets\SDS\C2.01 - C2.09 Site Layout Plan.dwg - Friday, January 5, 2024 4:53:07 PM - TTYOU



SITE LEGEND:

NO.	DESCRIPTION	MATERIAL HATCH	DETAIL REF./ SHEET
1.0	PAVEMENTS, CURBS, CURB RAMPS		
1.1	PEDESTRIAN CONCRETE	[Hatch]	
1.2	HD VEHICULAR CONCRETE	[Hatch]	
1.3	STANDARD ASPHALT PAVEMENT	[Hatch]	
1.4	HD ASPHALT PAVEMENT	[Hatch]	
1.5	CONCRETE PAVER TYPE 1	[Hatch]	
1.6	CONCRETE PAVER TYPE 2	[Hatch]	
1.7	CONCRETE CURB & GLITTER	[Hatch]	
1.8	CONCRETE FLUSH CURB	[Hatch]	
1.9	CONCRETE CURB RAMP TYPE 1	[Hatch]	
1.10	CONCRETE CURB RAMP TYPE 2	[Hatch]	
1.11	NO PARKING AREA	[Hatch]	
1.12	FIRE LANE STRIPING	[Hatch]	
1.13	TYPICAL PAVEMENT STRIPING	[Hatch]	
1.14	TYPICAL PAVEMENT MARKINGS	[Hatch]	
1.15	TRAFFIC SIGN	[Hatch]	
2.0	JOINTING		
2.1	CONTROL JOINT	[Hatch]	
2.2	EXPANSION JOINT	[Hatch]	
3.0	STEPS / RAMPS		
3.1	STEPS TYPE 1 (CONCRETE)	[Hatch]	
3.2	CONCRETE ACCESSIBLE RAMP	[Hatch]	
4.0	SITE WALLS / EMBANKMENTS		
4.1	DUMPSTER ENCLOSURE WALL	[Hatch]	
4.2	RETAINING WALL	[Hatch]	
5.0	RAILINGS, BARRIERS, FENCING / GATES		
5.1	HANDRAIL	[Hatch]	
5.2	GUARDRAIL	[Hatch]	
5.3	BLACK ALUM. FENCING	[Hatch]	
5.4	BLACK ALUM. GATE	[Hatch]	
5.5	CONCRETE FILLED BOLLARD	[Hatch]	
5.6	REMOVABLE BOLLARD	[Hatch]	
6.0	SITE FURNISHINGS		
6.1	WASTE RECEPTACLE TYPE 1	[Hatch]	
6.2	BIKE RACK	[Hatch]	
7.0	SITE LIGHTING		
7.1	VEHICULAR AREA LIGHT POLE	[Hatch]	
8.0	MISCELLANEOUS SITE FEATURES		
8.1	TREE PROTECTION AREA	[Hatch]	
8.2	TREE PROTECTION FENCE	[Hatch]	
8.3	LIMITS OF DISTURBANCE	[Hatch]	
8.4	LANDSCAPE YARD	[Hatch]	
8.5	CONCRETE FLUSH BAND	[Hatch]	
8.6	TRANSFORMER	[Hatch]	
8.7	ADA ACCESSIBLE ROUTE	[Hatch]	



WithersRavenel
 115 MacKenan Drive | Cary, NC 27511
 License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

WR PROJECT NO. 23-576

MOSELEY ARCHITECTS

5200 NORFOLK STREET, RICHMOND, VA 23290
PHONE (804) 784-1557 FAX (804) 555-5660
MOSELEYARCHITECTS.COM

PENDER COUNTY SCHOOLS K-8 SCHOOL

Pender County Schools
Highway 210, Hampstead, NC 28443

PROJECT NO: 631310
 DATE: JANUARY 5, 2024

NO.	REVISIONS

DATE	DESCRIPTION

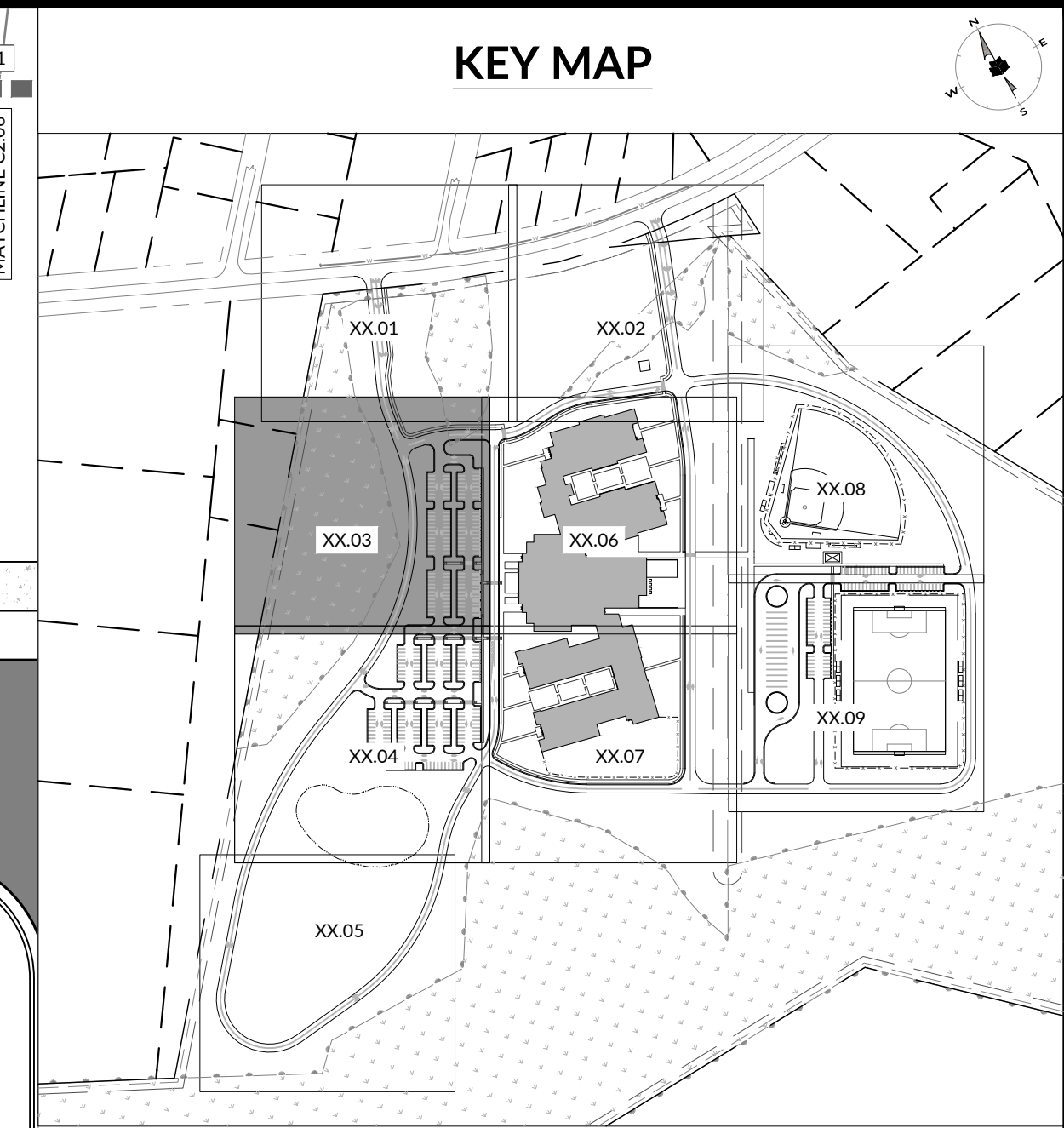
SITE LAYOUT PLAN

C2.02



BENSON, DEBORAH MCGOWIE
PIN: 3282-19-1677-0000
DB 4781 PG 2755
ZONING: RP
USE: SINGLE FAMILY

BENSON, DEBORAH MCGOWIE
PIN: 3282-19-1677-0000
DB 4781 PG 2755
ZONING: RP
USE: UNDEVELOPED



SITE LEGEND:

NO.	DESCRIPTION	MATERIAL HATCH	DETAIL REF./ SHEET
1.0	PAVEMENTS, CURBS, CURB RAMPS		
1.1	PEDESTRIAN CONCRETE	[Hatch]	
1.2	HD VEHICULAR CONCRETE	[Hatch]	
1.3	STANDARD ASPHALT PAVEMENT	[Hatch]	
1.4	HD ASPHALT PAVEMENT	[Hatch]	
1.5	CONCRETE PAVER TYPE 1	[Hatch]	
1.6	CONCRETE PAVER TYPE 2	[Hatch]	
1.7	CONCRETE CURB & GUTTER	[Hatch]	
1.8	CONCRETE FLUSH CURB	[Hatch]	
1.9	CONCRETE CURB RAMP TYPE 1	[Hatch]	
1.10	CONCRETE CURB RAMP TYPE 2	[Hatch]	
1.11	NO PARKING AREA	[Hatch]	
1.12	FIRE LANE STRIPING	[Hatch]	
1.13	TYPICAL PAVEMENT STRIPING	[Hatch]	
1.14	TYPICAL PAVEMENT MARKINGS	[Hatch]	
1.15	TRAFFIC SIGN	[Hatch]	
2.0	JOINTING		
2.1	CONTROL JOINT	[Hatch]	
2.2	EXPANSION JOINT	[Hatch]	
3.0	STEPS / RAMPS		
3.1	STEPS TYPE 1 (CONCRETE)	[Hatch]	
3.2	CONCRETE ACCESSIBLE RAMP	[Hatch]	
4.0	SITE WALLS / EMBANKMENTS		
4.1	DUMPSTER ENCLOSURE WALL	[Hatch]	
4.2	RETAINING WALL	[Hatch]	
5.0	RAILINGS, BARRIERS, FENCING / GATES		
5.1	HANDRAIL	[Hatch]	
5.2	GUARDRAIL	[Hatch]	
5.3	BLACK ALUM. FENCING	[Hatch]	
5.4	BLACK ALUM. GATE	[Hatch]	
5.5	CONCRETE FILLED BOLLARD	[Hatch]	
5.6	REMOVABLE BOLLARD	[Hatch]	
6.0	SITE FURNISHINGS		
6.1	WASTE RECEPTACLE TYPE 1	[Hatch]	
6.2	BIKE RACK	[Hatch]	
7.0	SITE LIGHTING		
7.1	VEHICULAR AREA LIGHT POLE	[Hatch]	
8.0	MISCELLANEOUS SITE FEATURES		
8.1	TREE PROTECTION AREA	[Hatch]	
8.2	TREE PROTECTION FENCE	[Hatch]	
8.3	LIMITS OF DISTURBANCE	[Hatch]	
8.4	LANDSCAPE YARD	[Hatch]	
8.5	CONCRETE FLUSH BAND	[Hatch]	
8.6	TRANSFORMER	[Hatch]	
8.7	ADA ACCESSIBLE ROUTE	[Hatch]	



WithersRavenel
115 MacKenan Drive | Cary, NC 27511
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

WR PROJECT NO. 23-576

MOSELEYARCHITECTS
5200 NORFOLK STREET, RICHMOND, VA 23290
PHONE (804) 754-1555 FAX (804) 555-5600
MOSELEYARCHITECTS.COM

PENDER COUNTY SCHOOLS K-8 SCHOOL
Pender County Schools
Highway 210, Hampstead, NC 28443

