

Pender County Planning and Community Development

Planning Division

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Bridgewater Landing Development Information Master Development Plan, Preliminary Plat, and Major Site Development Plan

Case Number: MDP 2020-24; SUBMAJ 2020-52; SDP 2020-144

Application Type: Master Development Plan, Preliminary Plat, Major Site Development

Applicant: Logan Developers, Inc

Owners: John Robert C Lanier, Jr. et al.

Location: Along the southern side of Edens Lane, approximately 1,000 feet from the intersection of US HWY 17 and Edens Lane.

Property ID #(s): 4214-14-4919-0000

Description: Request for the approval of a Master Development Plan, Preliminary Plat, and Major Site Development Plan for the development of a 139 lot residential subdivision and associated amenities.

Current Zoning: RP, Residential Performance

Technical Review Committee Meeting

Thursday, September 2, 2020

Board of County Commissioners/Planning Board Meeting

N/A

Application Materials

Application Package
Approved Site Plan

APPLICATION PACKAGE

APPLICATION FOR MASTER DEVELOPMENT PLAN

THIS SECTION FOR OFFICE USE

Application No.	MDP 2020-24	Date	8/18/20
Application Fee		Receipt No.	
Pre-Application Conference		Hearing Date	

SECTION 1: APPLICANT INFORMATION

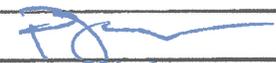
Applicant's Name:	LOGAN DEVELOPERS, INC	Owner's Name:	JOHN ROBERT G LANIER, JR ETAL
Applicant's Address:	600 GREGORY RD, SUITE 1	Owner's Address:	1150 POND ST
City, State, & Zip	BEVILLE, NC 28451	City, State, & Zip	DONKANSVILLE, PA 16635
Phone Number:	910.791.6707	Phone Number:	
Email Address:	aengebretson@paramounte-eng.com	Email Address:	

Legal relationship of applicant to land owner: **DEVELOPER**

SECTION 2: PROJECT INFORMATION

Type of Master Development Plan	<input checked="" type="checkbox"/> Residential RP, PD, RM MH District	<input type="checkbox"/> Commercial GB, OI, IT, GI District	
Property Identification Number (PIN):	4214-14-4919-0000	Total property acreage:	± 86.40 AC
Zoning Classification:	RP	Acreage to be disturbed:	± 74.06 AC
Project Address :			
Description of Project Location:	EDENS LANE BEHIND COMMERCIAL TRACTS		
Describe activities to be undertaken on project site:	SINGLE FAMILY NEIGHBORHOOD WITH CLUBHOUSE/ RECREATION		
	AMENITIES		

SECTION 3: SIGNATURES

Applicant's Signature		Date:	8.20.20
Owner's Signature		Date:	8/12/20

NOTICE TO APPLICANT

1. Applicant or agent authorized in writing must attend the public hearing.
2. Once the public hearing has been advertised, the case will be heard unless the applicant withdraws the application or unless the Planning Board or other authorized person agrees to table or delay the hearing.
3. All fees are non-refundable
4. A complete application packet must be submitted prior to the deadline in order to be placed on the next Planning Board Agenda.

Office Use Only

<input type="checkbox"/> MDP Fees: (<i>\$500.00 plus \$10/acre for the first 100 acres \$5/acre thereafter</i>)	Total Fee Calculation: \$
--	----------------------------------

Attachments Included with Application: (Please include # of copies)

CD /other digital version	<input type="checkbox"/> Y <input type="checkbox"/> N	Plan Sets	# of large	# of 11x17	Other documents/Reports	<input type="checkbox"/> Y <input type="checkbox"/> N
---------------------------	--	-----------	------------	------------	-------------------------	--

Payment Method:	Cash: <input type="checkbox"/> \$ _____	Credit Card: <input type="checkbox"/> Master Card <input type="checkbox"/> Visa	Check: <input type="checkbox"/> Check # _____
------------------------	---	--	---

Application received by:	Date:
--------------------------	-------

Application completeness approved by:	Date:
---------------------------------------	-------

Date scheduled for public hearing:

Pender County Planning and Community Development

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

By- Right Master Development Plan Submission

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

1. **Pre-submittal Meeting**
Date of Meeting 7/13/20
2. **Signed Application**
3. **Payment**
\$500 plus \$10 per acre for the first 100 acres, \$5 per acre thereafter
4. **Paper Plan Sets**
One (1) 24 x 36, Fifteen (15) 11 x 17
5. **Digital Submission**
For all documents submitted in paper copy, bring a digital copy with paper submission.
6. **Adjacent Property List**
A list of names and addresses, as obtained from the county tax listings and tax abstract, to the owners of all properties located within 500-feet of the of the perimeter of the project bounds.
7. **Adjacent Property Envelopes**
The applicant shall provide a set of business envelopes addressed to each of the owners of all properties located within 500-feet of the perimeter of the project bounds and accompanied with the amount of postage required for first class postage.
8. **Permits**
Include any permits issued on the project including but not limited to: environmental, traffic analysis, utility, or other site specific conditions.
9. **Site Plan Requirements**
A prepared site plan in accordance with the Unified Development Ordinance standards 6.1, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.
(See Master Development Plan Checklist)

I certify that all information presented in this application is accurate to the best of my knowledge.

Signature of Applicant [Signature]
Printed Name PK KELLY

Date 8.12.20
Staff Initials: [Signature]
Date: 8/18/20

APPLICATION FOR SUBDIVISION

THIS SECTION FOR OFFICE USE

Application No.	RP <i>Summary 2020-52</i>	Date	8/18/20
Application Fee	\$	Receipt No.	
Master Plan Hearing Date		Preliminary Plat Hearing Date	

SECTION 1: APPLICANT INFORMATION

Applicant's Name:	LOGAN DEVELOPERS, INC	Owner's Name:	JOHN ROBERT CLANIER, JR ETAL
Applicant's Address:	600 GREGORY RD SUITE 1	Owner's Address:	1150 FOND ST
City, State, & Zip	BELVILLE, NC 28451	City, State, & Zip	DUNCANVILLE, PA 16625
Phone Number:	910.791.6707	Phone Number:	
Email Address:	aengebretson@paramonte-eng.com	Email Address:	

Legal relationship of applicant to land owner: **DEVELOPER**

SECTION 2: PROJECT INFORMATION

Preliminary Plat	<input checked="" type="checkbox"/> Residential <i>RP, PD, RM, MH District</i>	<input type="checkbox"/> Mixed Use <i>PD</i>	
Subdivision Type	<input type="checkbox"/> Major (11 lots or more)	<input type="checkbox"/> Minor (10 lots or less)	
Property Identification Number (PIN):	4214-14-4919-0000	Total property acreage: ±	86.40AC
Zoning Classification:	RP	Acreage to be disturbed: ±	74.06AC

Additional Information:

SECTION 3: SIGNATURES

Applicant's Signature		Date:	8.12.20
Owner's Signature		Date:	8/12/20

NOTICE TO APPLICANT

1. Applicant or agent authorized in writing must attend the public hearing.
2. Once the public hearing has been advertised, the case will be heard unless the applicant withdraws the application or unless the Planning Board or other authorized person agrees to table or delay the hearing.
3. All fees are non-refundable.
4. A complete application packet must be submitted prior to the deadline in order to be placed on the next Planning Board Agenda.

Office Use Only

<input type="checkbox"/>	Subdivision Fees: \$500 + \$10/lot-unit for the first 100 lots/units; \$5/lot-unit thereafter (Major Subdivision) \$150 + \$10 per lot (Minor Subdivision)	Total Fee Calculation: \$				
Attachments Included with Application: (Please include # of copies)						
CD /other digital version	<input type="checkbox"/> Y <input type="checkbox"/> N	Plan Sets	# of large	# of 11X17	Other documents/Reports	<input type="checkbox"/> Y <input type="checkbox"/> N
Payment Method:	Cash: <input type="checkbox"/> \$ _____	Credit Card: <input type="checkbox"/> Master Card <input type="checkbox"/> Visa	Check: <input type="checkbox"/> Check # _____			
Application received by:					Date:	
Application completeness approved by:					Date:	
Date scheduled for public hearing:						

Pender County Planning and Community Development



805 S. Walker Street
PO Box 1519
Burgaw, NC 28425

Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

By- Right Preliminary Plat Submission (Major and Minor Subdivisions)

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

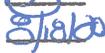
1. **Pre-submittal Meeting**
Date of Meeting 7/13/20
2. **Signed Application**
3. **Payment**
\$500 plus \$10 per lot for the first 100 lots/units, \$5 per lot thereafter
4. **Paper Plan Sets**
Two (2) 24 x 36, Fifteen (15) 11 x 17
5. **Digital Submission**
For all documents submitted in paper copy, bring a digital copy with paper submission.
6. **Adjacent Property List**
A list of names and addresses, as obtained from the county tax listings and tax abstract, to the owners of all properties located within 500-feet of the of the perimeter of the project bounds.
7. **Adjacent Property Envelopes**
The applicant shall provide a set of business envelopes addressed to each of the owners of all properties located within 500-feet of the perimeter of the project bounds and accompanied with the amount of postage required for first class postage.
8. **Permits**
Please include any permits issued on the project including but not limited to: environmental, traffic analysis, utility, or site specific conditions.
9. **Site Plan Requirements**
A prepared site plan in accordance with the Unified Development Ordinance standards Section 6.4, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.
(See Preliminary Plat Checklist)

I certify that all information presented in this application is accurate to the best of my knowledge.

Signature of Applicant 

Date 8.12.20

Printed Name KELLY

Staff Initials: <u></u>
Date: <u></u>

Pender County Planning and Community Development

Planning Division
805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

MAJOR AND MINOR SITE DEVELOPMENT APPLICATION

SDP2020-144

THIS SECTION FOR OFFICE USE			
Date: <u>8/18/20</u>	Permit Number:	Permit Fee:	Invoice Number:
*Zoning Approval ONLY: YES / NO		Final Zoning Compliance Approved: YES / NO / N/A	
Type of Site Development Plan:	<input type="checkbox"/> Major	<input type="checkbox"/> Minor	
SECTION 1: GENERAL INFORMATION			
Applicant's Name:	<u>LOGAN DEVELOPERS, INC</u>	Property Owner's Name:	<u>JOHN ROBERT CLAWIER, JR ETAL</u>
Applicant's Address:	<u>100 GREGORY RD SUITE 1</u>	Property Owner's Address:	<u>1150 POND ST</u>
City, State, & Zip	<u>BELVILLE, NC 28451</u>	City, State, & Zip	<u>DUNCANVILLE, PA 16825</u>
Phone Number:	<u>910.791.6707</u>	Phone Number:	
Email Address:	<u>aengebretson@paramonte-eng.com</u>	Email Address:	
Legal relationship of applicant to land owner:	<u>Developer</u>		
SECTION 2: PROJECT INFORMATION			
PIN (Property Id #):	<u>4214-14-4919-000</u>	Total property acreage:	<u>PARENT PARCEL: ± 86.40AC</u> <u>± 0.90AC</u>
Zoning :	<u>RP</u>	Acreage to be disturbed:	<u>± 0.90AC</u>
Directions to Site:	<u>ADJACENT TO / ACCESSED BY EDENS LANE; FOLLOW SUBDIVISION ROADS (PROPOSED AT THIS TIME) TO AMENITY SITE ON RIGHT.</u>		
Lot Size: <u>0.90AC</u>	Sq Ft of Building: <u>2550 SF</u>	Building Height: <u>35' OR LESS</u>	
Setbacks	Front: <u>30</u>	Side: <u>10</u>	Rear: <u>25</u>
NAICS Code/Use:			
Business Name:	<u>CLUBHOUSE FOR NEIGHBORHOOD (NO NAME)</u>		
Describe activities to be undertaken on project site:	<u>CLUBHOUSE AMENITY FOR NEIGHBORHOOD, PARKING, COURTS, POOL, RECREATIONAL ACTIVITIES</u>		
Ownership:	Number of Employees:	Number of Members:	Seating Capacity:
<input checked="" type="checkbox"/> Private <input type="checkbox"/> Public			

**If the applicant is not the owner of the property, a notarized letter from the property owner may be required
Zoning approval is for the use being proposed ONLY, other department approvals may be required i.e. Fire Marshal, Environmental Health, Permitting, etc...