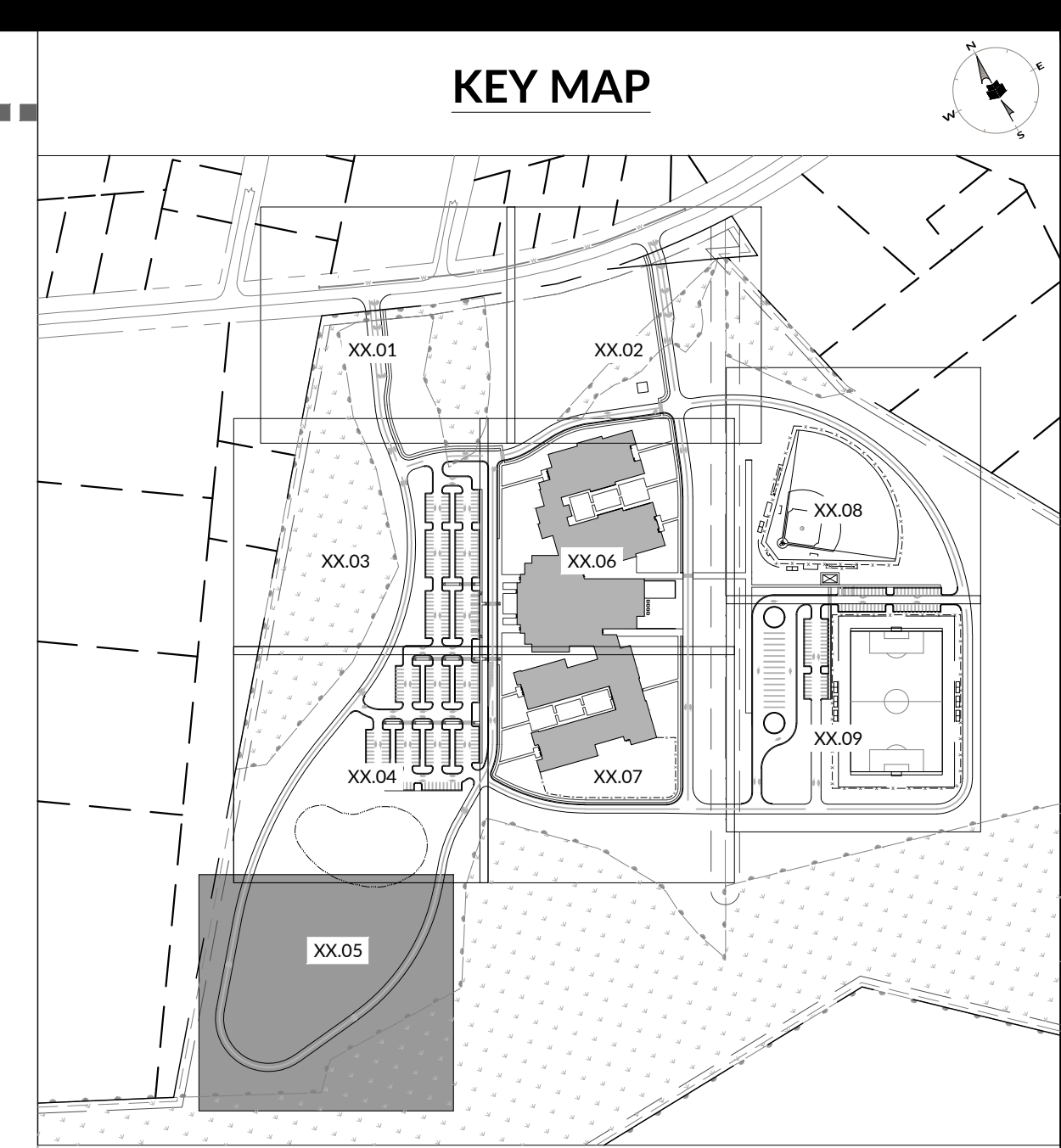
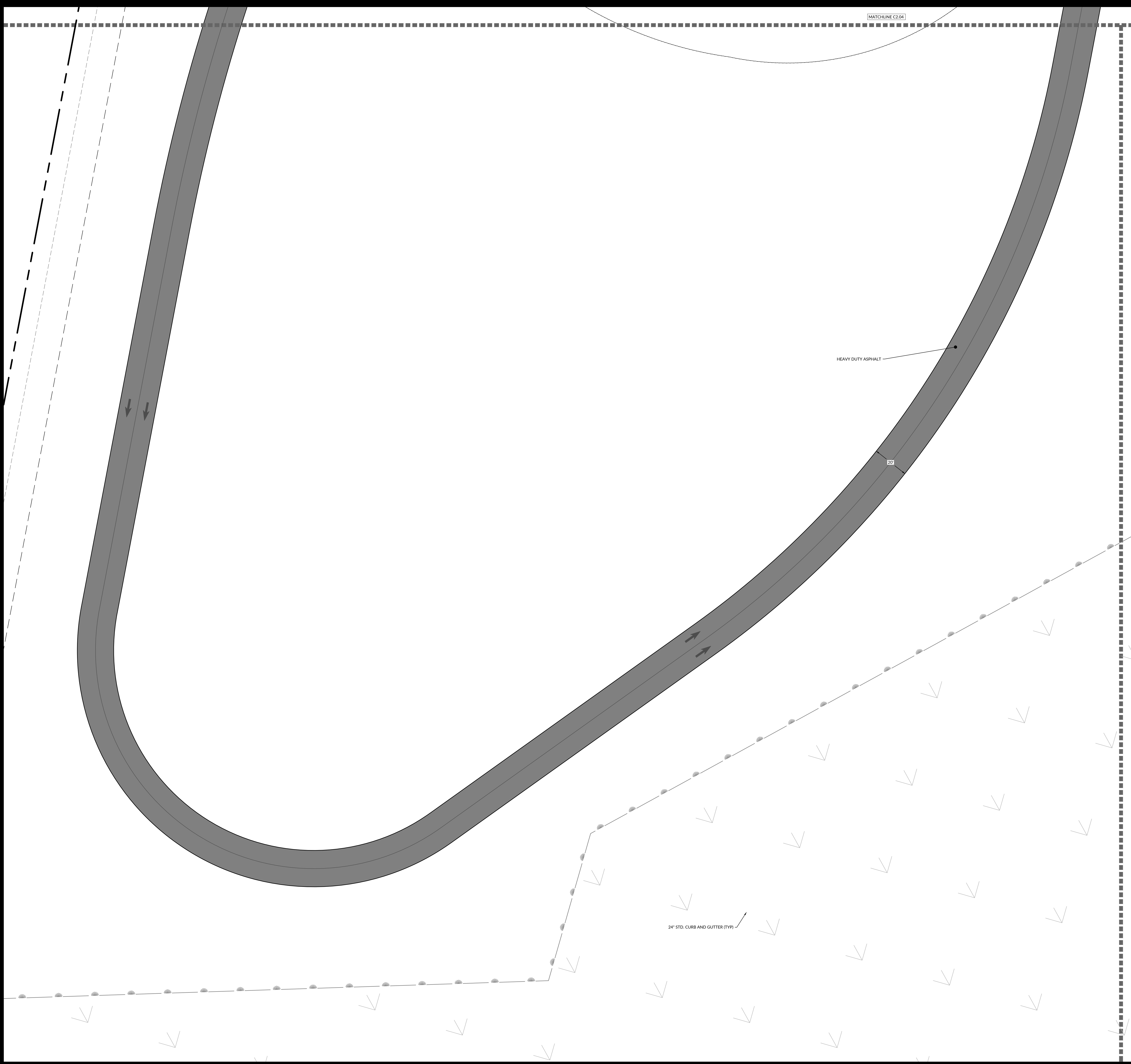
PROJECT NO: 631310
DATE: JANUARY 5, 2024

REVISIONS	DATE	DESCRIPTION

SITE LAYOUT PLAN

C2.03

J:\23\0576-Moseley Architects - Pender County - DB New K-8 School\CAD\Drawing Sets\SDS\C2.01 - C2.09 Site Layout Plan.dwg - Friday, January 5, 2024 4:55:13 PM - TYOU



SITE LEGEND:

	MATERIAL HATCH	DETAIL REF./ SHEET
1.0 PAVEMENTS, CURBS, CURB RAMPS		
1.0	[Hatch]	PEDESTRIAN CONCRETE
1.1	[Hatch]	HD VEHICULAR CONCRETE
1.2	[Hatch]	STANDARD ASPHALT PAVEMENT
1.3	[Hatch]	HD ASPHALT PAVEMENT
1.4	[Hatch]	CONCRETE PAVER TYPE 1
1.5	[Hatch]	CONCRETE PAVER TYPE 2
1.6	[Hatch]	CONCRETE CURB & GUTTER
1.7	[Hatch]	CONCRETE FLUSH CURB
1.8	[Hatch]	CONCRETE CURB RAMP TYPE 1
1.9	[Hatch]	CONCRETE CURB RAMP TYPE 2
1.10	[Hatch]	NO PARKING AREA
1.11	[Hatch]	FIRE LANE STRIPING
1.12	[Hatch]	TYPICAL PAVEMENT STRIPING
1.13	[Hatch]	TYPICAL PAVEMENT MARKINGS
1.14	[Hatch]	TRAFFIC SIGN
2.0 JOINTING		
2.0	[Hatch]	CONTROL JOINT
2.1	[Hatch]	EXPANSION JOINT
3.0 STEPS / RAMPS		
3.0	[Hatch]	STEPS TYPE 1 (CONCRETE)
3.1	[Hatch]	CONCRETE ACCESSIBLE RAMP
4.0 SITE WALLS / EMBANKMENTS		
4.0	[Hatch]	DUMPSTER ENCLOSURE WALL
4.1	[Hatch]	RETAINING WALL
5.0 RAILINGS, BARRIERS, FENCING / GATES		
5.0	[Hatch]	HANDRAIL
5.1	[Hatch]	GUARDRAIL
5.2	[Hatch]	BLACK ALUM. FENCING
5.3	[Hatch]	BLACK ALUM. GATE
5.4	[Hatch]	CONCRETE FILLED BOLLARD
5.5	[Hatch]	REMOVABLE BOLLARD
6.0 SITE FURNISHINGS		
6.0	[Hatch]	WASTE RECEPTACLE TYPE 1
6.1	[Hatch]	BIKE RACK
7.0 SITE LIGHTING		
7.0	[Hatch]	VEHICULAR AREA LIGHT POLE
8.0 MISCELLANEOUS SITE FEATURES		
8.0	[Hatch]	TREE PROTECTION AREA
8.1	[Hatch]	TREE PROTECTION FENCE
8.2	[Hatch]	LIMITS OF DISTURBANCE
8.3	[Hatch]	LANDSCAPE YARD
8.4	[Hatch]	CONCRETE FLUSH BAND
8.5	[Hatch]	TRANSFORMER
8.6	[Hatch]	ADA ACCESSIBLE ROUTE

MOSELEYARCHITECTS

5200 NORFOLK STREET, RICHMOND, VA 23230
PHONE (804) 754-7557 FAX (804) 555-5600
MOSELEYARCHITECTS.COM

PENDER COUNTY SCHOOLS K-8 SCHOOL

Pender County Schools
Highway 210, Hampstead, NC 28443

PROJECT NO:	631310
DATE:	JANUARY 5, 2024
REVISIONS	
DATE	DESCRIPTION

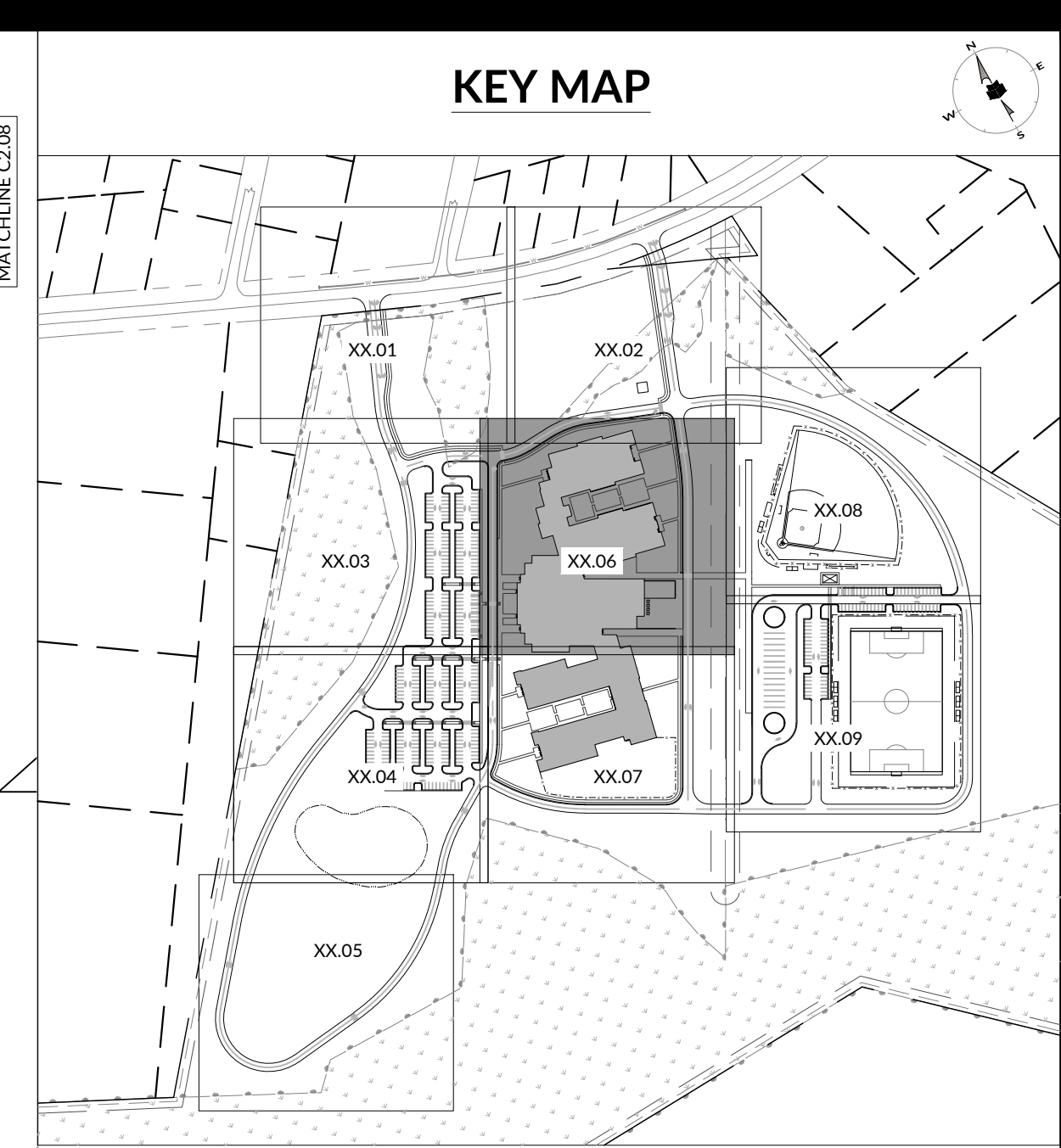
SITE LAYOUT PLAN

WithersRavenel
115 MacKenan Drive | Cary, NC 27511
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

WR PROJECT NO. 23-576

C2.05

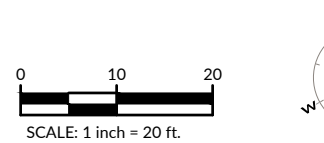
J:\23\0576-Moseley Architects - Pender County - DB New K-8 School\CAD\Drawing Sets\SDS\C2.01 - C2.09 Site Layout Plan.dwg - Friday, January 5, 2024 4:55:16 PM - TTYOU



SITE LEGEND:

NO.	DESCRIPTION	MATERIAL HATCH	DETAIL REF./ SHEET
1.0	PAVEMENTS, CURBS, CURB RAMPS		
1.1	PEDESTRIAN CONCRETE	[Hatch]	
1.2	HD VEHICULAR CONCRETE	[Hatch]	
1.3	STANDARD ASPHALT PAVEMENT	[Hatch]	
1.4	HD ASPHALT PAVEMENT	[Hatch]	
1.5	CONCRETE PAVER TYPE 1	[Hatch]	
1.6	CONCRETE PAVER TYPE 2	[Hatch]	
1.7	CONCRETE CURB & GUTTER	[Hatch]	
1.8	CONCRETE FLUSH CURB	[Hatch]	
1.9	CONCRETE CURB RAMP TYPE 1	[Hatch]	
1.10	CONCRETE CURB RAMP TYPE 2	[Hatch]	
1.11	NO PARKING AREA	[Hatch]	
1.12	FIRE LANE STRIPING	[Hatch]	
1.13	TYPICAL PAVEMENT STRIPING	[Hatch]	
1.14	TYPICAL PAVEMENT MARKINGS	[Hatch]	
1.15	TRAFFIC SIGN	[Hatch]	
2.0	JOINTING		
2.1	CONTROL JOINT	[Hatch]	
2.2	EXPANSION JOINT	[Hatch]	
3.0	STEPS / RAMPS		
3.1	STEPS TYPE 1 (CONCRETE)	[Hatch]	
3.2	CONCRETE ACCESSIBLE RAMP	[Hatch]	
4.0	SITE WALLS / EMBANKMENTS		
4.1	DUMPSTER ENCLOSURE WALL	[Hatch]	
4.2	RETAINING WALL	[Hatch]	
5.0	RAILINGS, BARRIERS, FENCING / GATES		
5.1	HANDRAIL	[Hatch]	
5.2	GUARDRAIL	[Hatch]	
5.3	BLACK ALUM. FENCING	[Hatch]	
5.4	BLACK ALUM. GATE	[Hatch]	
5.5	CONCRETE FILLED BOLLARD	[Hatch]	
5.6	REMOVABLE BOLLARD	[Hatch]	
6.0	SITE FURNISHINGS		
6.1	WASTE RECEPTACLE TYPE 1	[Hatch]	
6.2	BIKE RACK	[Hatch]	
7.0	SITE LIGHTING		
7.1	VEHICULAR AREA LIGHT POLE	[Hatch]	
8.0	MISCELLANEOUS SITE FEATURES		
8.1	TREE PROTECTION AREA	[Hatch]	
8.2	TREE PROTECTION FENCE	[Hatch]	
8.3	LIMITS OF DISTURBANCE	[Hatch]	
8.4	LANDSCAPE YARD	[Hatch]	
8.5	CONCRETE FLUSH BAND	[Hatch]	
8.6	TRANSFORMER	[Hatch]	
8.7	ADA ACCESSIBLE ROUTE	[Hatch]	

KEY MAP



MOSELEYARCHITECTS

5200 NORFOLK STREET, RICHMOND, VA 23290
 PHONE (804) 794-1555 FAX (804) 955-9600
 MOSELEYARCHITECTS.COM

PENDER COUNTY SCHOOLS K-8 SCHOOL

Pender County Schools
 Highway 210, Hampstead, NC 28443

PROJECT NO:	651310
DATE:	JANUARY 5, 2024
REVISIONS	
DATE	DESCRIPTION

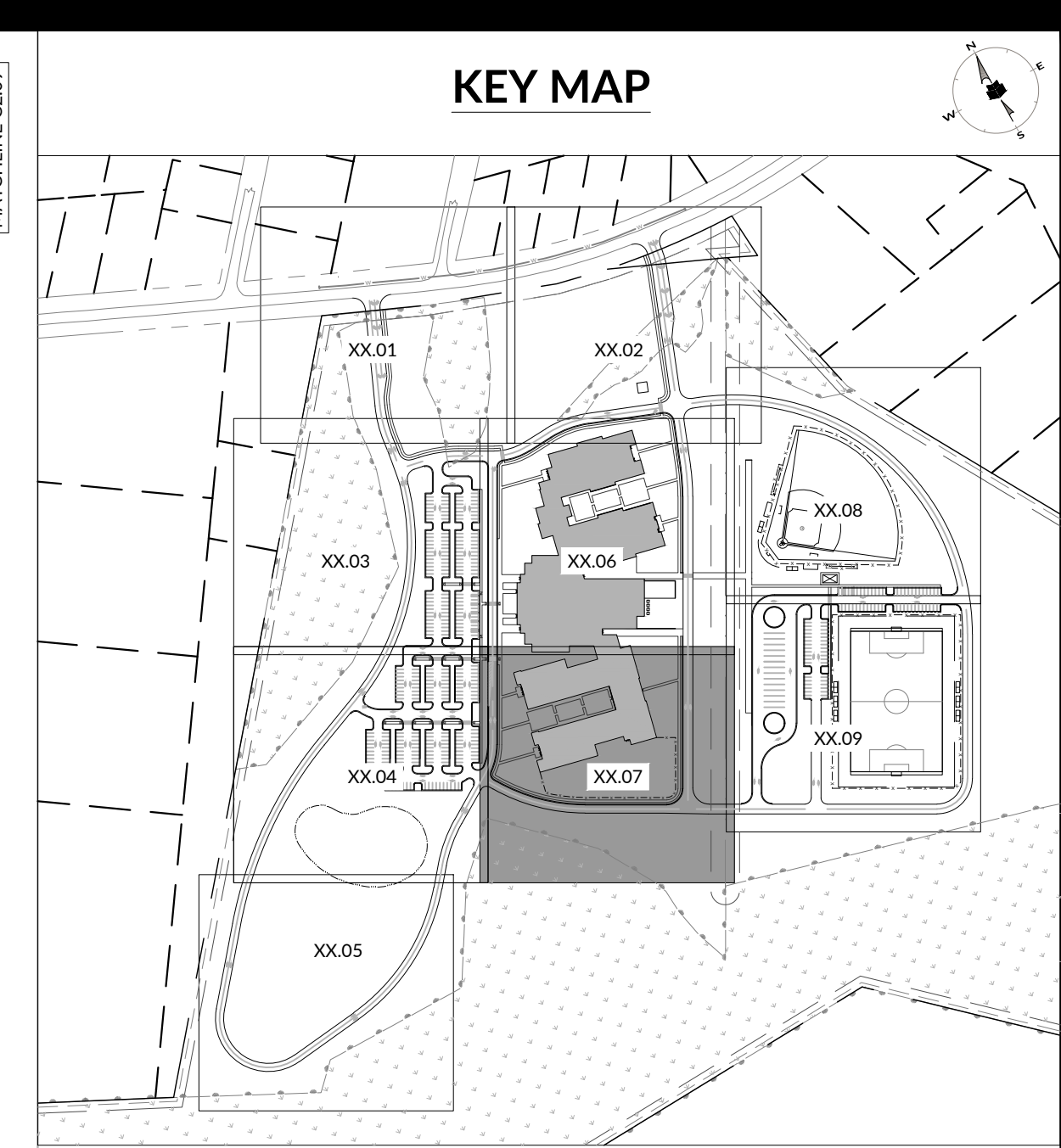
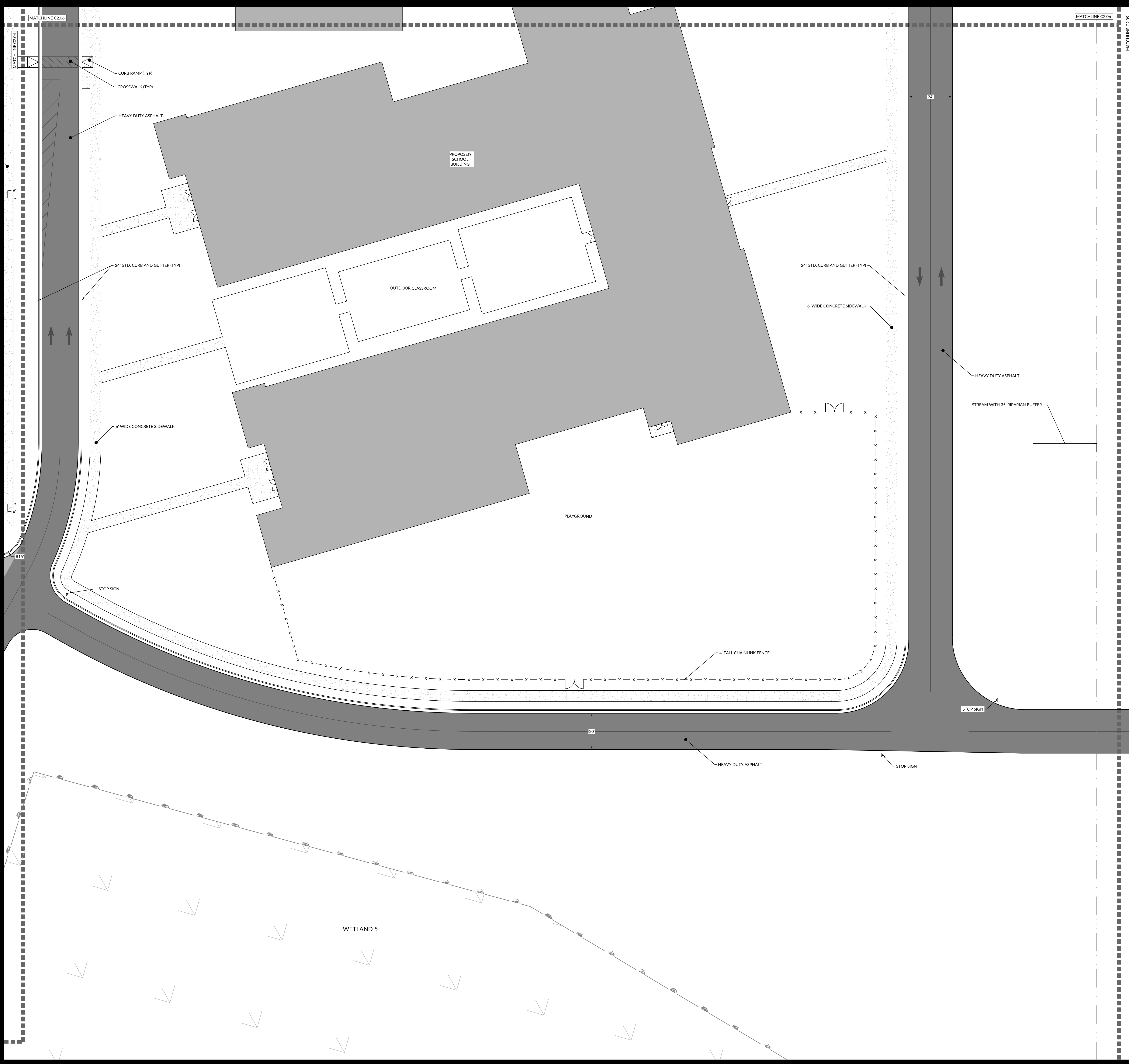
SITE LAYOUT PLAN

WithersRavenel
 115 MacKenan Drive | Cary, NC 27511
 License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

WR PROJECT NO. 23-576

C2.06

J:\23\0576-Moseley Architects - Pender County - DB New K-8 School\CAD\Drawing Sets\SDS\C2.01 - C2.09 Site Layout Plan.dwg - Friday, January 5, 2024 4:55:18 PM - TTYOU



SITE LEGEND:

DETAIL REF./ SHEET	MATERIAL HATCH
1.0 PAVEMENTS, CURBS, CURB RAMPS	
1.0 PEDESTRIAN CONCRETE	[Hatch]
1.1 HD VEHICULAR CONCRETE	[Hatch]
1.2 STANDARD ASPHALT PAVEMENT	[Hatch]
1.3 HD ASPHALT PAVEMENT	[Hatch]
1.4 CONCRETE PAVER TYPE 1	[Hatch]
1.5 CONCRETE PAVER TYPE 2	[Hatch]
1.6 CONCRETE CURB & GUTTER	[Hatch]
1.7 CONCRETE FLUSH CURB	[Hatch]
1.8 CONCRETE CURB RAMP TYPE 1	[Hatch]
1.9 CONCRETE CURB RAMP TYPE 2	[Hatch]
1.10 NO PARKING AREA	[Hatch]
1.11 FIRE LANE STRIPING	[Hatch]
1.12 TYPICAL PAVEMENT STRIPING	[Hatch]
1.13 TYPICAL PAVEMENT MARKINGS	[Hatch]
1.14 TRAFFIC SIGN	[Hatch]
2.0 JOINTING	
2.0 CONTROL JOINT	[Hatch]
2.1 EXPANSION JOINT	[Hatch]
3.0 STEPS / RAMPS	
3.0 STEPS TYPE 1 (CONCRETE)	[Hatch]
3.1 CONCRETE ACCESSIBLE RAMP	[Hatch]
4.0 SITE WALLS / EMBANKMENTS	
4.0 DUMPSTER ENCLOSURE WALL	[Hatch]
4.1 RETAINING WALL	[Hatch]
5.0 RAILINGS, BARRIERS, FENCING / GATES	
5.0 HANDRAIL	[Hatch]
5.1 GUARDRAIL	[Hatch]
5.2 BLACK ALUM. FENCING	[Hatch]
5.3 BLACK ALUM. GATE	[Hatch]
5.4 CONCRETE FILLED BOLLARD	[Hatch]
5.5 REMOVABLE BOLLARD	[Hatch]
6.0 SITE FURNISHINGS	
6.0 WASTE RECEPTACLE TYPE 1	[Hatch]
6.1 BIKE RACK	[Hatch]
7.0 SITE LIGHTING	
7.0 VEHICULAR AREA LIGHT POLE	[Hatch]
8.0 MISCELLANEOUS SITE FEATURES	
8.0 TREE PROTECTION AREA	[Hatch]
8.1 TREE PROTECTION FENCE	[Hatch]
8.2 LIMITS OF DISTURBANCE	[Hatch]
8.3 LANDSCAPE YARD	[Hatch]
8.4 CONCRETE FLUSH BAND	[Hatch]
8.5 TRANSFORMER	[Hatch]
8.6 ADA ACCESSIBLE ROUTE	[Hatch]

MOSELEYARCHITECTS
 5200 NORFOLK STREET, RICHMOND, VA 23290
 PHONE (804) 794-1555 FAX (804) 585-9800
 MOSELEYARCHITECTS.COM

PENDER COUNTY SCHOOLS K-8 SCHOOL
 Pender County Schools
 Highway 210, Hampstead, NC 28443

PROJECT NO:	631310
DATE:	JANUARY 5, 2024
REVISIONS	
DATE	DESCRIPTION

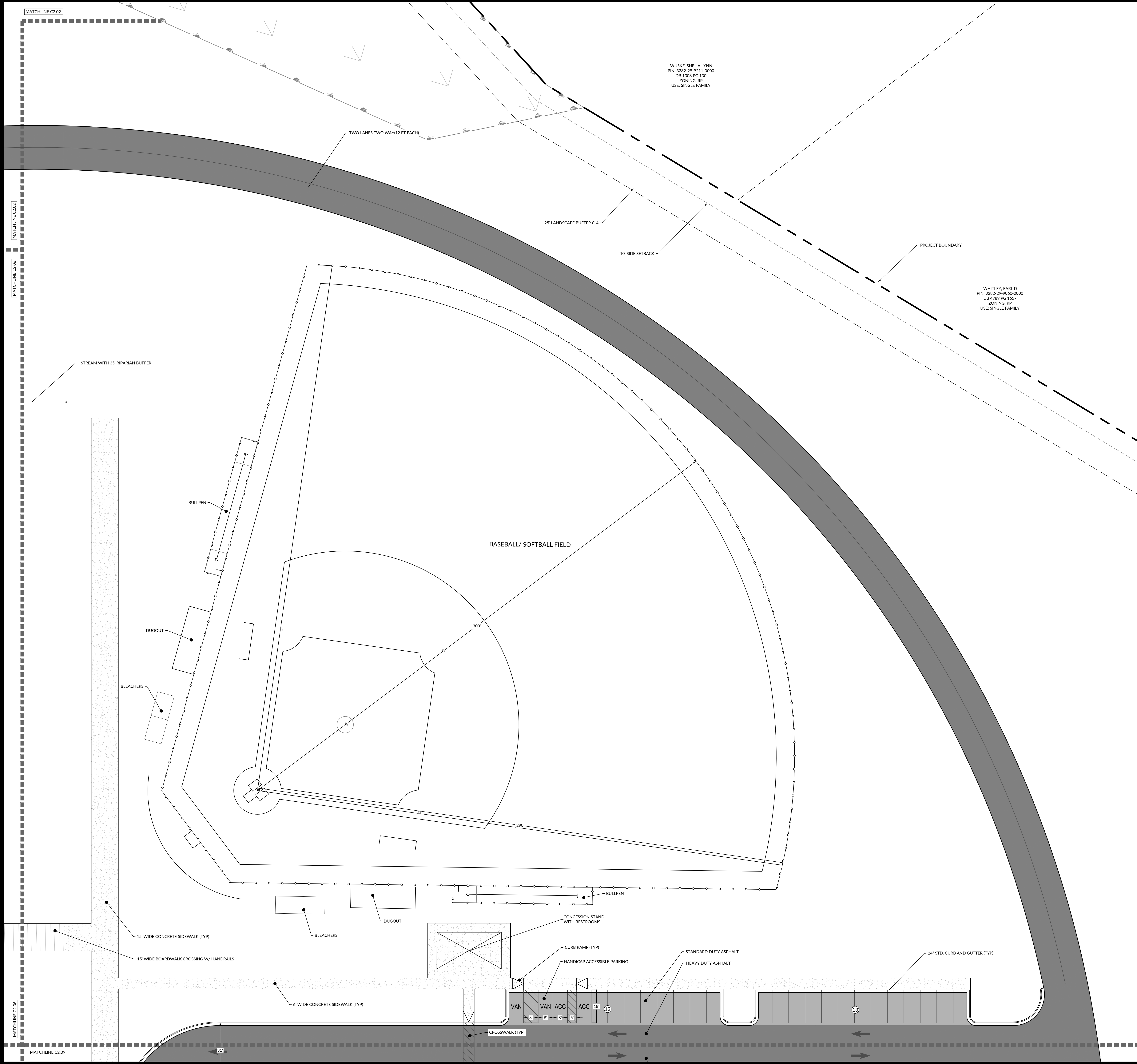
WithersRavenel
 115 MacKenan Drive | Cary, NC 27511
 License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

WR PROJECT NO. 23-576

SITE LAYOUT PLAN

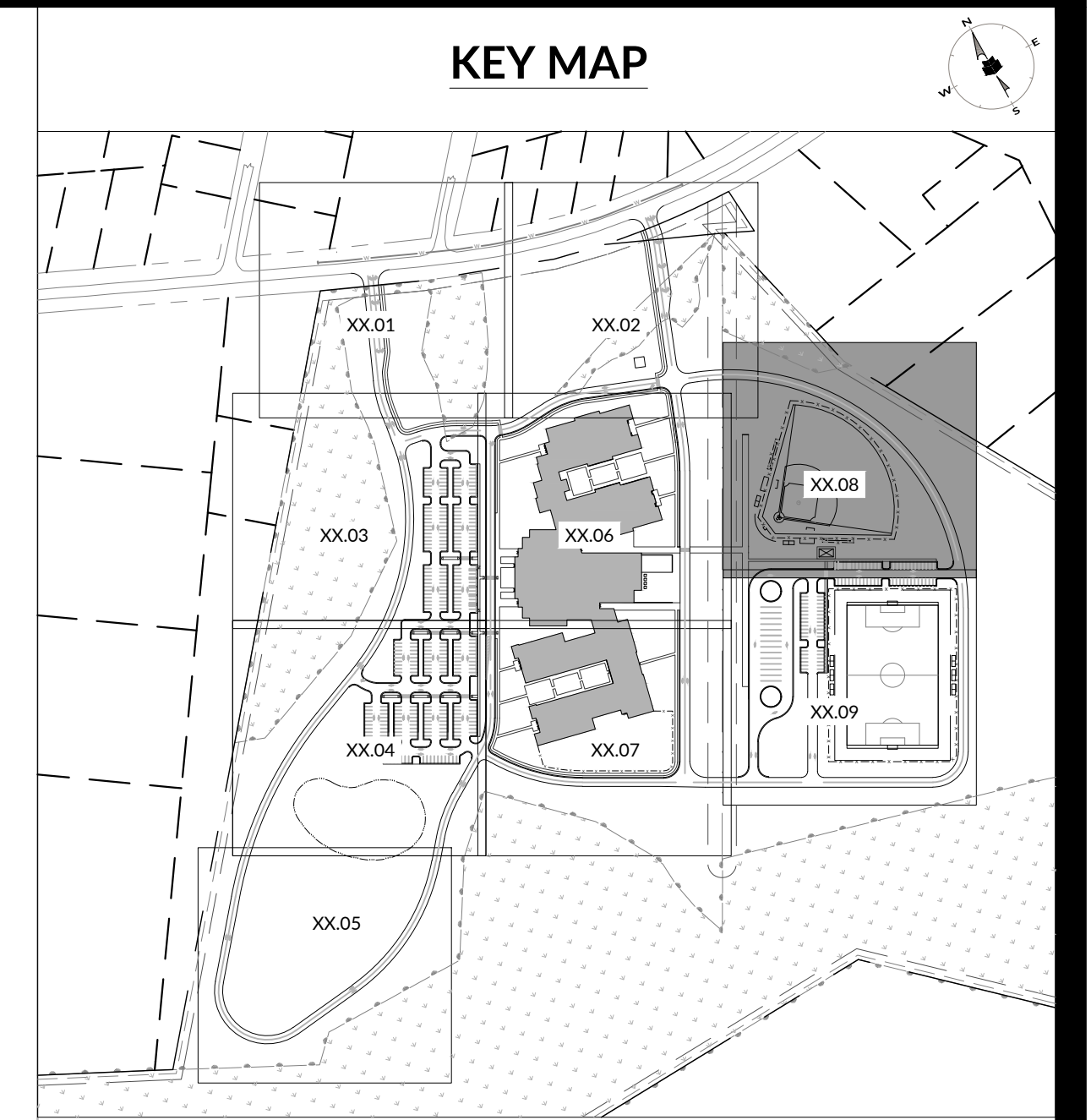
C2.07

J:\2303076-Moseley Architects - Pender County - DB New K-8 School\CAD\Drawing Sets\SDS\C2.01 - C2.09 Site Layout Plan.dwg - Friday, January 5, 2024 4:53:20 PM - TYOU



WUSKE, SHEILA LYNN
PIN: 3282-29-9211-0000
DB 3308 PG 130
ZONING: RP
USE: SINGLE FAMILY

WHITLEY, EARL D
PIN: 3282-29-9060-0000
DB 4789 PG 1457
ZONING: RP
USE: SINGLE FAMILY



SITE LEGEND:

NO.	DESCRIPTION	MATERIAL HATCH	DETAIL REF./ SHEET
1.0	PAVEMENTS, CURBS, CURB RAMPS		
1.1	PEDESTRIAN CONCRETE	[Hatch]	
1.2	HD VEHICULAR CONCRETE	[Hatch]	
1.3	STANDARD ASPHALT PAVEMENT	[Hatch]	
1.4	HD ASPHALT PAVEMENT	[Hatch]	
1.5	CONCRETE PAVER TYPE 1	[Hatch]	
1.6	CONCRETE PAVER TYPE 2	[Hatch]	
1.7	CONCRETE CURB & GUTTER	[Hatch]	
1.8	CONCRETE FLUSH CURB	[Hatch]	
1.9	CONCRETE CURB RAMP TYPE 1	[Hatch]	
1.10	CONCRETE CURB RAMP TYPE 2	[Hatch]	
1.11	NO PARKING AREA	[Hatch]	
1.12	FIRE LANE STRIPING	[Hatch]	
1.13	TYPICAL PAVEMENT STRIPING	[Hatch]	
1.14	TYPICAL PAVEMENT MARKINGS	[Hatch]	
1.15	TRAFFIC SIGN	[Hatch]	
2.0	JOINTING		
2.1	CONTROL JOINT	[Hatch]	
2.2	EXPANSION JOINT	[Hatch]	
3.0	STEPS / RAMPS		
3.1	STEPS TYPE 1 (CONCRETE)	[Hatch]	
3.2	CONCRETE ACCESSIBLE RAMP	[Hatch]	
4.0	SITE WALLS / EMBANKMENTS		
4.1	DUMPSTER ENCLOSURE WALL	[Hatch]	
4.2	RETAINING WALL	[Hatch]	
5.0	RAILINGS, BARRIERS, FENCING / GATES		
5.1	HANDRAIL	[Hatch]	
5.2	GUARDRAIL	[Hatch]	
5.3	BLACK ALUM. FENCING	[Hatch]	
5.4	BLACK ALUM. GATE	[Hatch]	
5.5	CONCRETE FILLED BOLLARD	[Hatch]	
5.6	REMOVABLE BOLLARD	[Hatch]	
6.0	SITE FURNISHINGS		
6.1	WASTE RECEPTACLE TYPE 1	[Hatch]	
6.2	BIKE RACK	[Hatch]	
7.0	SITE LIGHTING		
7.1	VEHICULAR AREA LIGHT POLE	[Hatch]	
8.0	MISCELLANEOUS SITE FEATURES		
8.1	TREE PROTECTION AREA	[Hatch]	
8.2	TREE PROTECTION FENCE	[Hatch]	
8.3	LIMITS OF DISTURBANCE	[Hatch]	
8.4	LANDSCAPE YARD	[Hatch]	
8.5	CONCRETE FLUSH BAND	[Hatch]	
8.6	TRANSFORMER	[Hatch]	
8.7	ADA ACCESSIBLE ROUTE	[Hatch]	