SECTION 4: ADDITIONAL COMMENTS

SECTION 5: SIGNATURES

Applicant:		Date:	8.12.20
Owner:		Date:	8/12/20
Planning Staff:		Date:	

Pender County Planning and Community Development



805 S. Walker Street
PO Box 1519
Burgaw, NC 28425

Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Major Site Development Plan Submission

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

1. **Pre-submittal Meeting**
Date of Meeting 7/13/20
2. **Signed Application**
3. **Payment**
\$250
4. **Paper Plan Sets**
Two (2) 24 x 36, Fifteen (15) 11 x 17
5. **Digital Submission**
For all documents submitted in paper copy, bring a digital copy with paper submission.
6. **Adjacent Property List**
A list of names and addresses, as obtained from the county tax listings and tax abstract, to the owners of all properties located within 500-feet of the perimeter of the project bounds.
7. **Adjacent Property Envelopes**
The applicant shall provide a set of business envelopes addressed to each of the owners of all properties located within 500-feet of the perimeter of the project bounds and accompanied with the amount of postage required for first class postage.
8. **Permits**
Include any permits issued on the project including but not limited to: environmental, traffic, utility, or site specific conditions.
9. **Site Plan Requirements**
A prepared site plan in accordance with the Unified Development Ordinance standards Section 6.3, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.
(See Major Site Development Checklist)

I certify that all information presented in this application is accurate to the best of my knowledge.

Signature of Applicant

[Handwritten Signature]

Date

8-12-20

Printed Name

PJ KELLY

Staff Initials:

Date:

[Handwritten Initials]
8/18/20

PROJECT NARRATIVE

PARAMOUNTE

ENGINEERING, INC.

Date: August 14, 2020

Edens Lane Project Narrative:

The proposed ± 86.40 acre single family development is located on off Edens Lane near the intersection with Hwy 17 and is further described as Pender County PIN 4214-14-4919-0000. The parcel is zoned RP and will remain RP.

The applicant proposes a maximum of 143 lots developed under low density stormwater standards and further designed in accordance with the LID stormwater standards. The applicant is submitting the development under Section 7.14 LID reduced setbacks and lot area. Please reference plans for full details. LID certification and stormwater permits will be provided to the County as required.

Amenities will include a clubhouse and pool facility with integrated open space for a variety of passive and active recreation. An engineer's cost estimate is attached.

One collector road is planned through the project and will be built in compliance with Pender County and NCDOT standards. All other roads will be private.

Water will be provided by Pender County Utilities. Sewer will be provided by Pluris Hampstead, LLC. Reference additional submittal information for details.

If additional information is required, please contact Paramounte Engineering.

SITE PLAN(S)

EDENS LANE

PENDER COUNTY, NORTH CAROLINA

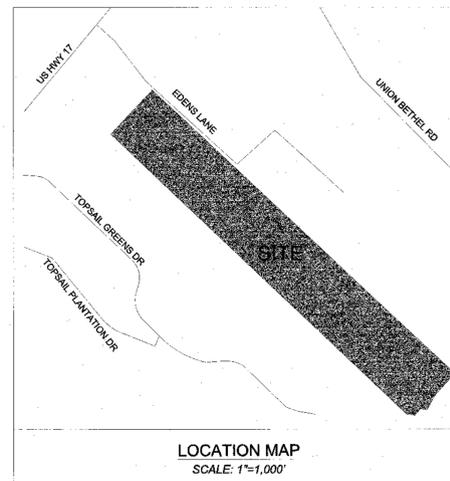
MASTER DEVELOPMENT PLAN / PRELIMINARY PLAT / MAJOR SITE PLAN

DECEMBER 2020

APRIL 2021

JULY 2021

APPLICANT:
LOGAN DEVELOPERS, INC.
 60 GREGORY ROAD, SUITE 1
 BELVILLE, NC 28451



NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

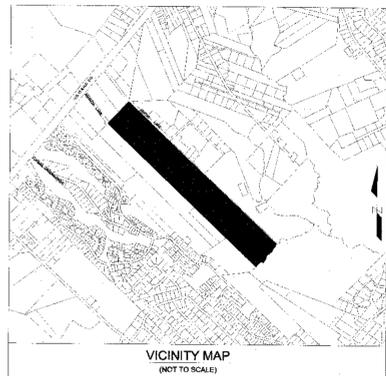
CONTACT "CAROLINA ONE CALL" AT
 1-800-632-4949

CONTACT THESE UTILITIES

PENDER COUNTY PLANNING AND COMMUNITY DEVELOPMENT ATTN: TRAVIS HENLEY PH: 910-259-1734	PENDER COUNTY UTILITIES (WATER & SEWER) ATTN: KENNETH KEEL PH: 910-259-0212
PIEDMONT NATURAL GAS ATTN: CARL PAQUET PH: 910-350-2242	DUKE ENERGY ATTN: KEVIN LEATHERWOOD PH: 910-602-4304
EMERGENCY DIAL 911 POLICE - FIRE - RESCUE	BELL SOUTH ATTN: STEVE DAYVAULT PH: 910-341-0741
	TIME WARNER CABLE PH: 910-783-4838

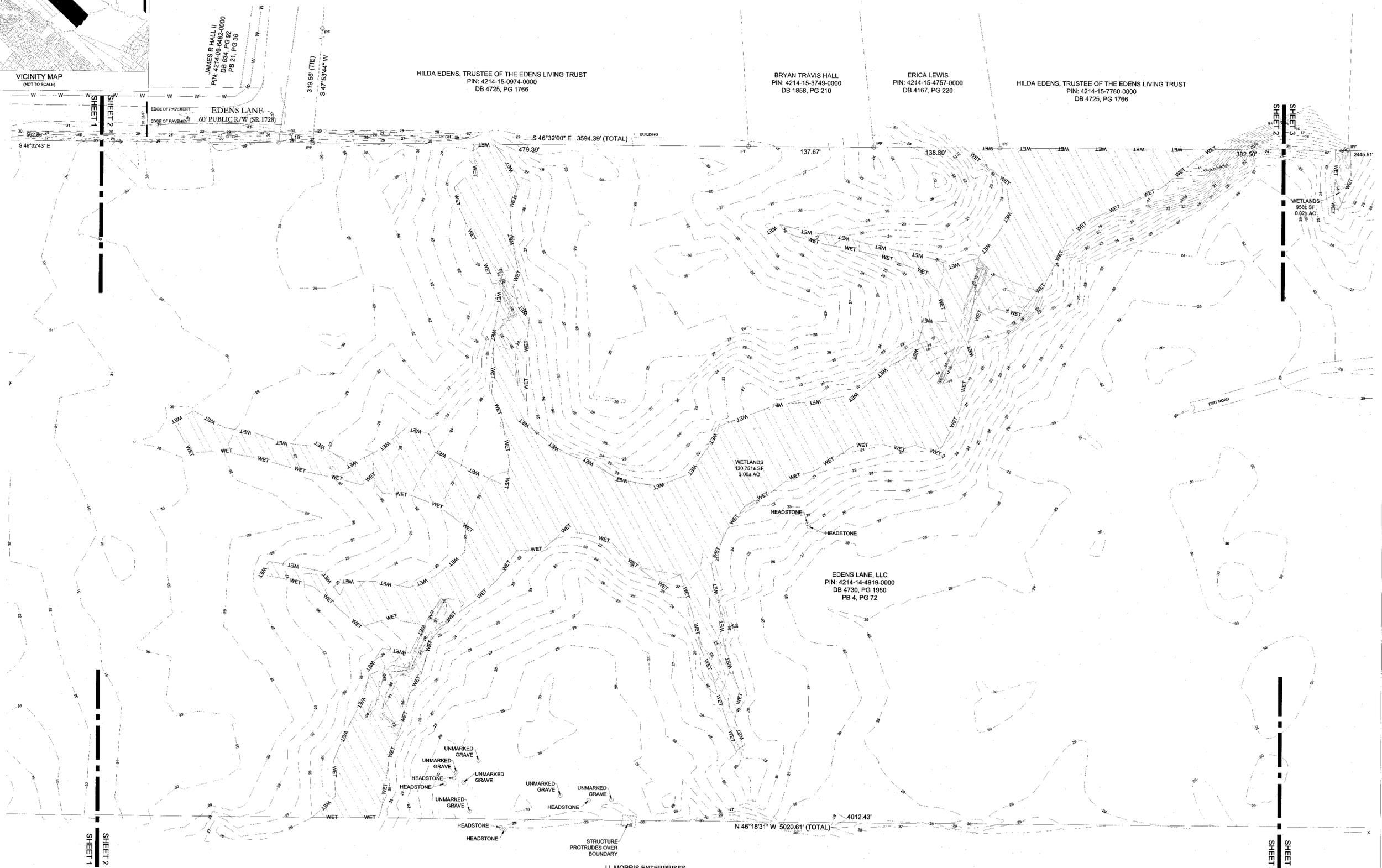
FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

EDENS LANE		
PROJECT # 20178.PE	JULY 28, 2021 SIGNATURE SET	
SHEET INDEX		
SHEET NUMBER	SHEET TITLE	
C-0.0	COVER SHEET	
SHEETS 1-4 OF 4	EXISTING CONDITIONS	
MDP	MASTER DEVELOPMENT PLAN	
PP-1 thru PP-4	PRELIMINARY PLAT	
MSP	MAJOR SITE PLAN	
PROJECT CONSULTANTS		
APPLICANT LOGAN DEVELOPERS, INC. 60 GREGORY ROAD, SUITE 1 BELVILLE, NC 28451	ENGINEER/LAND PLANNER/LANDSCAPE ARCHITECT PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NC 28403 CIVIL: TIM CLINKSCALES, PE (910-791-6707) LANDSCAPE ARCHITECT: ALLISON ENGBRETSON, RLA (910-791-6707)	SURVEYOR PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NC 28403 CHRIS GAGNE, PLS (910-791-6707)
PREPARED BY: PARAMOUNTE ENGINEERING, INC. 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846		



VICINITY MAP
(NOT TO SCALE)

- LEGEND:**
- IPF IRON PIPE FOUND
 - IRF IRON ROD FOUND
 - IRF IRON ROD SET
 - PKF PK NAIL FOUND
 - PKF PK NAIL SET
 - CMP CONCRETE MONUMENT FOUND
 - COMPUTED POINT
 - BOUNDARY LINE
 - - - ADJOINING BOUNDARY LINE
 - RIGHT OF WAY
 - WET WETLANDS



JAMES R HALL II
PIN: 4214-08-0482-0000
DB 834, PG 82
PB 21, PG 36

HILDA EDENS, TRUSTEE OF THE EDENS LIVING TRUST
PIN: 4214-15-0974-0000
DB 4725, PG 1766

BRYAN TRAVIS HALL
PIN: 4214-15-3749-0000
DB 1858, PG 210

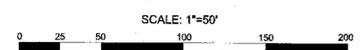
ERICA LEWIS
PIN: 4214-15-4757-0000
DB 4167, PG 220

HILDA EDENS, TRUSTEE OF THE EDENS LIVING TRUST
PIN: 4214-15-7760-0000
DB 4725, PG 1766

EDENS LANE
PUBLIC R/W (SR 1728)

EDENS LANE, LLC
PIN: 4214-14-4919-0000
DB 4730, PG 1980
PB 4, PG 72

J L MORRIS ENTERPRISES
PIN: 4204-95-5947-000L
DB 1089, PG 274
PB 22, PG 39



SCALE: 1"=50'

REVISIONS:

CLIENT INFORMATION:

PARAMOUNT
ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

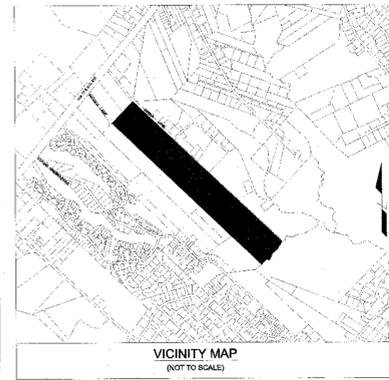
BOUNDARY SURVEY
MB 4, PG 72 - LOTS 8 & 9
PIN: 4214-14-4919-0000
TOPSAIL TOWNSHIP
PENDER COUNTY, NC

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONSTRUCTION:
DRAWING INFORMATION:
DATE: 1/16/2020
DESIGNED BY: JOSHUA W. TAYLOR
CHECKED BY: JOSHUA W. TAYLOR