MOSELEYARCHITECTS
5200 NORFOLK STREET, RICHMOND, VA 23230
PHONE (804) 754-1555 FAX (804) 555-5600
MOSELEYARCHITECTS.COM

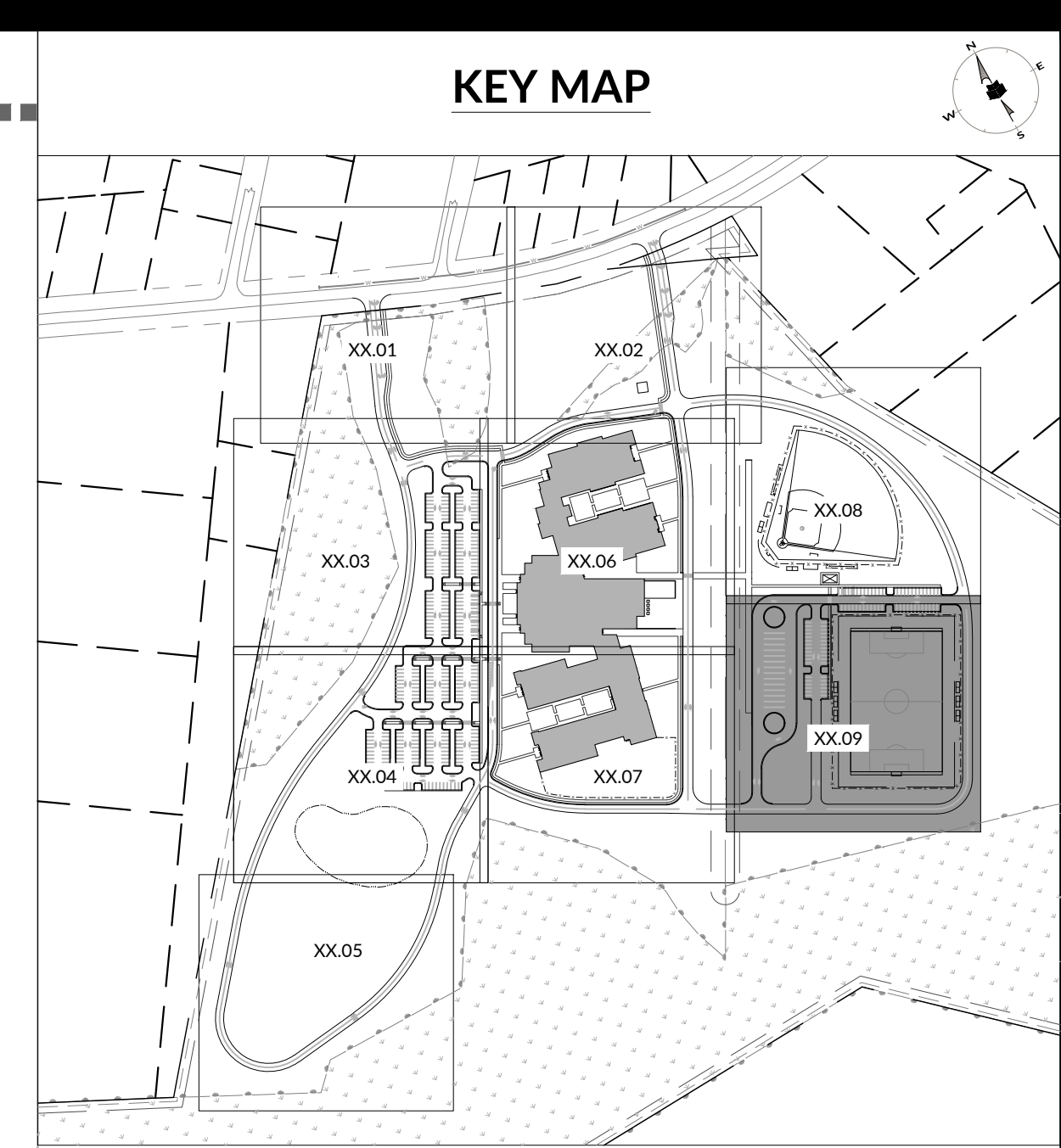
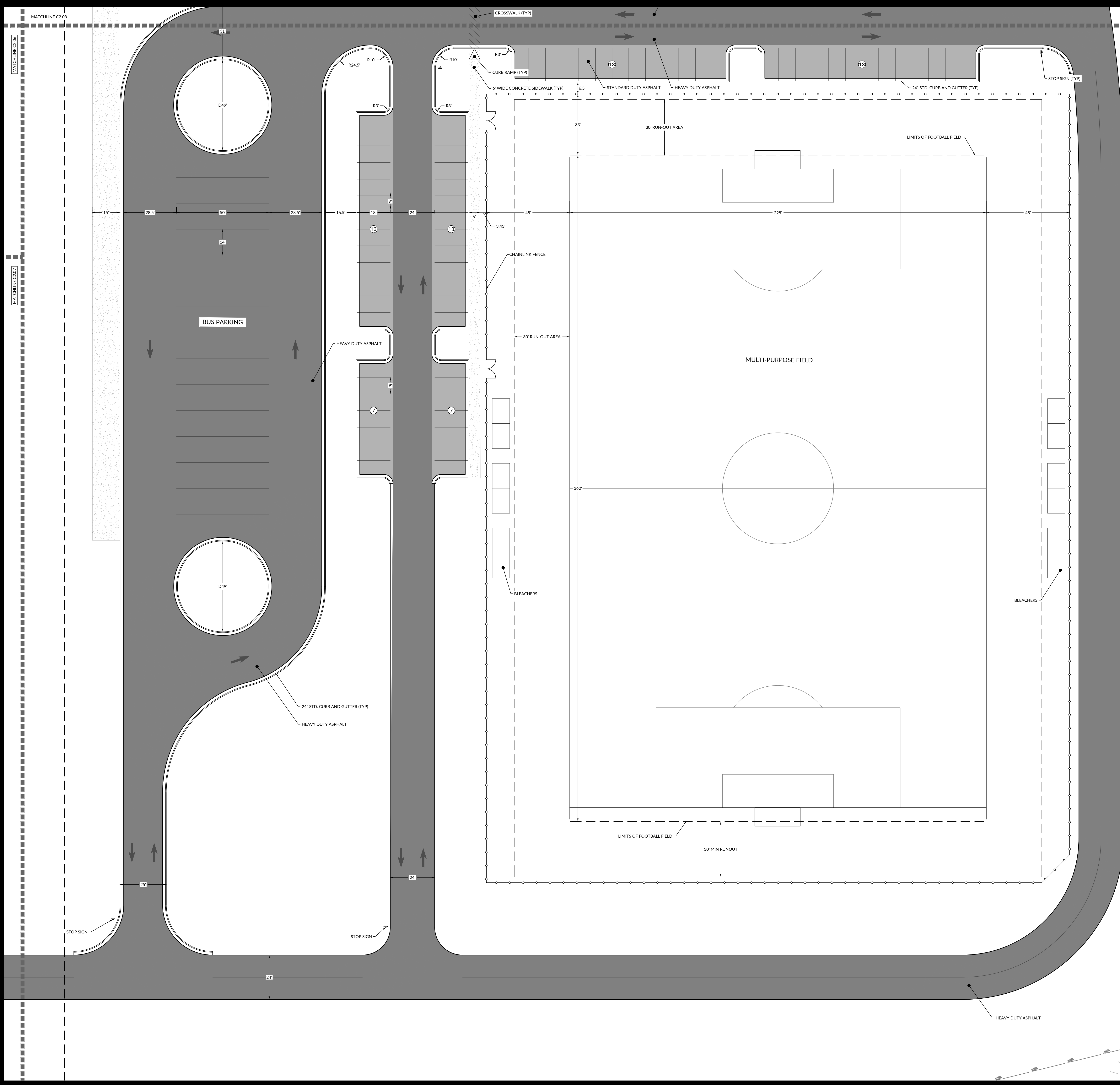
PENDER COUNTY SCHOOLS K-8 SCHOOL
Pender County Schools
Highway 210, Hampstead, NC 28443

PROJECT NO:	631310
DATE:	JANUARY 5, 2024
REVISIONS	
DATE	DESCRIPTION

WithersRavenel
115 MacKenan Drive | Cary, NC 27511
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com
WR PROJECT NO. 23-576

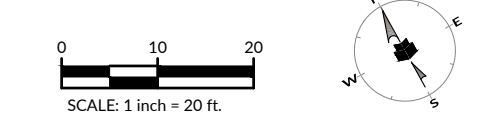
SITE LAYOUT PLAN

C2.08



SITE LEGEND:

NO.	DESCRIPTION	MATERIAL HATCH	DETAIL REF./ SHEET
1.0	PAVEMENTS, CURBS, CURB RAMPS		
1.0	PEDESTRIAN CONCRETE	[Hatch]	
1.1	HD VEHICULAR CONCRETE	[Hatch]	
1.2	STANDARD ASPHALT PAVEMENT	[Hatch]	
1.3	HD ASPHALT PAVEMENT	[Hatch]	
1.4	CONCRETE PAVER TYPE 1	[Hatch]	
1.5	CONCRETE PAVER TYPE 2	[Hatch]	
1.6	CONCRETE CURB & GUTTER	[Hatch]	
1.7	CONCRETE FLUSH CURB	[Hatch]	
1.8	CONCRETE CURB RAMP TYPE 1	[Hatch]	
1.9	CONCRETE CURB RAMP TYPE 2	[Hatch]	
1.10	NO PARKING AREA	[Hatch]	
1.11	FIRE LANE STRIPING	[Hatch]	
1.12	TYPICAL PAVEMENT STRIPING	[Hatch]	
1.13	TYPICAL PAVEMENT MARKINGS	[Hatch]	
1.14	TRAFFIC SIGN	[Hatch]	
2.0	JOINTING		
2.0	CONTROL JOINT	[Hatch]	
2.1	EXPANSION JOINT	[Hatch]	
3.0	STEPS / RAMPS		
3.0	STEPS TYPE 1 (CONCRETE)	[Hatch]	
3.1	CONCRETE ACCESSIBLE RAMP	[Hatch]	
4.0	SITE WALLS / EMBANKMENTS		
4.0	DUMPSTER ENCLOSURE WALL	[Hatch]	
4.1	RETAINING WALL	[Hatch]	
5.0	RAILINGS, BARRIERS, FENCING / GATES		
5.0	HANDRAIL	[Hatch]	
5.1	GUARDRAIL	[Hatch]	
5.2	BLACK ALUM. FENCING	[Hatch]	
5.3	BLACK ALUM. GATE	[Hatch]	
5.4	CONCRETE FILLED BOLLARD	[Hatch]	
5.5	REMOVABLE BOLLARD	[Hatch]	
6.0	SITE FURNISHINGS		
6.0	WASTE RECEPTACLE TYPE 1	[Hatch]	
6.1	BIKE RACK	[Hatch]	
7.0	SITE LIGHTING		
7.0	VEHICULAR AREA LIGHT POLE	[Hatch]	
8.0	MISCELLANEOUS SITE FEATURES		
8.0	TREE PROTECTION AREA	[Hatch]	
8.1	TREE PROTECTION FENCE	[Hatch]	
8.2	LIMITS OF DISTURBANCE	[Hatch]	
8.3	LANDSCAPE YARD	[Hatch]	
8.4	CONCRETE FLUSH BAND	[Hatch]	
8.5	TRANSFORMER	[Hatch]	
8.6	ADA ACCESSIBLE ROUTE	[Hatch]	



WithersRavenel
 115 MacKenan Drive | Cary, NC 27511
 License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

WR PROJECT NO. 23-576

MOSELEYARCHITECTS

5200 NORFOLK STREET, RICHMOND, VA 23230
 PHONE (804) 794-7557 FAX (804) 555-5660
 MOSELEYARCHITECTS.COM

PENDER COUNTY SCHOOLS K-8 SCHOOL

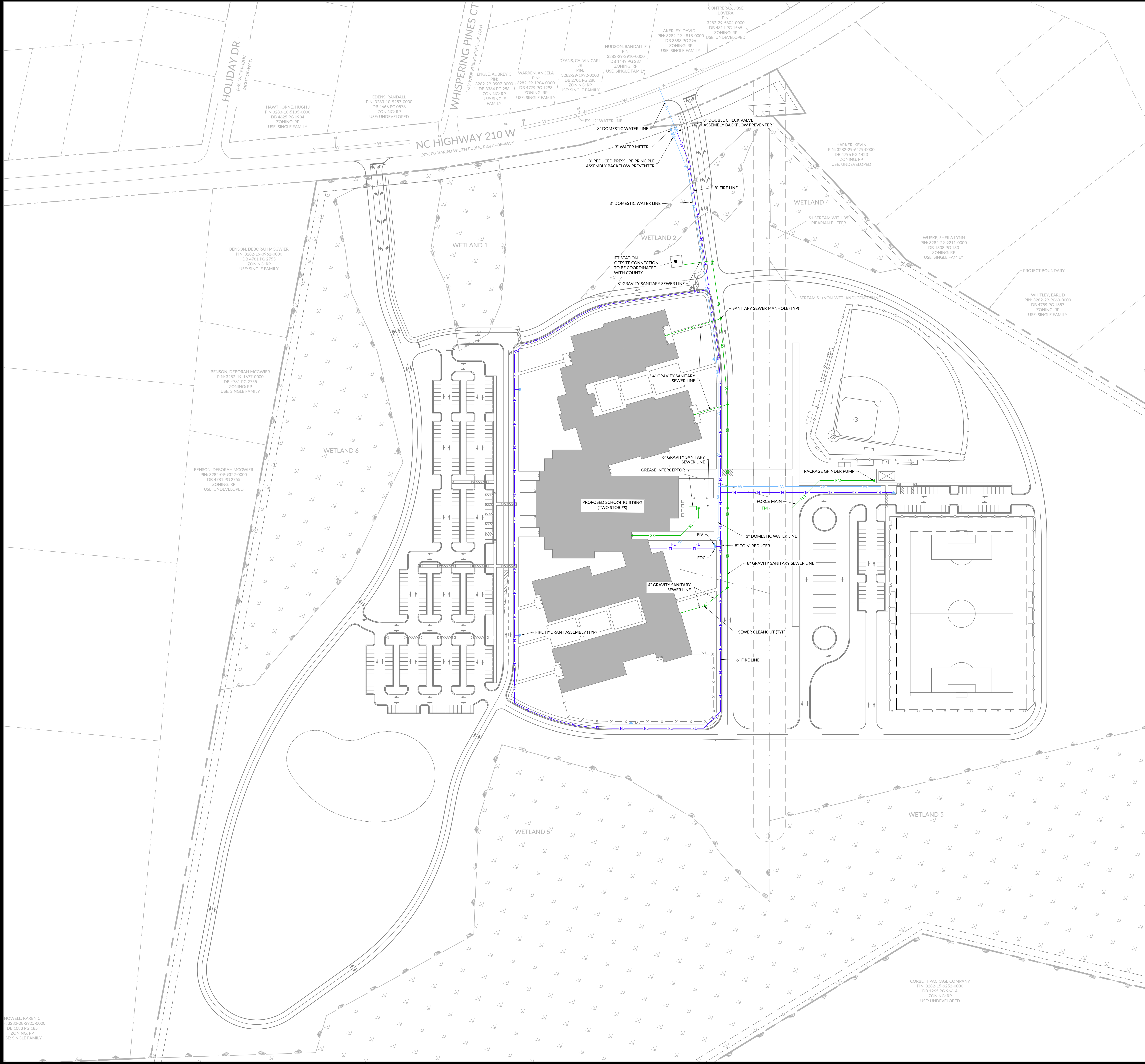
Pender County Schools
 Highway 210, Hampstead, NC 28443

PROJECT NO:	631310
DATE:	JANUARY 5, 2024
REVISIONS	
DATE	DESCRIPTION

SITE LAYOUT PLAN

C2.09

J:\23\0576-Moseley Architects - Pender County - DB New K-8 School\CAD\Drawing Sets\SDS\CS.00 Overall Utility Plan.dwg - Friday, January 5, 2024 4:54:57 PM - CHUSTON

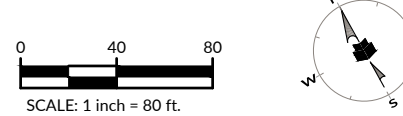


UTILITIES LEGEND

SYMBOL	DESCRIPTION
	PROPOSED WATER SERVICE METER
	PROPOSED BACKFLOW PREVENTOR
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED FDC
	PROPOSED PIV
	PROPOSED REDUCER
	PROPOSED DOMESTIC WATER LINE
	PROPOSED FIRE LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY FORCE MAIN LINE
	PROPOSED SANITARY CLEANOUT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED PACKAGE GRINDER PUMP

UTILITY STATEMENT

PUBLIC COUNTY WATER (12-INCH PER PENDER COUNTY GIS) IS AVAILABLE ALONG NC 210. AT THE TIME OF THIS SUBMITTAL, THERE IS NO PUBLIC OR PRIVATE SANITARY AVAILABLE ADJACENT TO THE PROPERTY. SANITARY SEWER WILL BE COLLECTED ON SITE THROUGH A GRAVITY NETWORK THEN WILL BE SENT TO AN ON-SITE LIFT STATION. THE LIFT STATION WILL THEN PUMP OFFSITE TO A LOCATION TO BE DETERMINED THROUGH THE COORDINATION WITH THE COUNTY AND PLURIS. THE OFFSITE WASTEWATER SYSTEM WILL NEED TO BE AN APPROVED WASTEWATER SYSTEM BY THE STATE.



WithersRavenel
 115 MacKean Drive | Cary, NC 27511
 License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

MOSELEY ARCHITECTS

PENDER COUNTY SCHOOLS K-8 SCHOOL
 Pender County Schools
 Highway 210, Hampstead, NC 28443