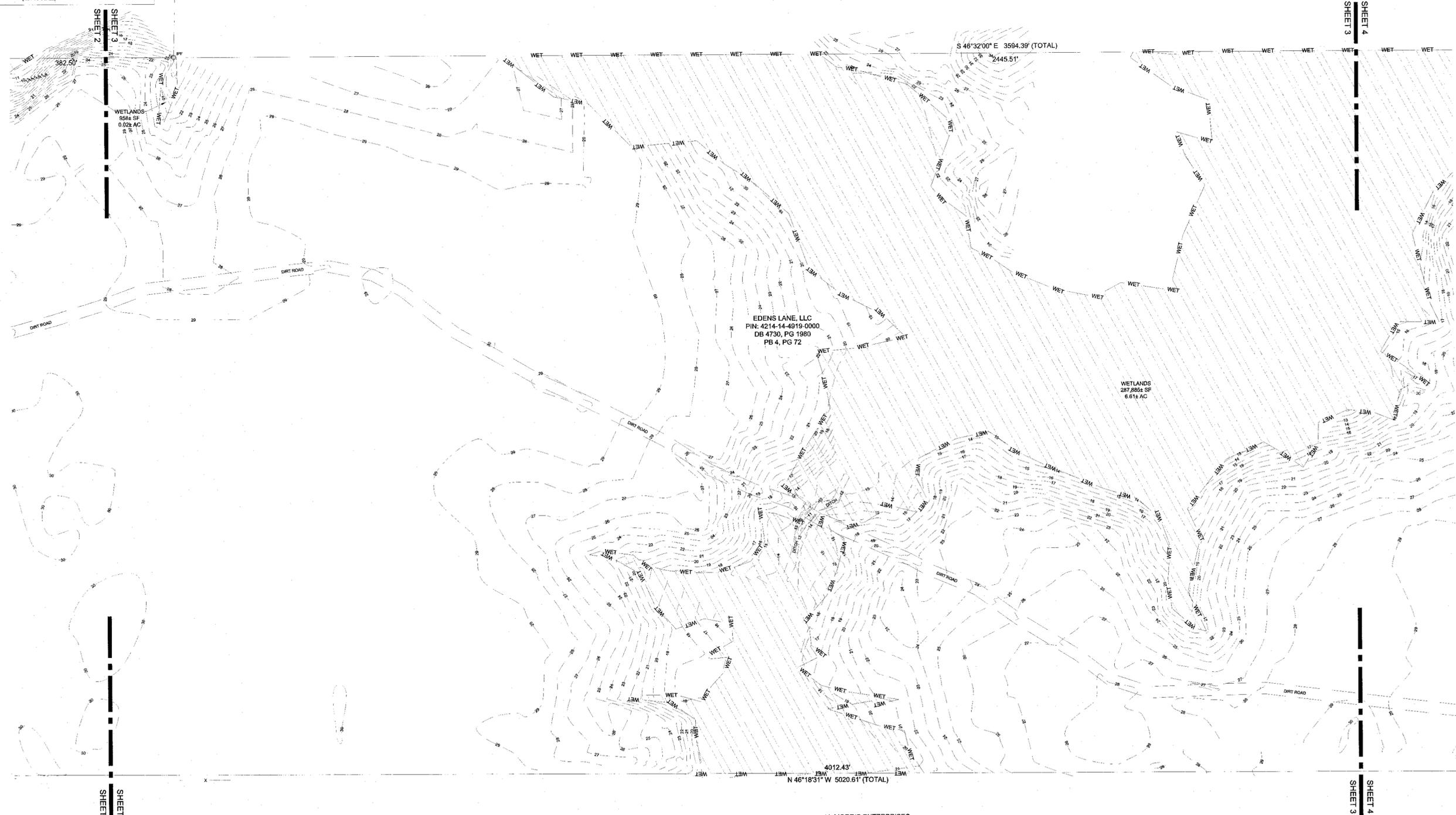
SHEET 2 OF 4

PEI JOB#: 20178.PE



- LEGEND:**
- IFF IRON PIPE FOUND
 - IRF IRON ROD FOUND
 - IRS IRON ROD SET
 - ⊙ PKF PK NAIL FOUND
 - PKS PK NAIL SET
 - CMP CONCRETE MONUMENT FOUND
 - COMPUTED POINT
 - BOUNDARY LINE
 - - - ADJOINING BOUNDARY LINE
 - RIGHT OF WAY
 - WET
 - WETLANDS

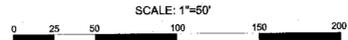
HILDA EDENS, TRUSTEE OF THE EDENS LIVING TRUST
 PIN: 4214-25-3147-0000
 DB 4725, PG 1766



EDENS LANE, LLC
 PIN: 4214-14-4019-0000
 DB 4730, PG 1980
 PB 4, PG 72

WETLANDS
 287,856 SF
 6.614 AC

J L MORRIS ENTERPRISES
 PIN: 4204-05-5047-000L
 DB 1089, PG 274
 PB 22, PG 39



REVISIONS:

CLIENT INFORMATION:

EDENS LANE, LLC
 60 GREGORY ROAD, SUITE 1
 BELVILLE, NC 28451

PARAMOUNTE
 ENGINEERS, ARCHITECTS, & SURVEYORS, P.A.
 122 Clingman Drive, Suite 28403
 Winston-Salem, NC 27103
 (910) 791-6707 (C) (910) 791-6760 (F)
 NC License #: C-2846

BOUNDARY SURVEY
 MB 4, PG 72 - LOTS 8 & 9
 PIN: 4214-14-4919-0000

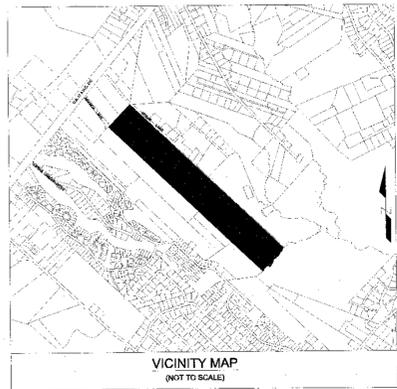
TOPSAIL TOWNSHIP
 PENDER COUNTY, NC

PROJECT STATUS
 PRELIMINARY LAYOUT:
 FINAL DESIGN:
 RELEASED FOR CONSTRUCTION:
 DRAWING INFORMATION
 DATE: 4/8/2021
 SCALE: 1\"/>



SHEET 3 OF 4

PEI JOB#: 20178 PE

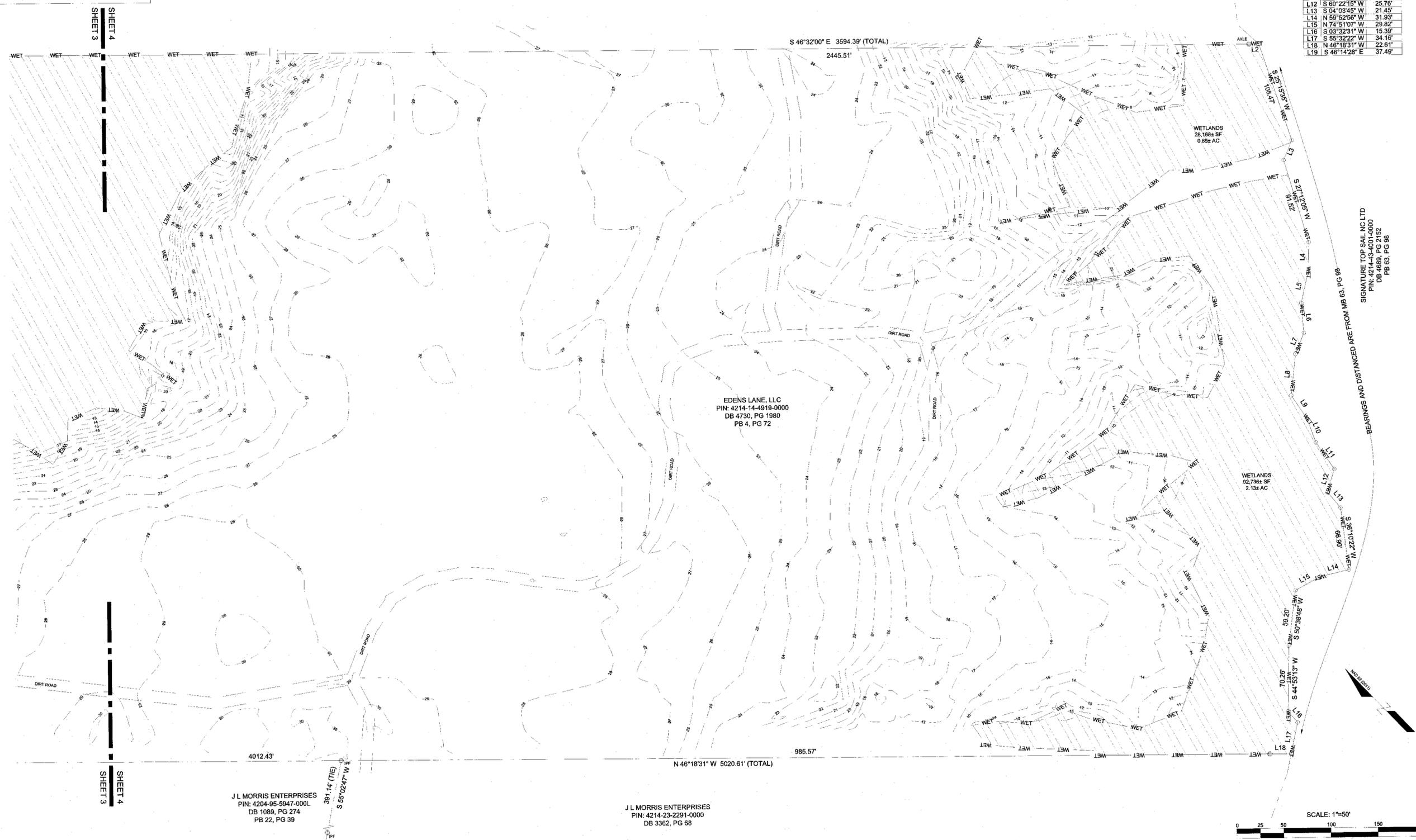


LEGEND:

○ IPF	IRON PIPE FOUND	---	BOUNDARY LINE
○ IRF	IRON ROD FOUND	---	ADJOINING BOUNDARY LINE
○ IRS	IRON ROD SET	---	RIGHT OF WAY
○ PKF	PK NAIL FOUND	---	WETLANDS
○ PKS	PK NAIL SET		
○ CMP	CONCRETE MONUMENT FOUND		
○	COMPUTED POINT		

HILDA EDENS, TRUSTEE OF THE EDENS LIVING TRUST
 PIN: 4214-25-3147-0000
 DB 4725, PG 1766

LINE	BEARING	DISTANCE
L1	N 43°28'22" E	30.50'
L2	S 46°32'00" E	10.53'
L3	S 68°05'42" W	22.88'
L4	S 45°07'53" W	31.40'
L5	S 56°31'19" W	34.10'
L6	S 38°01'46" W	31.89'
L7	S 65°41'08" W	24.12'
L8	S 49°49'02" W	44.61'
L9	S 10°17'27" W	29.36'
L10	S 22°49'47" W	27.46'
L11	S 09°47'54" W	34.28'
L12	S 60°22'15" W	23.76'
L13	S 04°03'45" W	21.45'
L14	N 59°52'56" W	31.93'
L15	N 74°51'07" W	29.82'
L16	S 03°32'31" W	15.39'
L17	S 55°32'22" W	34.16'
L18	N 46°18'31" W	22.61'
L19	S 46°14'28" E	37.49'



J L MORRIS ENTERPRISES
 PIN: 4204-95-5947-000L
 DB 1089, PG 274
 PB 22, PG 39

J L MORRIS ENTERPRISES
 PIN: 4214-23-2291-0000
 DB 3362, PG 68

REVISIONS:

CLIENT INFORMATION:

EDENS LANE, LLC
 60 GREGORY ROAD, SUITE 1
 BELVILLE, NC 28451

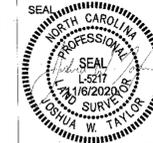
PARAMOUNT
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (C) (910) 791-6760 (F)
 NC License #: C-2846

BOUNDARY SURVEY
 MB 4, PG 72 - LOTS 8 & 9
 PIN: 4214-14-4919-0000

TOPSAIL TOWNSHIP
 PENDER COUNTY, NC

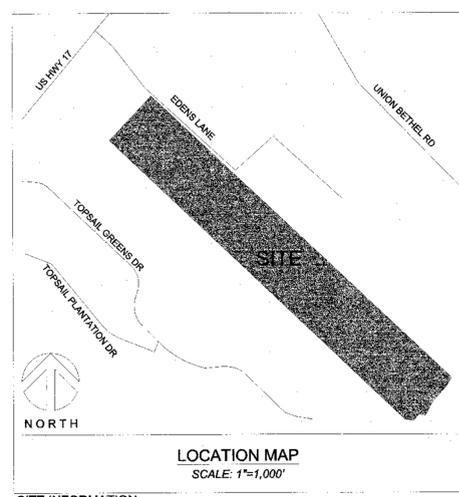
PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 FINAL DESIGN:
 RELEASED FOR CONSENT:

DRAWING INFORMATION:
 DATE: 4/6/2021
 SCALE: 1"=50'
 DRAWN: SCJ
 CHECKED: CIG



SHEET 4 OF 4

PEI JOB#: 20178.PE



SITE INFORMATION
 APPLICANT INFORMATION: LOGAN DEVELOPERS
 60 GREGORY RD, SUITE 1
 BELVILLE, NC 28451

OWNER: EDENS LANE, LLC
 60 GREGORY RD, SUITE 1
 BELVILLE, NC 28451

CURRENT LAND USE: VACANT LAND

CAMA LAND USE PLAN DESIGNATION: LOW DENSITY RESIDENTIAL/COASTAL RESIDENTIAL

EXISTING ZONING: RP

PROPOSED ZONING: RP

PIN: 4214-14-4919-0000 (86.16 ACRES)

TOWNSHIP: TOPSAIL

DEED BOOK/PAGE: 4883/103

PROPOSED USE: SFD, SINGLE FAMILY DWELLING
 DETACHED CONVENTIONAL (SEC. 4.15.1)

TOTAL SITE AREA: #86.40 ACRES

SINGLE FAMILY DIMENSION REQUIREMENTS
 PROPOSED HOUSING TYPE: ALL UNITS ARE SINGLE FAMILY DWELLING
 DETACHED CONVENTIONAL (SEC. 4.15.1)

DIMENSION (LID OPTION): 9,600 SF
 MINIMUM LOT SIZE: 80,000 SF
 MAXIMUM LOT SIZE: 15' MINIMUM
 FRONTYARD SETBACK: 15' MINIMUM
 SIDEYARD SETBACK: 5' MINIMUM

CORNER SIDEYARD SETBACK: 15' MINIMUM
REAR SETBACK: 12.5' MINIMUM
MAXIMUM BUILDING HEIGHT: 35'
STRUCTURE SEPARATION (ON SEPARATE LOTS): 15' MINIMUM
MINIMUM CHORD DISTANCE: 15'
MINIMUM LOT WIDTH: 30'

UNIT TOTALS & SITE YIELD
 TOTAL SINGLE FAMILY: 139 LOTS
 TOTAL REQUIRED OPEN SPACE: 4.17 AC
 139 LOTS x 0.03 AC

OPEN SPACE
 TOTAL REQUIRED OPEN SPACE: 4.17 AC
 50% MIN ACTIVE SPACE REQUIRED: 42.09 AC
 ACTIVE OPEN SPACE PROVIDED: 42.31 AC

PASSIVE OPEN SPACE PROVIDED: 116.23 AC
 TOTAL OPEN SPACE PROVIDED: 118.54 AC

NAICS
 CODE USE
 (No Code) SFD, SINGLE FAMILY DETACHED- CONVENTIONAL AND ALL USES
 ASSOCIATED WITH CONSTRUCTION AND SALE OF HOMES, TEMPORARY
 BUILDINGS FOR CONSTRUCTION OR DEVELOPMENT, AMENITIES, ETC.

FLOODPLAIN NOTES
 1. THIS PARCEL IS IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA. ACCORDING TO FEMA FLOOD PANELS 3720320400J AND 3720329200J WITH AN EFFECTIVE DATE OF FEBRUARY 16, 2007.

WETLAND NOTES
 1. THERE ARE WETLANDS ON THE PROPERTY. WETLAND JD IS APPROVED.
 2. THE PROPOSED DESIGN INCLUDES NO IMPACTS WITH USE OF BOTTOMLESS CULVERTS.

HISTORICAL & ARCHAEOLOGY NOTES
 1. NO KNOWN HISTORIC OR ARCHAEOLOGICAL SITES EXIST ON ANY OF THE SUBJECT PARCELS.

PHASING
 1. TWO PHASES ARE PLANNED FOR THIS DEVELOPMENT
 2. AMENITY AND PUMP STATION ARE PLANNED TO BE CONSTRUCTED IN FIRST PHASE

HOMEOWNERS ASSOCIATION
 1. PER PENDER COUNTY UDO 7.3, HOMEOWNERS ASSOCIATIONS SHALL BE REQUIRED FOR ALL DEVELOPMENTS WITH DEDICATED IMPROVEMENTS SUCH AS PRIVATELY MAINTAINED STREETS AND/OR OPEN SPACE DEDICATIONS AND MUST BE RECORDED ALONG WITH THE FIRST PHASE OF A FINAL PLAN TO ENCOMPASS THE ENTIRE DEVELOPMENT WITH AN OUTLINE OF AMENITIES/LAND TRANSFERRED TO THE SAID HOA AT OR BEFORE 25% OF ALL UNITS ARE CONSTRUCTED.

RECREATION UNIT NOTES
 1. 139 LOTS REQUIRE 1.5 RECREATION UNIT TOTALING \$15,000 OR MORE. INSTALLATION OF THE PROPOSED ACTIVE RECREATION AREAS WILL FAR EXCEED THE \$15,000, 1.5 UNIT REQUIREMENT. FOR FULL DETAILS OF PROPOSED ACTIVE RECREATION AREAS, REFER TO COST ESTIMATE PROVIDED WITH SUBMITAL TO PENDER COUNTY.

SIGNS
 1. ALL PROPOSED SIGNS SHALL CONFORM TO PENDER COUNTY UDO 9.6.1 FOR PERMANENT SIGNS FOR SUBDIVISIONS AND RESIDENTIAL DEVELOPMENTS AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT AS OUTLINED IN ARTICLE 9, SECTION 9.2.

STREETLIGHT NOTES
 1. STREETLIGHT LOCATIONS SHOWN ON PLAN ARE PRELIMINARY, AND BASED ON PENDER UDO SPECIFICATIONS. FINAL DESIGN, LOCATIONS, AND CALCULATIONS WILL BE PROVIDED BY DUKE ENERGY.

BUFFER NOTES
 1. ALL SURROUNDING ADJACENT PROPERTIES ARE ZONED RP OR PD
 2. SEE SHEETS PP-1 THRU PP-2 FOR A-1 BUFFER PLANTINGS

STORMWATER
 1. PROJECT IS PROPOSED USING LOW DENSITY STORMWATER.
 2. STORMWATER MANAGEMENT WILL BE DESIGNED IN ACCORDANCE WITH STATE STORMWATER STANDARDS AND PER PENDER COUNTY UDO, SECTION 7.9.
 3. FULL PERMIT APPROVALS TO BE PROVIDED TO COUNTY WHEN RECEIVED.
 4. STORMWATER WILL BE HANDLED ON SITE IN COMPLIANCE WITH ALL STATE AND COUNTY STORMWATER STANDARDS.

UTILITIES
 1. ALL WATER UTILITIES WILL BE COORDINATED WITH PENDER COUNTY ENGINEERING & UTILITIES, AND SEWER UTILITIES WILL BE COORDINATED WITH OLD NORTH STATE WATER CO. OR OTHER APPROVED PROVIDER.

PROJECT ROAD NOTES
 1. ALL COLLECTOR ROADS WILL BE PUBLIC RIGHT OF WAYS CONSTRUCTED TO NCDOT SUBDIVISION ROADS MINIMUM CONSTRUCTION STANDARDS.
 2. ALL PROPOSED INTERNAL ROADWAY INTERSECTIONS AND CONNECTIONS TO EXISTING ROADWAYS & THE PROJECT COLLECTOR ROAD WILL HAVE A 30' RADIUS MINIMUM UNLESS OTHER NCDOT DESIGN RADIUS IS ALLOWED.
 3. STREET NAME SIGNS SHALL BE INSTALLED AS SOON AS ROADWAYS ARE ACCESSIBLE BY VEHICLE TRAFFIC TO INCLUDE DURING CONSTRUCTION AND MEET PENDER COUNTY STREET SIGN SPECIFICATIONS.
 4. ADDRESSING WILL COMPLY WITH PENDER COUNTY UDO ARTICLE 11.
 5. NO PROPOSED ROAD EXCEEDS 1 MILE IN LENGTH OR ACCESSES MORE THAN 200 LOTS. ALL ROADS WILL COMPLY WITH SECTION 7.3.3 OF THE PENDER COUNTY UDO.
 6. PRIVATE STREETS ARE DESIGNED TO NCDOT STANDARDS AND ALL LOTS SHALL BE ACCESSIBLE TO PENDER COUNTY EMERGENCY SERVICE VEHICLES, WITH CLEARANCE TO TREES OVER THE ROADWAY FROM 13.5' IN HEIGHT BY 20' IN WIDTH.

TRAFFIC IMPACTS
 1. TIA IS APPROVED.
 2. THE DEVELOPER IS COMMITTED TO PROVIDING A RIGHT TURN LANE AT EDENS LANE & HWY 17.
 3. TRAFFIC IMPROVEMENTS WILL BE CONSTRUCTED ACCORDINGLY WITH APPROPRIATE PHASES.

LOW IMPACT DESIGN
 EDENS LANE PROPOSES THE FOLLOWING LID METHODS
 1. STORMWATER CONTROLS WILL INCLUDE ONE OF THE FOLLOWING OR A COMBINATION OF THE FOLLOWING:
 - FILTER STRIP
 - LEVEL SPREADER
 - HYDRAULIC INFILTRATION
 - REUSE
 2. IMPLEMENTATION OF LID MEASURES (TO THE EXTENT POSSIBLE) IN ACCORDANCE WITH PENDER COUNTY UDO 7.14, NC STATE STATUTES AND CHAPTER 4 LID STORMWATER BMPs OF NORTH CAROLINA STATE UNIVERSITY'S LOW IMPACT DEVELOPMENT: A GUIDEBOOK FOR NORTH CAROLINA. THESE MEASURES INCLUDE THE STORMWATER MANAGEMENT AND RUNOFF TREATMENT REQUIREMENTS THEREIN AND ALSO INCLUDE THE IMPLEMENTATION OF THE FOLLOWING:
 - BIOTENTION / RAIN GARDENS
 - SWALES
 3. PRESERVATION OF SPECIMEN TREES ON SITE
 4. VOLUME OF RUNOFF LEAVING SITE IS LESS THAN OR EQUAL TO VOLUME PRIOR TO DEVELOPMENT

FIRE DEPARTMENT NOTES
 1. FIRE HYDRANTS MUST BE WITHIN 600' OF ALL HOMES

OPEN SPACE KEY

1	PASSIVE OPEN SPACE	#0.20 AC
2	PASSIVE OPEN SPACE	#0.25 AC
3	PASSIVE OPEN SPACE	#0.22 AC
4	PASSIVE OPEN SPACE	#0.21 AC
5	PASSIVE OPEN SPACE	#0.56 AC
6	PASSIVE OPEN SPACE	#4.98 AC
7	PASSIVE OPEN SPACE	#0.46 AC
8	PASSIVE OPEN SPACE	#1.16 AC
9	PASSIVE OPEN SPACE	#0.68 AC
10	PASSIVE OPEN SPACE	#0.78 AC
11	PASSIVE OPEN SPACE	#1.70 AC
12	PASSIVE OPEN SPACE	#1.41 AC
13	PASSIVE OPEN SPACE	#1.19 AC
14	PASSIVE OPEN SPACE	#0.49 AC
15	PASSIVE OPEN SPACE	#0.19 AC
16	PASSIVE OPEN SPACE	#0.23 AC
17	PASSIVE OPEN SPACE	#0.19 AC
18	PASSIVE OPEN SPACE	#0.23 AC

TOTAL PASSIVE UPLAND OPEN SPACE: #16.23 AC

WETLANDS
 WETLANDS ON LOTS: #1.31 AC
 WETLANDS NOT ON LOTS: #11.52 AC
TOTAL WETLAND AREA: #12.83 AC

ACTIVE OPEN SPACE: #2.31 AC

TOTAL OPEN SPACE (ACTIVE & PASSIVE): #18.54 AC (21.5%)

Density Calculations - Edens Lane

Units	139
Total Units	139*
Total Site Acreage	86.40
Total Non-Residential Acreage (including RDW)	11.54
Total Wetlands Acreage (not on lots)	12.83
Total Open Space (Dedicated Active & Passive)	16.54
Total Undevelopable Land Acreage	42.91
Total Developable Land Acreage	43.49

Developable Land Calculated as follows: Total Acreage Subtract the following: (Non-Residential, Wetlands, Passive Open Space, Active Open Space) Developable Land Area

Allowable Density - Standard RP (Units/Acre)	2.90
Allowable Density - RP w/ LID measures (Units/Acre)	4.84
Proposed Density (Units/Acre)	3.20