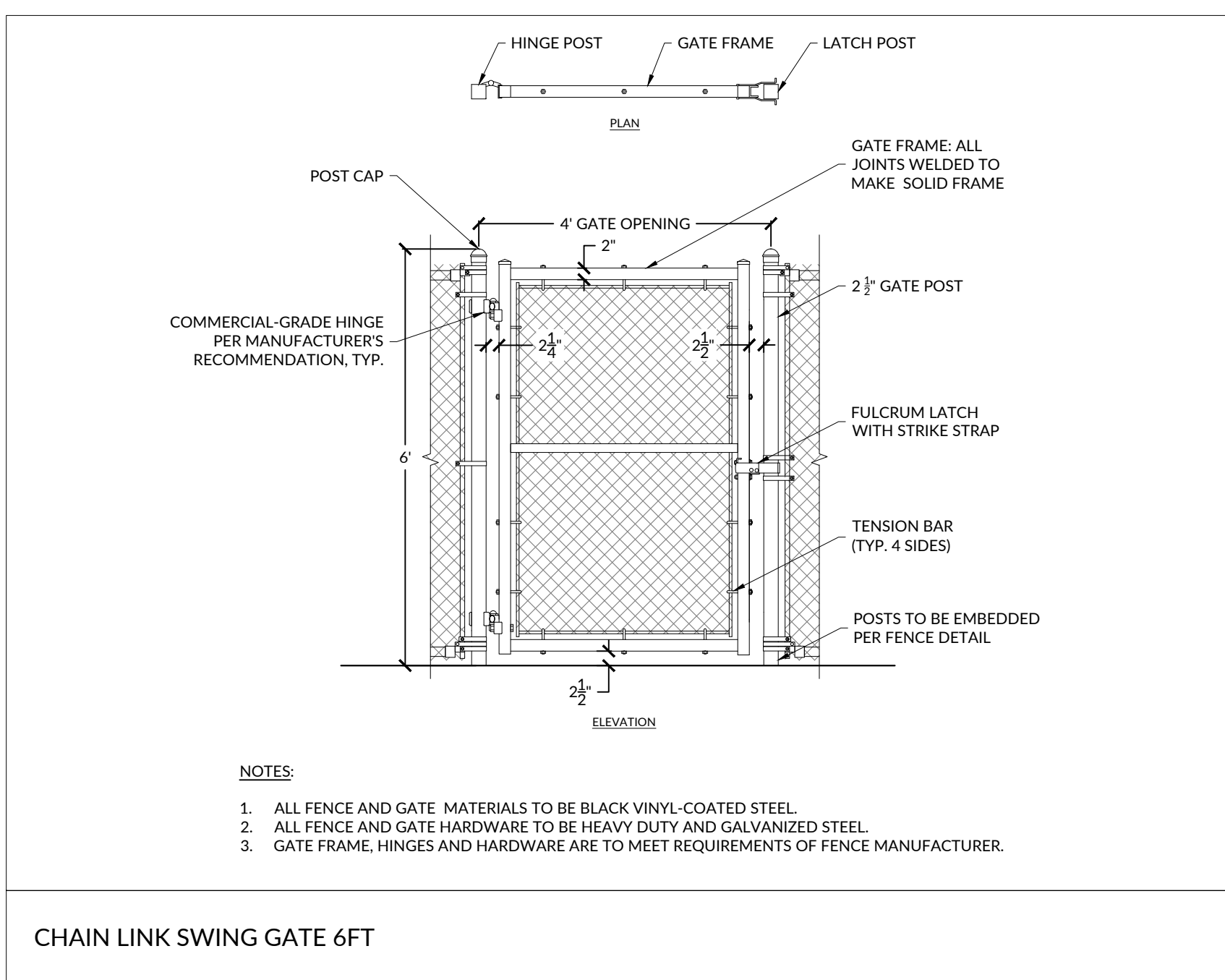
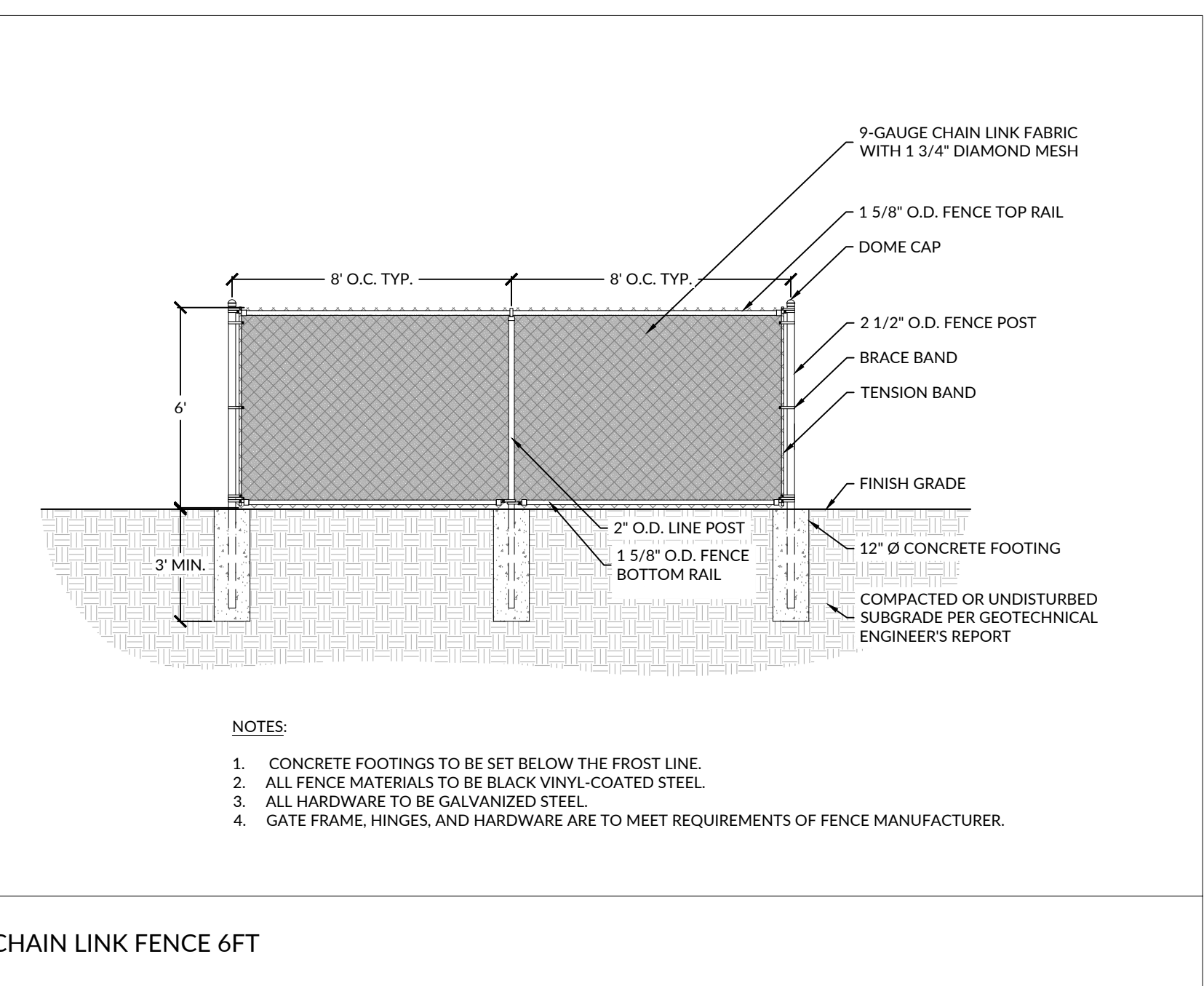
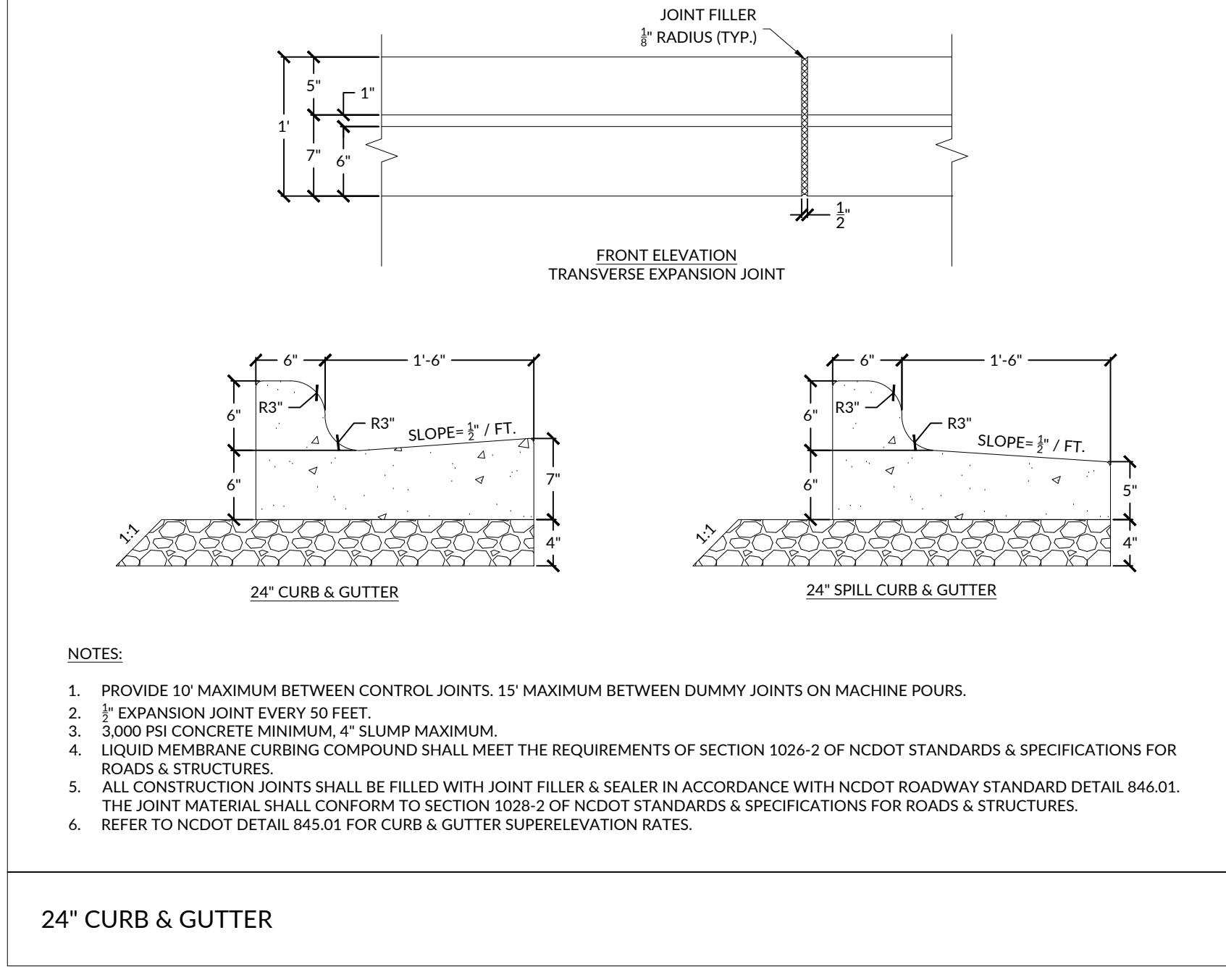
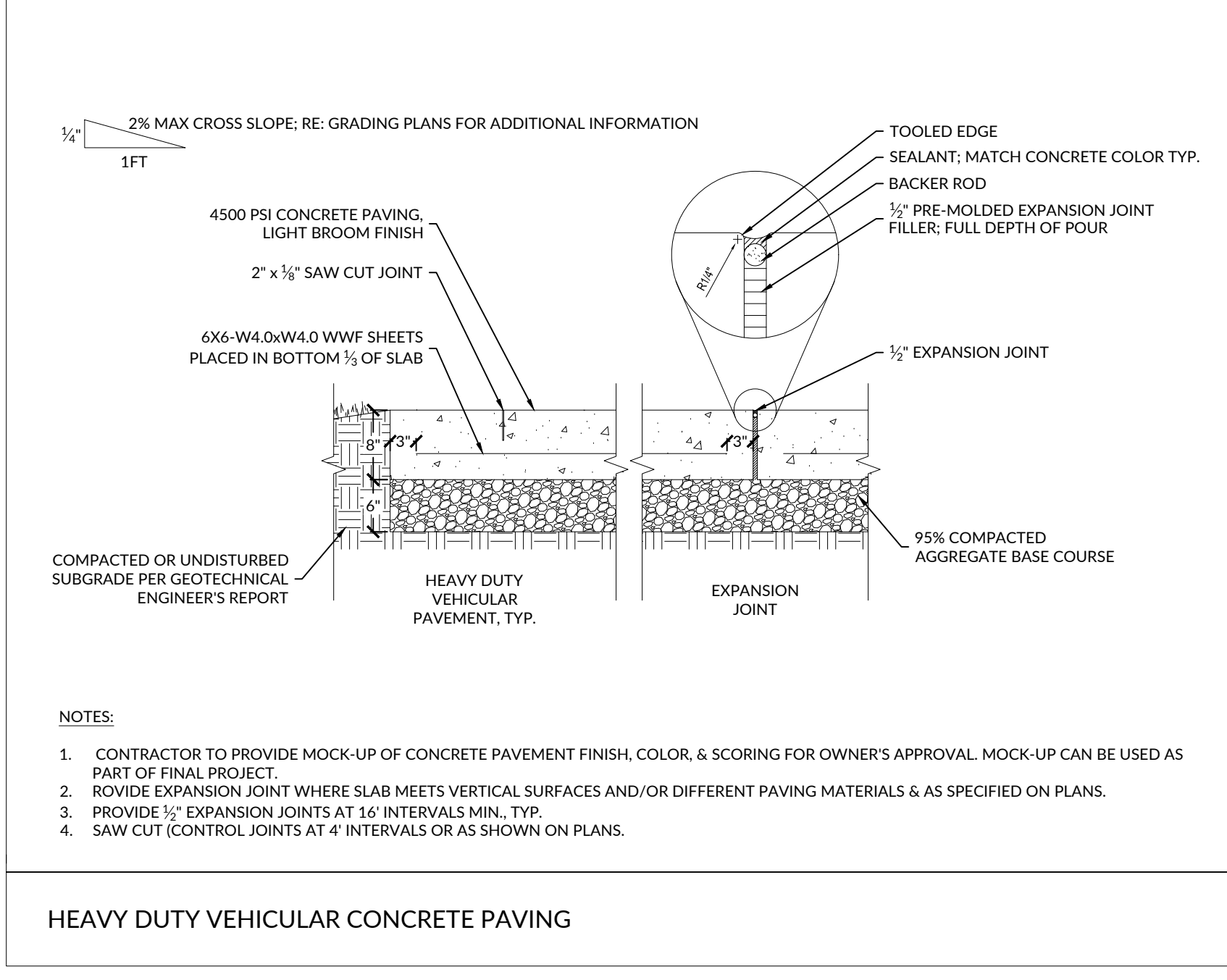
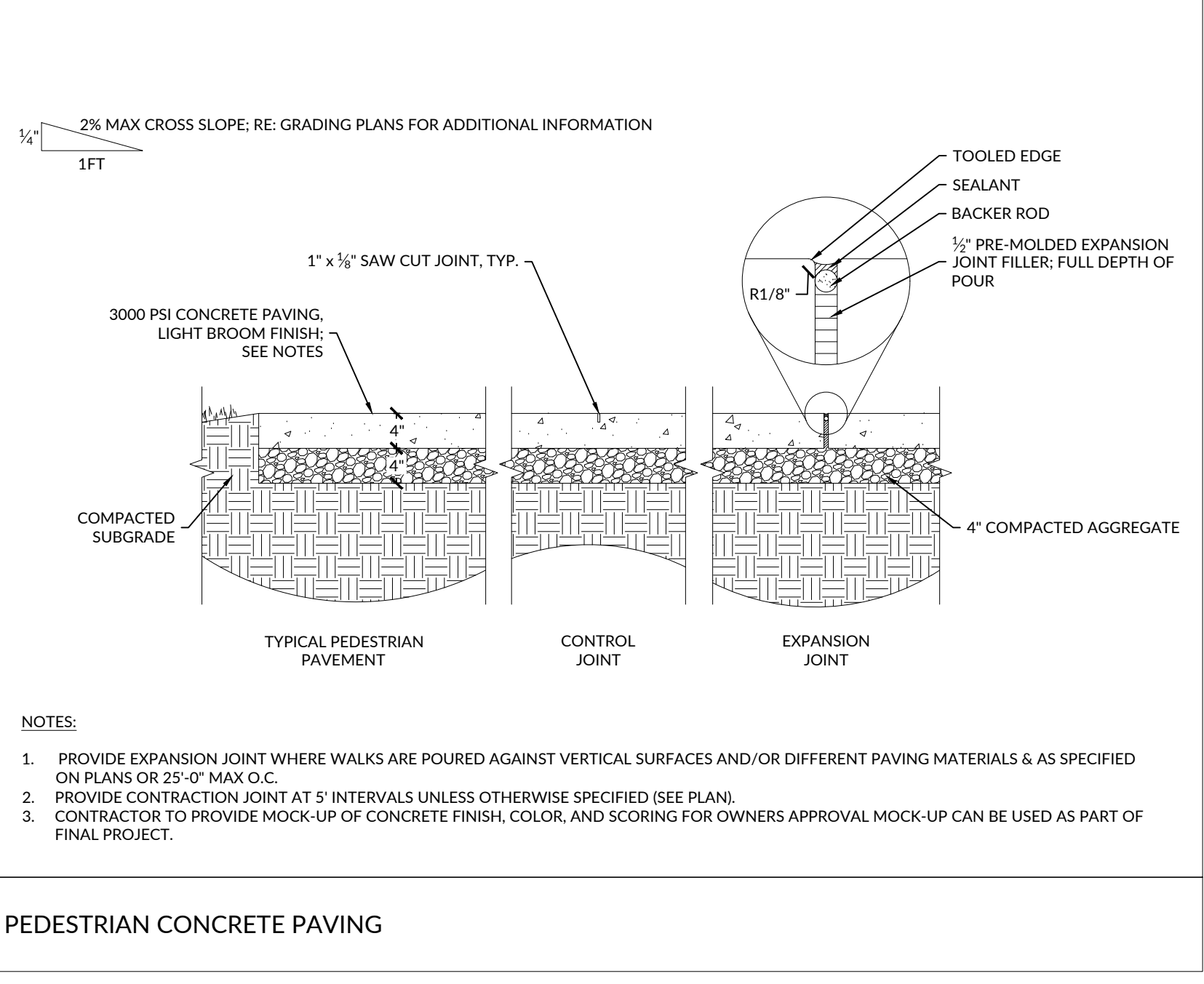
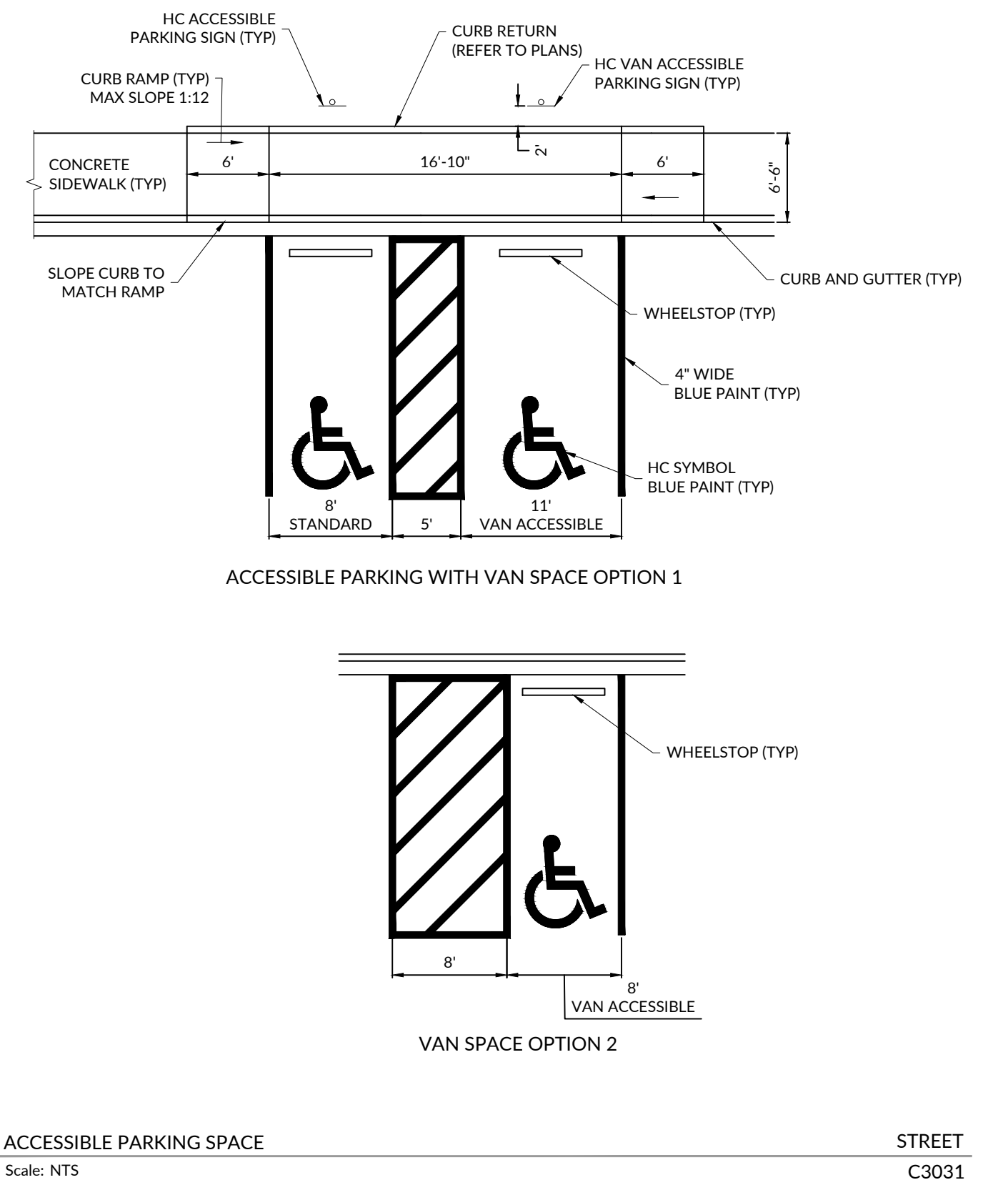
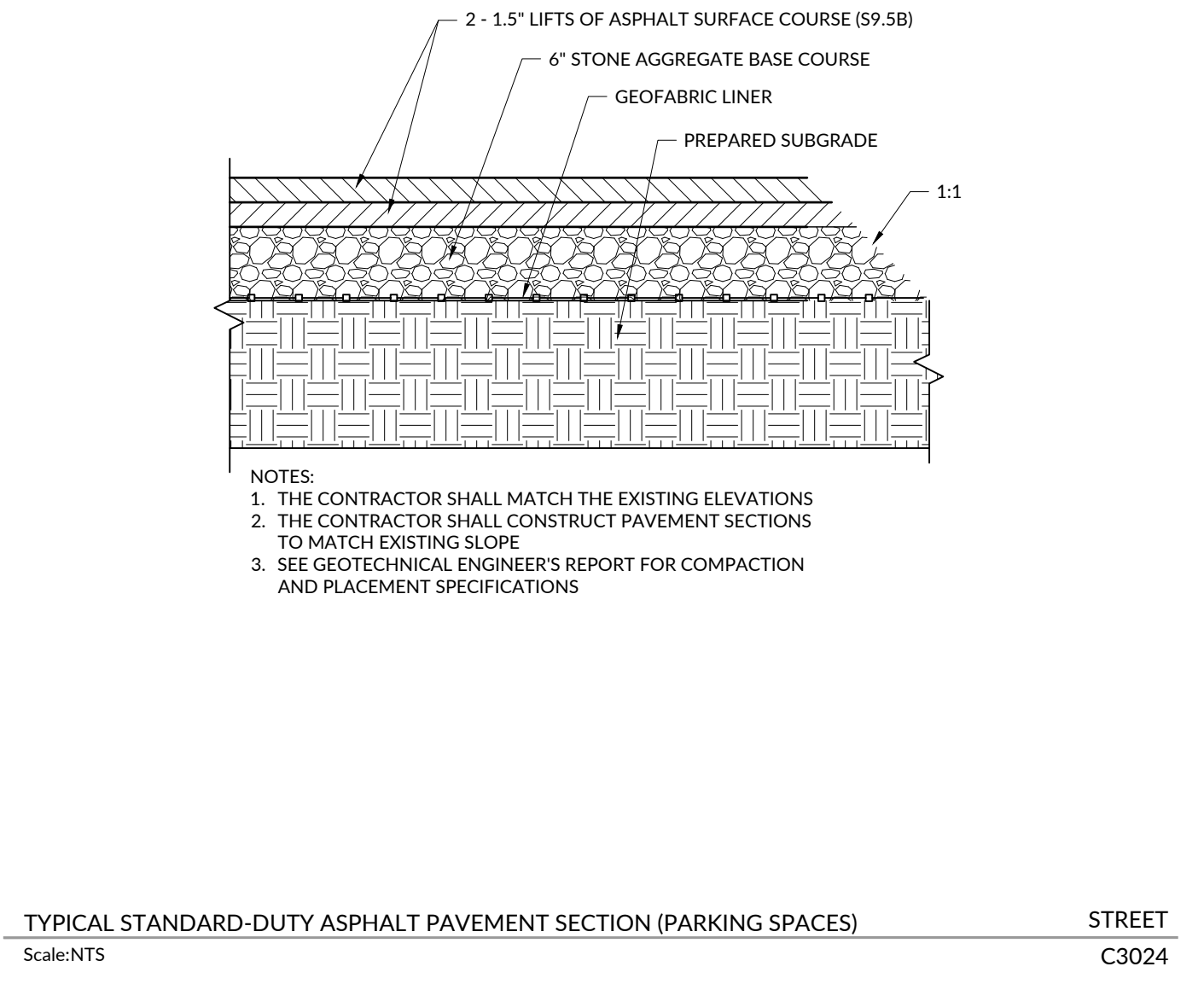
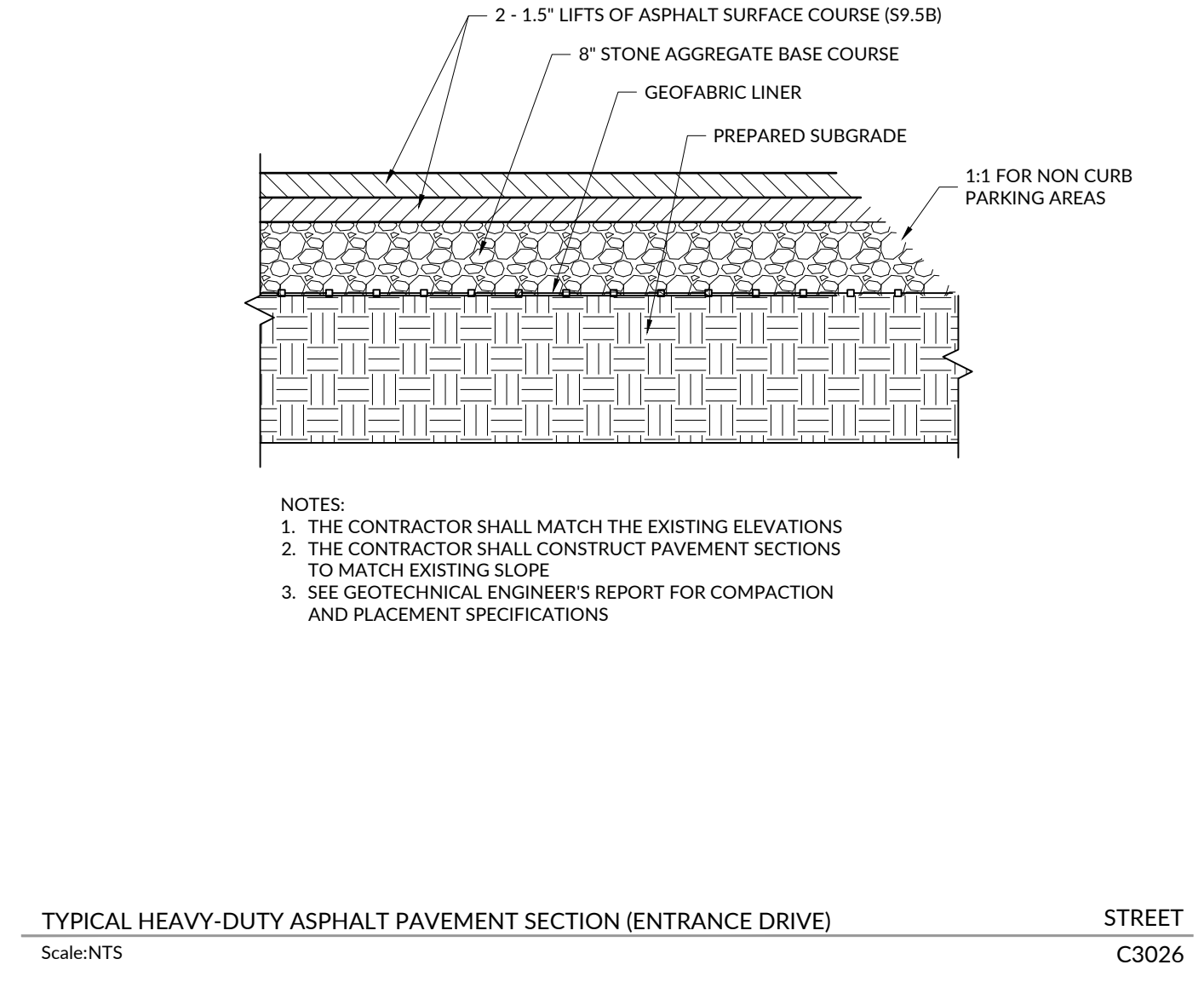
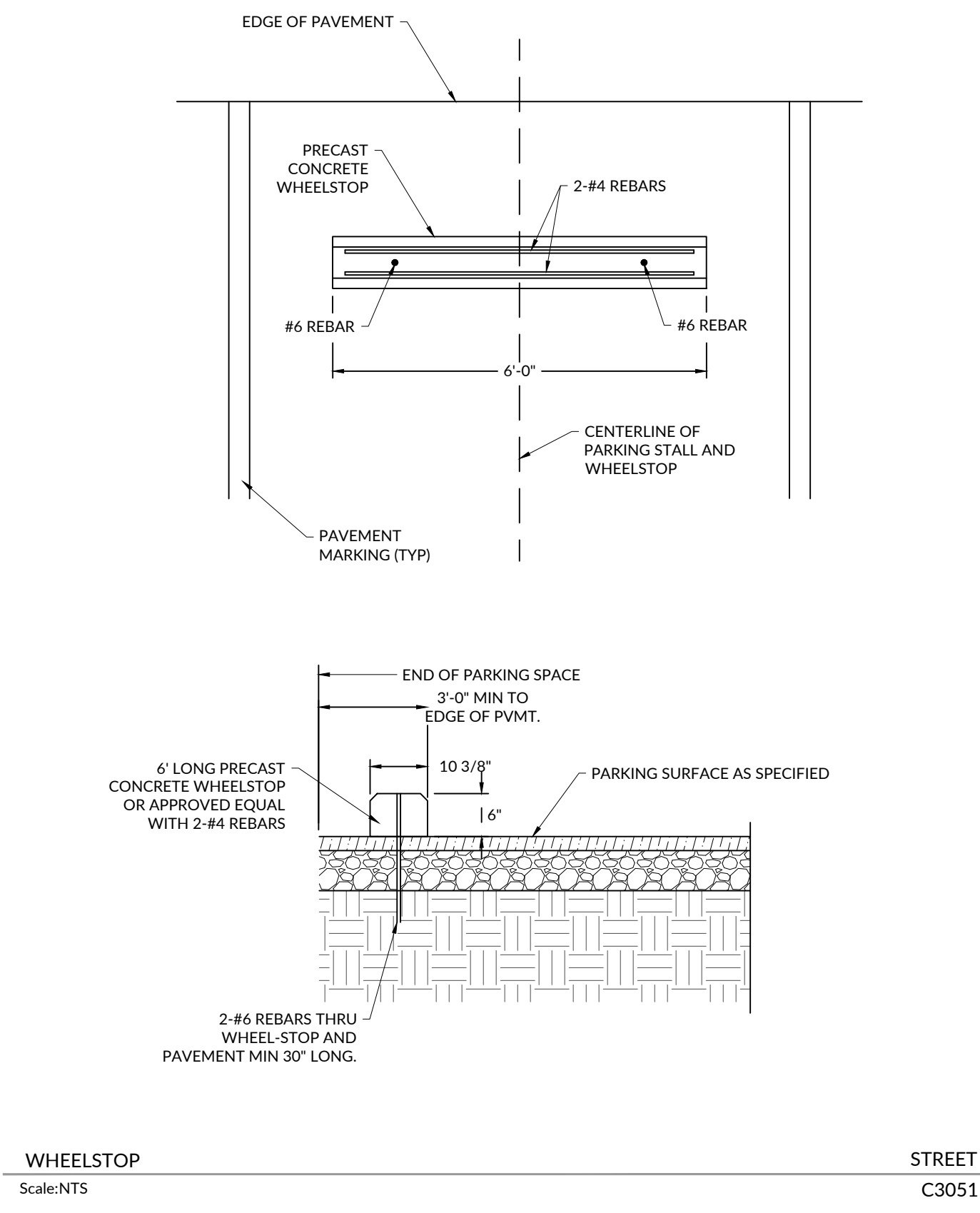
PROJECT NO:	631310
DATE:	JANUARY 5, 2024
REVISIONS	
DATE	DESCRIPTION

OVERALL UTILITY PLAN

C3.00

5230 NORFOLK STREET, RICHMOND, VA 23230
 PHONE (804) 754-1550 FAX (804) 355-5660
 MOSELEYARCHITECTS.COM

WR PROJECT NO. 23-576



J:\23\0576-Moseley Architects - Pender County - DB New K-8 School\CAD\Drawings\Site\SDS\CS-10 Site Details.dwg - Friday, January 5, 2024 4:57:25 PM - CHUUSTON

PROJECT NO:	631310
DATE:	JANUARY 5, 2024
REVISIONS	
DATE	DESCRIPTION