*PUMP STATION NOT INCLUDED IN LOT COUNT

TRIP GENERATION CALCULATIONS

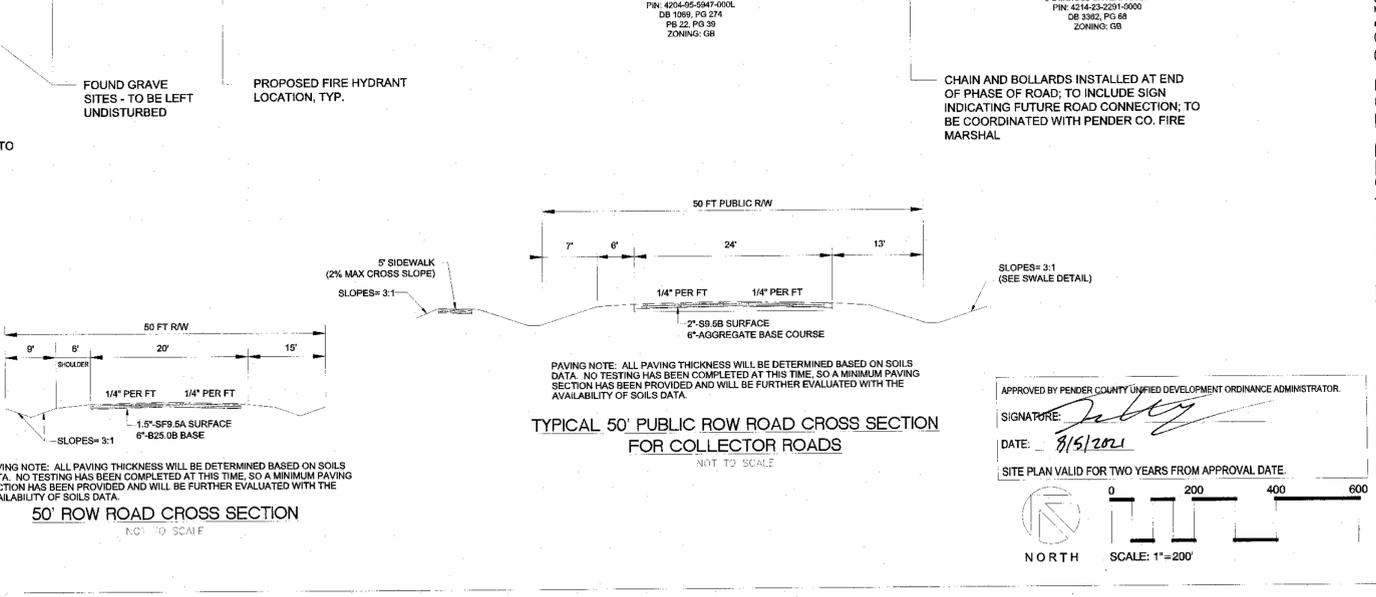
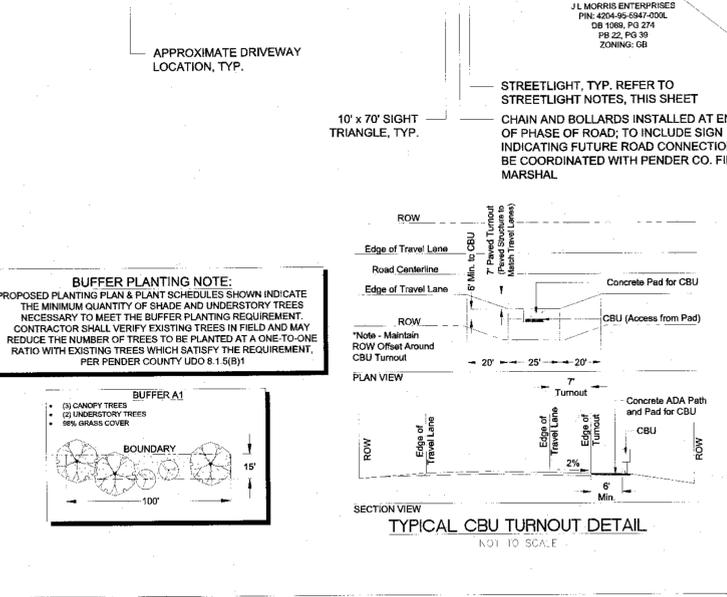
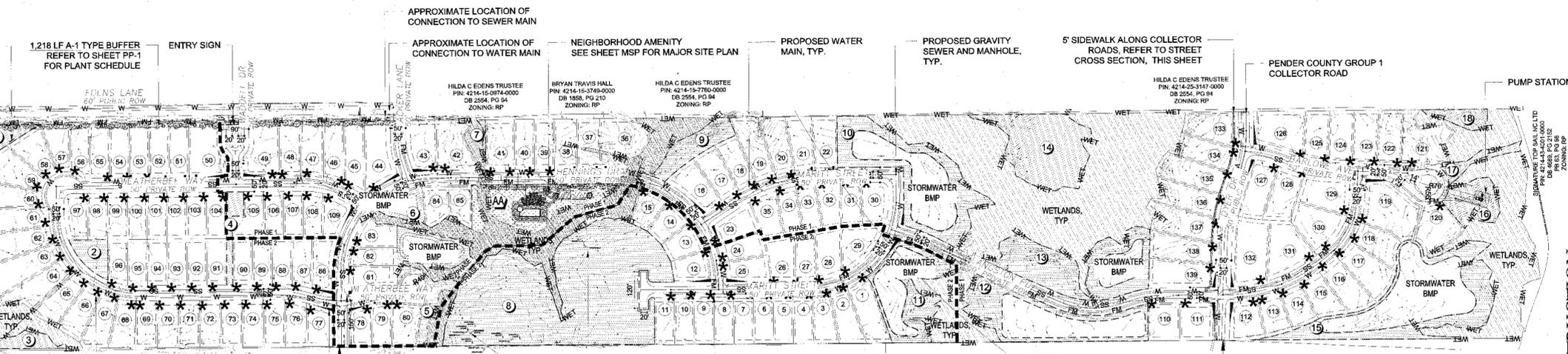
Use:	Residential
Land Use Code:	210
Number of Dwelling Units:	139

Weekday: $L_n(T) = 0.92 \cdot L_n(K) \cdot T^{-0.71}$
 $T = 1445$ Avg./VTE

Weekday Peak AM: $T = 0.70(K) \cdot 9.43$
 $T = 110$ Avg./VTE

Weekday Peak PM: $L_n(T) = 0.90 \cdot L_n(K) \cdot 9.43$
 $T = 148$ Avg./VTE

THIS PROJECT HAS AN APPROVED TIA; REFERENCE TIA FOR COMPLETE INFORMATION



07/11/21

REVISIONS:
 REV PER STAFF COMMENTS

CUSTOMER INFORMATION
 EDENS LANE, LLC
 60 GREGORY ROAD, SUITE 1
 BELVILLE, NC 28451

PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License # C-2846

MASTER DEVELOPMENT PLAN
 BRIDGEWATER LANDING
 TOPSAIL TOWNSHIP
 PENDER COUNTY, NORTH CAROLINA

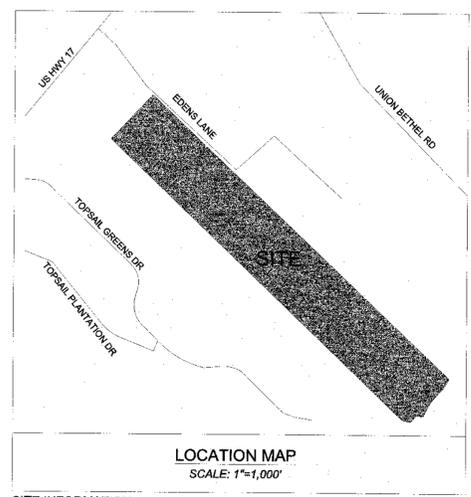
FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

PROJECT STATUS
 CONCEPTUAL LAYOUT: []
 FINAL DESIGN: []
 RELEASED FOR CONSTRUCTION: []

DRAWING INFORMATION
 DATE: 08/30/21
 SCALE: 1"=200'
 DESIGNED: []
 CHECKED: []

SEAL
 NORTH CAROLINA PROFESSIONAL ENGINEER
 TONY G. CLINKSCALES
 028847
 07/11/21

MDP
 PEI JOB#: 20178.PE



SITE INFORMATION
 APPLICANT INFORMATION: LOGAN DEVELOPERS
 60 GREGORY RD, SUITE 1
 BELVILLE, NC 28451

OWNER: EDENS LANE, LLC
 60 GREGORY RD, SUITE 1
 BELVILLE, NC 28451

CURRENT LAND USE: VACANT LAND

CAMA LAND USE PLAN DESIGNATION: LOW DENSITY RESIDENTIAL/COASTAL RESIDENTIAL

EXISTING ZONING: RP

PROPOSED ZONING: ZONING: GB

PIN: 4214-14-4919-0000 (86.18 ACRES)

TOWNSHIP: TOPSAIL

DEED BOOK/PAGE: 4883/103

PROPOSED USE: SFD- SINGLE FAMILY DWELLING
 DETACHED CONVENTIONAL (SEC. 4.15.1)

TOTAL SITE AREA: ±86.40 ACRES

SINGLE FAMILY DIMENSION REQUIREMENTS

PROPOSED HOUSING TYPE: ALL UNITS ARE SINGLE FAMILY DWELLINGS
 DETACHED CONVENTIONAL (SEC. 4.15.1)

DIMENSION (LID OPTION):

MINIMUM LOT SIZE: 9,000 SF
 MAXIMUM LOT SIZE: 60,000 SF
 FRONT YARD SETBACK: 15' MINIMUM
 SIDEYARD SETBACK: 5' MINIMUM

CORNER SIDEYARD SETBACK: 15' MINIMUM
REAR SETBACK: 12.5' MINIMUM
MAXIMUM BUILDING HEIGHT: 35'
STRUCTURE SEPARATION (ON SEPARATE LOTS): 15' MINIMUM
MINIMUM CHORD DISTANCE: 15'
MINIMUM LOT WIDTH: 30'

UNIT TOTALS & SITE YIELD

TOTAL SINGLE FAMILY: 139 LOTS
 TOTAL REQUIRED OPEN SPACE: 4.17 AC
 139 LOTS x 0.03 AC

50% MIN. ACTIVE SPACE REQUIRED: ±2.09 AC
ACTIVE OPEN SPACE PROVIDED: ±2.31 AC

PASSIVE OPEN SPACE PROVIDED: ±16.23 AC
TOTAL OPEN SPACE PROVIDED: ±18.54 AC

NAICS

USE: SFD- SINGLE FAMILY DETACHED - CONVENTIONAL AND ALL USES ASSOCIATED WITH CONSTRUCTION AND SALE OF HOMES, TEMPORARY BUILDINGS FOR CONSTRUCTION OR DEVELOPMENT, AMENITIES, ETC.

FLOODPLAIN NOTES

1. THIS PARCEL IS IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA, ACCORDING TO FEMA FLOOD PANELS 3720324000J AND 3720322000J WITH AN EFFECTIVE DATE OF FEBRUARY 16, 2007.

WETLAND NOTES

1. THERE ARE WETLANDS ON THE PROPERTY. WETLAND ID IS APPROVED
 2. THE PROPOSED DESIGN INCLUDES NO IMPACTS WITH USE OF BOTTOMLESS CULVERTS

HISTORICAL & ARCHAEOLOGY NOTES

1. NO KNOWN HISTORIC OR ARCHAEOLOGICAL SITES EXIST ON ANY OF THE SUBJECT PARCELS.

PHASING

1. TWO PHASES ARE PLANNED FOR THIS DEVELOPMENT
 2. AMENITY AND PUMP STATION ARE PLANNED TO BE CONSTRUCTED IN FIRST PHASE

HOMEOWNERS ASSOCIATION

1. PER PENDER COUNTY UDO 7.3, HOMEOWNERS ASSOCIATIONS SHALL BE REQUIRED FOR ALL DEVELOPMENTS WITH DEDICATED IMPROVEMENTS SUCH AS PRIVATELY MAINTAINED STREETS AND/OR OPEN SPACE DEDICATIONS AND MUST BE RECORDED ALONG WITH THE FIRST PHASE OF A FINAL PLAT TO ENCOMPASS THE ENTIRE DEVELOPMENT WITH AN OUTLINE OF AMENITIES/LAND TRANSFERRED TO THE SAID HOA AT OR BEFORE 25% OF ALL UNITS ARE CONSTRUCTED.

RECREATION UNIT NOTES

1. 139 LOTS REQUIRE 1.5 RECREATION UNIT TOTALING \$15,000 OR MORE. INSTALLATION OF THE PROPOSED ACTIVE RECREATION AREAS WILL FAR EXCEED THE \$15,000, 1.5 UNIT REQUIREMENT. FOR FULL DETAILS OF PROPOSED ACTIVE RECREATION AREAS, REFER TO COST ESTIMATE PROVIDED WITH SUBMITTAL TO PENDER COUNTY.

SIGNS

1. ALL PROPOSED SIGNS SHALL CONFORM TO PENDER COUNTY UDO § 6.1 FOR PERMANENT SIGNS FOR SUBDIVISIONS AND RESIDENTIAL DEVELOPMENTS AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT AS OUTLINED IN ARTICLE 9, SECTION 9.2

STREETLIGHT NOTES

1. STREETLIGHT LOCATIONS SHOWN ON PLAN ARE PRELIMINARY, AND BASED ON PENDER UDO SPECIFICATIONS. FINAL DESIGN, LOCATIONS, AND CALCULATIONS WILL BE PROVIDED BY DUKE ENERGY.

BUFFER NOTES

1. ALL SURROUNDING ADJACENT PROPERTIES ARE ZONED RP OR PD
 2. SEE SHEETS PP-1 THRU PP-2 FOR A-1 BUFFER PLANTINGS

STORMWATER

1. PROJECT IS PROPOSED USING LOW DENSITY STORMWATER
 2. STORMWATER MANAGEMENT WILL BE DESIGNED IN ACCORDANCE WITH STATE STORMWATER STANDARDS AND PER PENDER COUNTY UDO, SECTION 7.9
 3. FULL PERMIT APPROVALS TO BE PROVIDED TO COUNTY WHEN RECEIVED
 4. STORMWATER WILL BE HANDLED ON SITE IN COMPLIANCE WITH ALL STATE AND COUNTY STORMWATER STANDARDS.

UTILITIES

1. ALL WATER UTILITIES WILL BE COORDINATED WITH PENDER COUNTY ENGINEERING & UTILITIES, AND SEWER UTILITIES WILL BE COORDINATED WITH OLD NORTH STATE WATER CO. OR OTHER APPROVED PROVIDER.

PROJECT ROAD NOTES

- ALL COLLECTOR ROADS WILL BE PUBLIC RIGHT OF WAYS CONSTRUCTED TO NCDOT SUBDIVISION ROADS MINIMUM CONSTRUCTION STANDARDS.
- ALL PROPOSED INTERNAL ROADWAY INTERSECTIONS AND CONNECTIONS TO EXISTING ROADWAYS & THE PROJECT COLLECTOR ROAD WILL HAVE A 30' RADIUS MINIMUM UNLESS OTHER NCDOT DESIGN RADIUS IS ALLOWED.
- STREET NAME SIGNS SHALL BE INSTALLED AS SOON AS ROADWAYS ARE ACCESSIBLE BY VEHICLE TRAFFIC TO INCLUDE DURING CONSTRUCTION AND MEET PENDER COUNTY STREET SIGN SPECIFICATIONS.
- ADDRESSING WILL COMPLY WITH PENDER COUNTY UDO ARTICLE 11.
- NO PROPOSED ROAD EXCEEDS 1 MILE IN LENGTH OR ACCESSES MORE THAN 200 LOTS. ALL ROADS WILL COMPLY WITH SECTION 7.5.3 OF THE PENDER COUNTY UDO.
- PRIVATE STREETS ARE DESIGNED TO NCDOT STANDARDS AND ALL LOTS SHALL BE ACCESSIBLE TO PENDER COUNTY EMERGENCY SERVICE VEHICLES, WITH CLEARANCE TO TREES OVER THE ROADWAY FROM 13'5" IN HEIGHT BY 20' IN WIDTH.

TRAFFIC IMPACTS

- TIA IS APPROVED.
- THE DEVELOPER IS COMMITTED TO PROVIDING A RIGHT TURN LANE AT EDENS LANE & HWY 17
- TRAFFIC IMPROVEMENTS WILL BE CONSTRUCTED ACCORDINGLY WITH APPROPRIATE PHASES.

LOW IMPACT DESIGN

EDENS LANE PROPOSES THE FOLLOWING L.I.D. METHODS OR A COMBINATION OF THE FOLLOWING:

- FILTER STRIP
- LEVEL SPREADER
- HYDRAULIC INFILTRATION
- REUSE
- IMPLEMENTATION OF LID MEASURES (TO THE EXTENT POSSIBLE) IN ACCORDANCE WITH PENDER COUNTY UDO 7.14, NC STATE STATUTES AND CHAPTER 4, LID STORMWATER BMPs OF NORTH CAROLINA STATE UNIVERSITY'S LOW IMPACT DEVELOPMENT A GUIDEBOOK FOR NORTH CAROLINA. THESE MEASURES INCLUDE THE STORMWATER MANAGEMENT AND RUNOFF TREATMENT REQUIREMENTS THEREIN AND ALSO INCLUDE THE IMPLEMENTATION OF THE FOLLOWING:
 - BIORETENTION / RAIN GARDENS
 - SWALES
- PRESERVATION OF SPECIMEN TREES ON SITE
- VOLUME OF RUNOFF LEAVING SITE IS LESS THAN OR EQUAL TO VOLUME PRIOR TO DEVELOPMENT

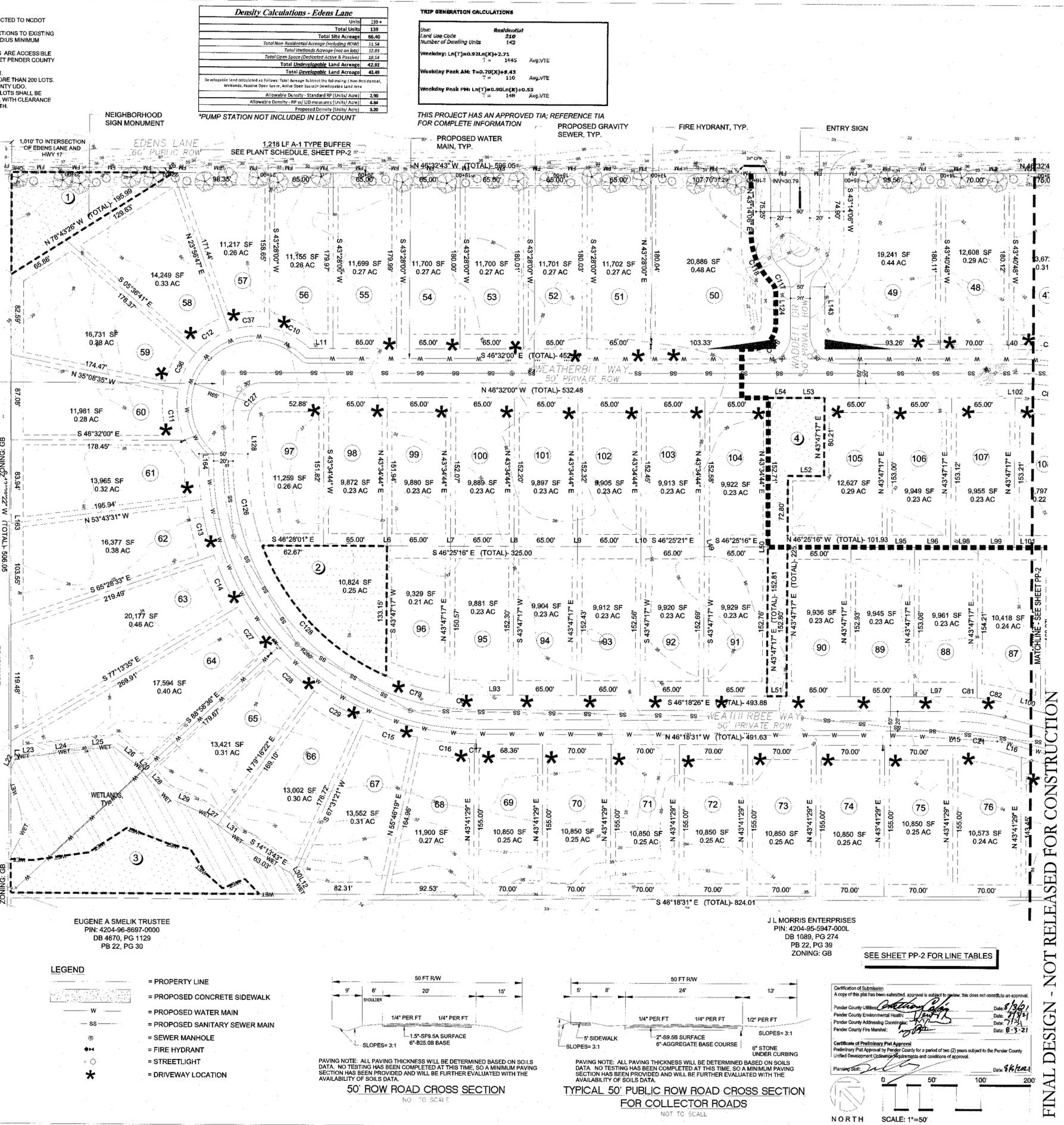
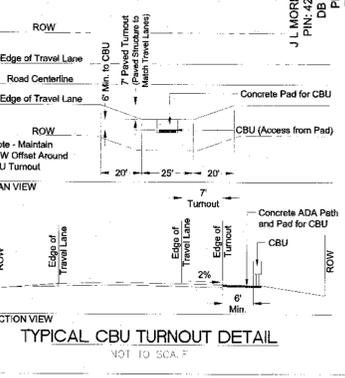
FIRE DEPARTMENT NOTES

- FIRE HYDRANTS MUST BE WITHIN 600' OF ALL HOMES

ALTERNATE STREET DESIGN WITH PAVED AREA EQUAL TO HALF OF CUL-DE-SAC

OPEN SPACE KEY

1	PASSIVE OPEN SPACE	±0.20 AC
2	PASSIVE OPEN SPACE	±0.25 AC
3	PASSIVE OPEN SPACE	±0.22 AC
4	PASSIVE OPEN SPACE	±0.21 AC
5	PASSIVE OPEN SPACE	±0.56 AC
6	PASSIVE OPEN SPACE	±4.98 AC
7	PASSIVE OPEN SPACE	±0.46 AC
8	PASSIVE OPEN SPACE	±1.16 AC
9	PASSIVE OPEN SPACE	±0.68 AC
10	PASSIVE OPEN SPACE	±0.78 AC
11	PASSIVE OPEN SPACE	±1.70 AC
12	PASSIVE OPEN SPACE	±1.41 AC
13	PASSIVE OPEN SPACE	±1.19 AC
14	PASSIVE OPEN SPACE	±0.49 AC
15	PASSIVE OPEN SPACE	±0.19 AC
16	PASSIVE OPEN SPACE	±0.23 AC
17	PASSIVE OPEN SPACE	±0.19 AC
18	PASSIVE OPEN SPACE	±0.23 AC
TOTAL PASSIVE UPLAND OPEN SPACE:		±16.23 AC
WETLANDS		WETLANDS ON LOTS: ±1.31 AC WETLANDS NOT ON LOTS: ±1.52 AC TOTAL WETLAND AREA: ±2.83 AC
TOTAL OPEN SPACE (ACTIVE & PASSIVE)		±18.54 AC (21.5%)



Density Calculations - Edens Lane

Units	Count
Total Units	139
Total Sfrs	86.40
Total Non-Residential Average (Including ROW)	11.34
Total Residential Average (Including ROW)	12.83
Total Green Space (Density & Paved)	18.54
Total Undevelopable Land Area	42.91
Total Developable Land Area	43.49

Development land estimated as follows: Total Average Sublot the following: (New Residential, Wetlands, Private Open Space, Active Open Space, Density, and Paved Area)

Allowable Density - Standard RP (Units/Acre)	2.90
Allowable Density - RP w/ U/D measures (Units/Acre)	4.84
Proposed Density (Units/Acre)	3.20

*PUMP STATION NOT INCLUDED IN LOT COUNT

TRIP GENERATION CALCULATIONS

Use	Residential
Land Use Code	210
Number of Dwelling Units	143
Weekday: Ln(T) = 1.0 * Ln(1.0 * 2.71 * 143)	14.95
Avg./VTE	110
Weekday Peak AM: T = 0.70(X) + 9.43	
T = 110	
Weekday Peak PM: Ln(T) = 0.50 * Ln(X) + 0.43	
T = 110	

THIS PROJECT HAS AN APPROVED TIA; REFERENCE TIA FOR COMPLETE INFORMATION

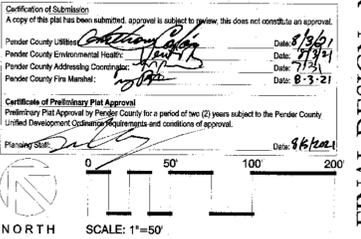
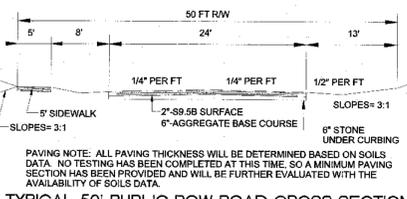
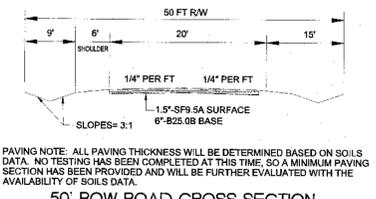
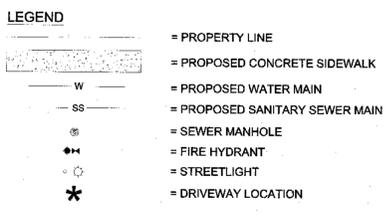
HILDA EDENS
 PIN: 4204-96-2883-0000
 DB 108, PG 226
 ZONING: GB

IGNATIUS MICHAEL BAROAXIS
 PIN: 4204-96-2883-0000
 DB 143, PG 143
 ZONING: GB

J. MORRIS ENTERPRISES
 PIN: 4204-96-8897-0000
 DB 1089, PG 274
 ZONING: GB

EUGENE A SMELIK TRUSTEE
 PIN: 4204-96-8897-0000
 DB 4670, PG 1129
 PB 22, PG 30

J.L MORRIS ENTERPRISES
 PIN: 4204-96-5947-0000
 DB 1089, PG 274
 PB 22, PG 30
 ZONING: GB



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS: REV PER STAFF COMMENTS

CLIENT INFORMATION: EDENS LANE, LLC
 60 GREGORY ROAD, SUITE 1
 BELVILLE, NC 28451

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6766 (F)
 NC License #: C-2846

PRELIMINARY PLAT

BRIDGEWATER LANDING
TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS: CONCEPTUAL LAYOUT; FINAL DESIGN; RELEASED FOR CONST.

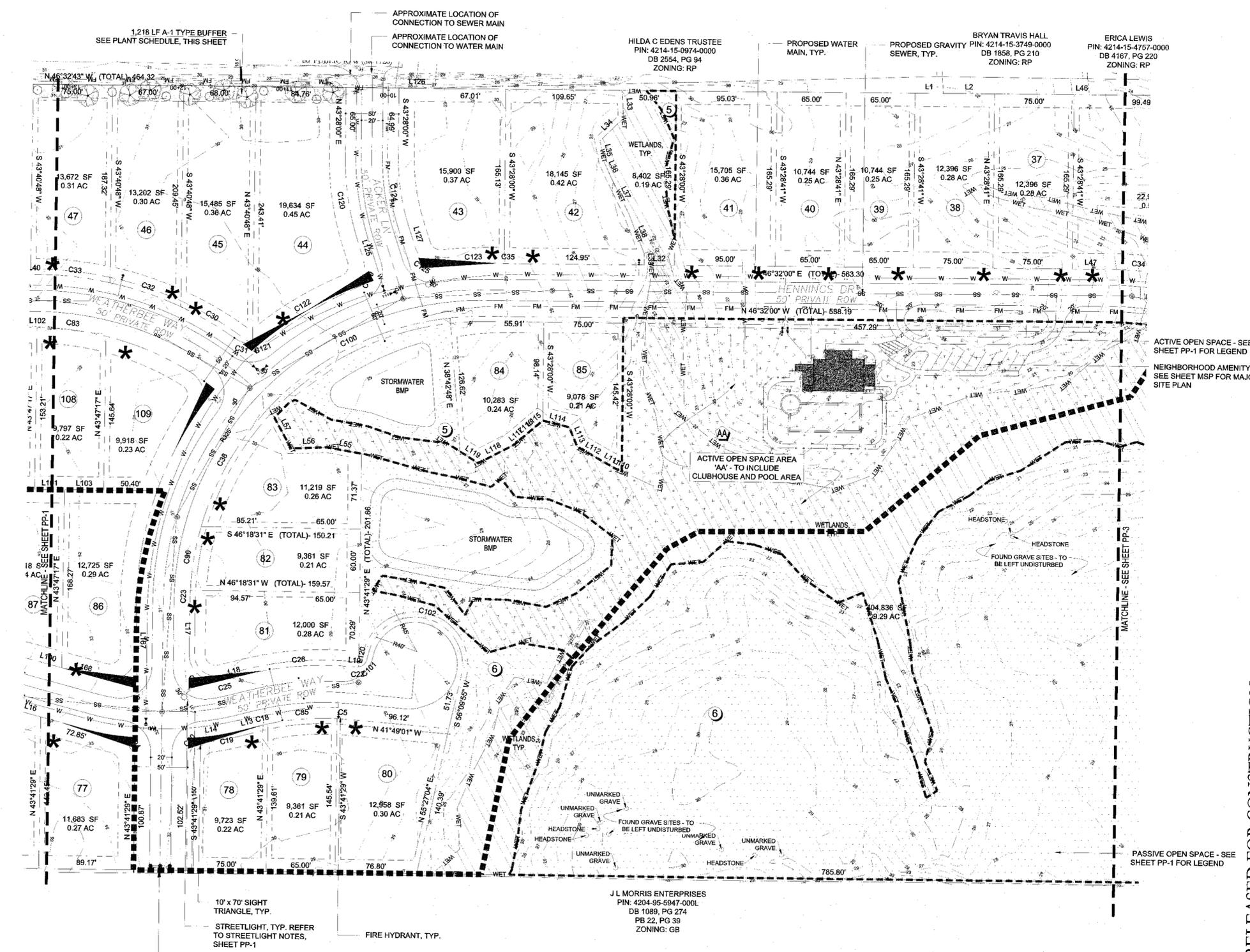
DRAWING INFORMATION: SCALE: 1"=50'; DATE: 8-3-21; CHECKED: [Signature]

SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER; SEAL 028847; DATE: 8-3-21; 07/11/21

PP-1

PEI JOB#: 20178.PE

LINE	BEARING	DISTANCE	CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA
L1	S 48°29'16" E	0.00	C1	375.00	0.00	0.00	S 48°29'16" E	0°00'00"
L2	N 28°42'41" E	0.00	C2	375.00	0.00	0.00	S 48°29'16" E	0°00'00"
L3	N 42°54'17" E	0.00	C3	375.00	0.00	0.00	S 48°29'16" E	0°00'00"
L4	S 48°29'16" E	0.00	C4	375.00	0.00	0.00	S 48°29'16" E	0°00'00"
L5	S 48°29'16" E	0.00	C5	375.00	0.00	0.00	S 48°29'16" E	0°00'00"
L6	S 48°29'16" E	0.00	C6	375.00	0.00	0.00	S 48°29'16" E	0°00'00"
L7	N 48°03'52" W	26.73	C7	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L8	N 48°03'52" W	26.73	C8	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L9	N 48°03'52" W	26.73	C9	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L10	N 48°03'52" W	26.73	C10	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L11	N 48°03'52" W	26.73	C11	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L12	N 48°03'52" W	26.73	C12	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L13	N 48°03'52" W	26.73	C13	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L14	N 48°03'52" W	26.73	C14	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L15	N 48°03'52" W	26.73	C15	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L16	N 48°03'52" W	26.73	C16	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L17	N 48°03'52" W	26.73	C17	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L18	N 48°03'52" W	26.73	C18	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L19	N 48°03'52" W	26.73	C19	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L20	N 48°03'52" W	26.73	C20	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L21	N 48°03'52" W	26.73	C21	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L22	N 48°03'52" W	26.73	C22	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L23	N 48°03'52" W	26.73	C23	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L24	N 48°03'52" W	26.73	C24	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L25	N 48°03'52" W	26.73	C25	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L26	N 48°03'52" W	26.73	C26	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L27	N 48°03'52" W	26.73	C27	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L28	N 48°03'52" W	26.73	C28	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L29	N 48°03'52" W	26.73	C29	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L30	N 48°03'52" W	26.73	C30	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L31	N 48°03'52" W	26.73	C31	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L32	N 48°03'52" W	26.73	C32	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L33	N 48°03'52" W	26.73	C33	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L34	N 48°03'52" W	26.73	C34	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L35	N 48°03'52" W	26.73	C35	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L36	N 48°03'52" W	26.73	C36	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L37	N 48°03'52" W	26.73	C37	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L38	N 48°03'52" W	26.73	C38	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L39	N 48°03'52" W	26.73	C39	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L40	N 48°03'52" W	26.73	C40	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L41	N 48°03'52" W	26.73	C41	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L42	N 48°03'52" W	26.73	C42	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L43	N 48°03'52" W	26.73	C43	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L44	N 48°03'52" W	26.73	C44	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L45	N 48°03'52" W	26.73	C45	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L46	N 48°03'52" W	26.73	C46	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L47	N 48°03'52" W	26.73	C47	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L48	N 48°03'52" W	26.73	C48	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L49	N 48°03'52" W	26.73	C49	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L50	N 48°03'52" W	26.73	C50	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L51	N 48°03'52" W	26.73	C51	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L52	N 48°03'52" W	26.73	C52	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L53	N 48°03'52" W	26.73	C53	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L54	N 48°03'52" W	26.73	C54	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L55	N 48°03'52" W	26.73	C55	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L56	N 48°03'52" W	26.73	C56	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L57	N 48°03'52" W	26.73	C57	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L58	N 48°03'52" W	26.73	C58	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L59	N 48°03'52" W	26.73	C59	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L60	N 48°03'52" W	26.73	C60	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L61	N 48°03'52" W	26.73	C61	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L62	N 48°03'52" W	26.73	C62	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L63	N 48°03'52" W	26.73	C63	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L64	N 48°03'52" W	26.73	C64	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L65	N 48°03'52" W	26.73	C65	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L66	N 48°03'52" W	26.73	C66	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L67	N 48°03'52" W	26.73	C67	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L68	N 48°03'52" W	26.73	C68	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L69	N 48°03'52" W	26.73	C69	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L70	N 48°03'52" W	26.73	C70	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L71	N 48°03'52" W	26.73	C71	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L72	N 48°03'52" W	26.73	C72	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L73	N 48°03'52" W	26.73	C73	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L74	N 48°03'52" W	26.73	C74	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L75	N 48°03'52" W	26.73	C75	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L76	N 48°03'52" W	26.73	C76	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L77	N 48°03'52" W	26.73	C77	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L78	N 48°03'52" W	26.73	C78	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L79	N 48°03'52" W	26.73	C79	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L80	N 48°03'52" W	26.73	C80	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L81	N 48°03'52" W	26.73	C81	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L82	N 48°03'52" W	26.73	C82	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L83	N 48°03'52" W	26.73	C83	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L84	N 48°03'52" W	26.73	C84	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L85	N 48°03'52" W	26.73	C85	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L86	N 48°03'52" W	26.73	C86	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L87	N 48°03'52" W	26.73	C87	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L88	N 48°03'52" W	26.73	C88	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L89	N 48°03'52" W	26.73	C89	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L90	N 48°03'52" W	26.73	C90	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L91	N 48°03'52" W	26.73	C91	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L92	N 48°03'52" W	26.73	C92	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L93	N 48°03'52" W	26.73	C93	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L94	N 48°03'52" W	26.73	C94	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L95	N 48°03'52" W	26.73	C95	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L96	N 48°03'52" W	26.73	C96	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L97	N 48°03'52" W	26.73	C97	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L98	N 48°03'52" W	26.73	C98	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L99	N 48°03'52" W	26.73	C99	255.00	69.37	89.15	S 89°29'29" W	15°30'58"
L100	N 48°03'52" W	26.73	C100	255.00	69.37	89.15	S 89°29'29" W	15°30'58"

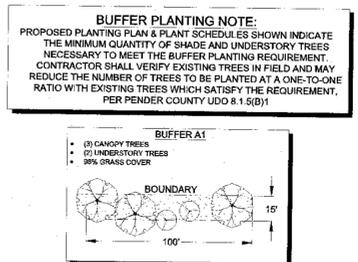


PLANT SCHEDULE A-1 BUFFER

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	25	Magnolia 'Little Gem' Dwarf Southern Magnolia	4' HT
	37	Quercus nuttallii Nuttall Oak	2" cal

BUFFER A1 CALCULATIONS REQUIRED: (3) CANOPY TREE AND(3) UNDERSTORY TREES PER 100'

BUFFER TYPE	LINEAR FT.	CANOPY TREES	UNDERSTORY TREES
A1	1,218'	37 (3/100')	25 (2/100')



CERTIFICATION OF SUBMISSION
A copy of this plan has been submitted for review and approval. This does not constitute an approval.

CERTIFICATE OF PRELIMINARY PLAN APPROVAL
Preliminary Plan Approval by Pender County for a period of two (2) years subject to the Pender County Unified Development Ordinance requirements and conditions of approval.

07/11/21

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

PRELIMINARY PLAT
BRIDGEWATER LANDING
TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA

PARAMOUNT ENGINEERING, P.C.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

PROJECT STATUS:
CONCEPTUAL LAYOUT:
FINAL DESIGN FOR CONSTRUCTION:
RELEASED FOR CONSTRUCTION:

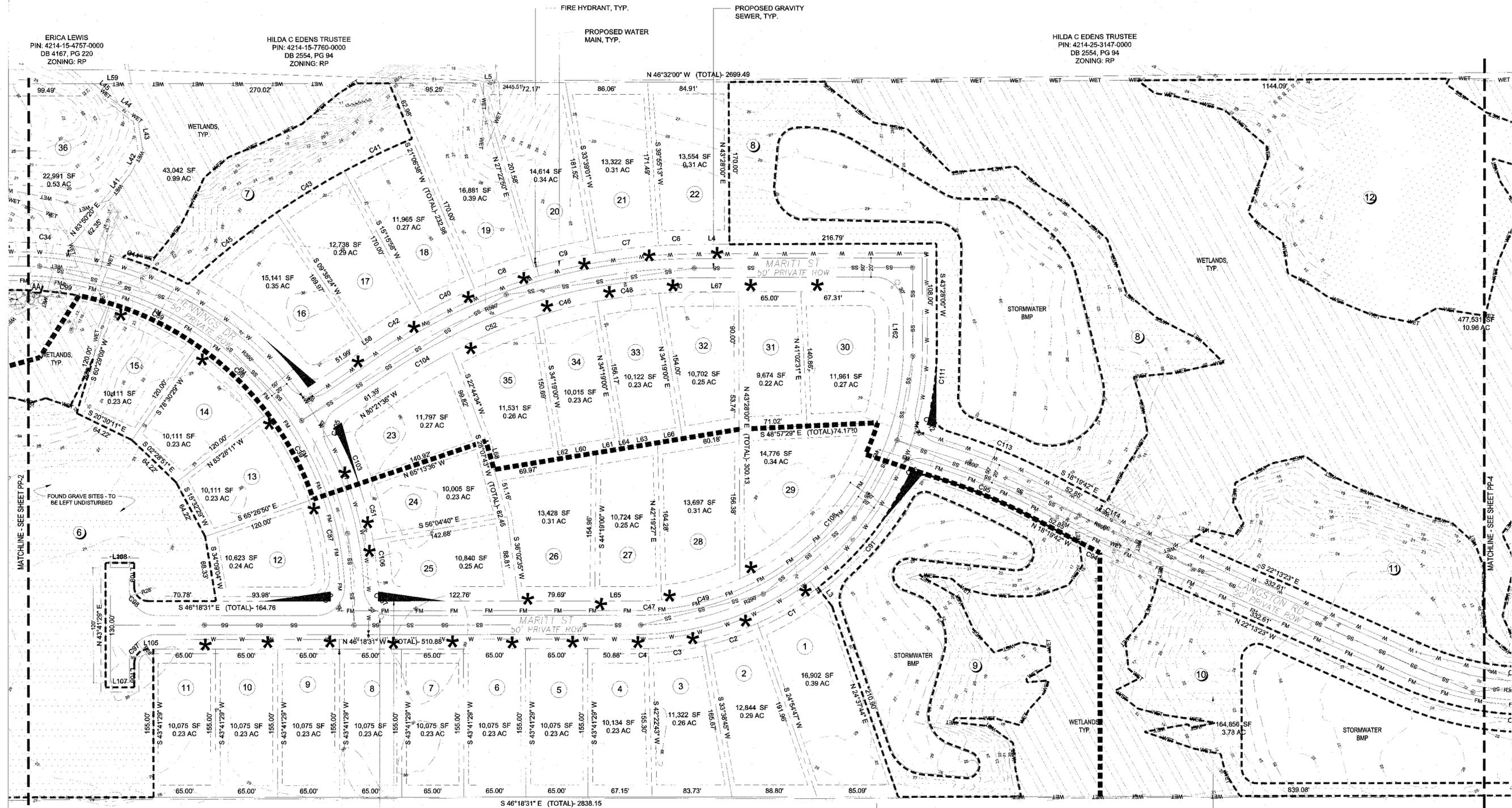
DRAWING INFORMATION:
DATE: 8/16/21
SCALE: AS SHOWN
DRAWN: [Signature]
CHECKED: [Signature]

REVISIONS:
REV PER STAFF COMMENTS
07/11/21

CLIENT INFORMATION:
EDENS LANE, LLC
60 GREGORY ROAD, SUITE 1
BELLEVILLE, NC 28841

SEAL:
NORTH CAROLINA PROFESSIONAL ENGINEER
028847
MOTY G. CLIVICKS
07/11/21

PP-2
PEI JOB#: 20178.PE



ERICA LEWIS
PIN: 4214-15-4757-0000
DB 4167, PG 220
ZONING: RP

HILDA C EDENS TRUSTEE
PIN: 4214-15-7760-0000
DB 2554, PG 94
ZONING: RP

HILDA C EDENS TRUSTEE
PIN: 4214-25-3147-0000
DB 2554, PG 94
ZONING: RP

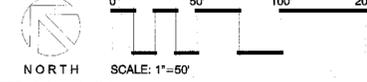
J.L MORRIS ENTERPRISES
PIN: 4204-95-5947-000L
DB 1089, PG 274
PB 22, PG 39
ZONING: GB

10' x 70' SIGHT
TRIANGLE, TYP.
STREETLIGHT, TYP. REFER
TO STREETLIGHT NOTES,
SHEET PP-1

PASSIVE OPEN SPACE, TYP.
-SEE SHEET PP-1 FOR
LEGEND

SEE SHEET PP-2 FOR LINE TABLES

Certification of Submission
A copy of this plan has been submitted, approval is subject to review; this does not constitute an approval.
Pender County Utilities: *[Signature]* Date: 9/26/11
Pender County Environmental Health: *[Signature]* Date: 9/26/11
Pender County Addressing Coordinator: *[Signature]* Date: 9/26/11
Pender County Fire Marshal: *[Signature]* Date: 9-23-11
Certificate of Preliminary Plat Approval
Preliminary Plat Approval by Pender County for a period of two (2) years subject to the Pender County
Unified Development Ordinance requirements and conditions of approval.
Planning Staff: *[Signature]* Date: 9/14/11



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:
REV PER STAFF COMMENTS

CLIENT INFORMATION:
EDENS LANE, LLC
60 GREGORY ROAD, SUITE 1
BELVILLE, NC 28451

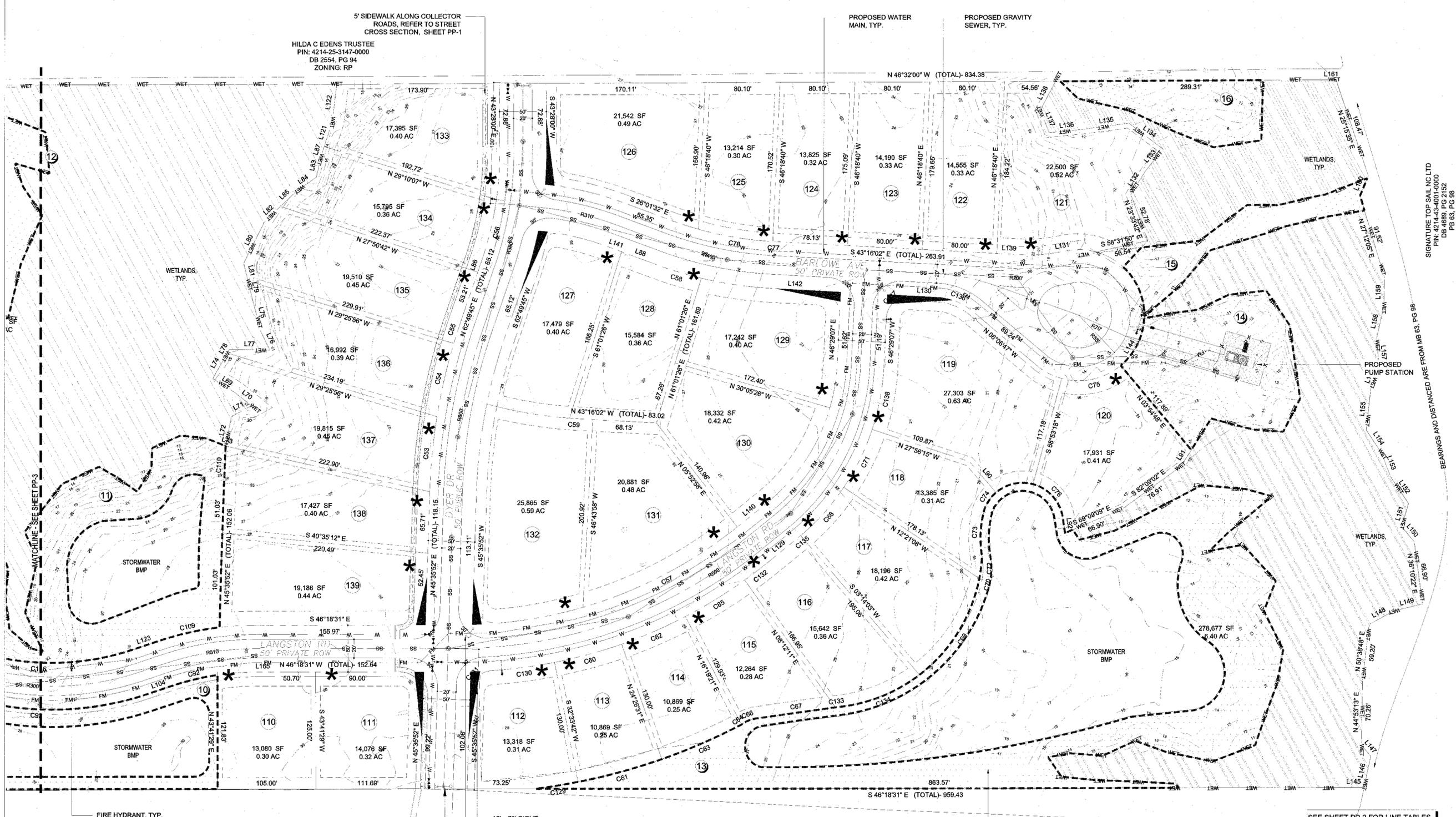
PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2946

PRELIMINARY PLAT
BRIDGEWATER LANDING
TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONSTRUCTION:
DRAWING INFORMATION
DATE: 9/26/11
DESIGNED: *[Signature]*
DRAWING CHECKED: *[Signature]*

SEAL
NORTH CAROLINA
PROFESSIONAL
ENGINEER
10717 G. CLINE
028847
07/11/21

PP-3
PEI JOB#: 20178.PE



5' SIDEWALK ALONG COLLECTOR ROADS, REFER TO STREET CROSS SECTION, SHEET PP-1
 HILDA C EDENS TRUSTEE
 PIN: 4214-25-3147-0000
 DB 2554, PG 94
 ZONING: RP

PROPOSED WATER MAIN, TYP.
 PROPOSED GRAVITY SEWER, TYP.

SIGNATURE TOP SAIL NCL LTD
 PIN: 4214-43-4001-0000
 DB 4689, PG 2152
 PB 63, PG 89
 ZONING: RP

BEARINGS AND DISTANCES ARE FROM MB 63, PG 96

PROPOSED PUMP STATION

FIRE HYDRANT, TYP.

J.L MORRIS ENTERPRISES
 PIN: 4204-95-5947-000L
 DB 1089, PG 274
 PB 22, PG 39
 ZONING: GB

10' x 70' SIGHT TRIANGLE, TYP.
 STREETLIGHT, TYP. REFER TO STREETLIGHT NOTES, SHEET PP-1

J.L MORRIS ENTERPRISES
 PIN: 4214-23-2291-0000
 DB 3362, PG 88
 ZONING: GB

PASSIVE OPEN SPACE, TYP. - SEE SHEET PP-1 FOR LEGEND

CHAIN AND BOLLARDS INSTALLED AT END OF PHASE OF ROAD; TO INCLUDE SIGN INDICATING FUTURE ROAD CONNECTION; TO BE COORDINATED WITH PENDER CO. FIRE MARSHAL

SEE SHEET PP-2 FOR LINE TABLES

Certificate of Submittal
 A copy of this plat has been submitted; approval is subject to review; this does not constitute an approval.

Pender County Utilities: *[Signature]* Date: 8/15/2021
 Pender County Environmental Health: *[Signature]* Date: 8/15/21
 Pender County Addressing Coordinator: *[Signature]* Date: 8/15/21
 Pender County Fire Marshal: *[Signature]* Date: 8-3-21

Certificate of Preliminary Plat Approval
 Preliminary Plat Approval by Pender County for a period of two (2) years subject to the Pender County Unified Development Ordinance (regulations and conditions of approval).

Planning Staff: *[Signature]* Date: 8/15/2021

0 50 100 200
 NORTH SCALE: 1"=50'

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:
 REV PER STAFF COMMENTS

PARAMOUNT ENGINEERING, INC.

PRELIMINARY PLAT
 BRIDGEWATER LANDING
 TOPSAIL TOWNSHIP
 PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 PRELIMINARY LAYOUT:
 RELEASED FOR CONSTRUCTION:
 DRAWING INFORMATION
 DATE: 8/15/21
 DRAWN: [Signature]
 CHECKED: [Signature]
 DESIGNED: [Signature]
 DATE: 8-3-21



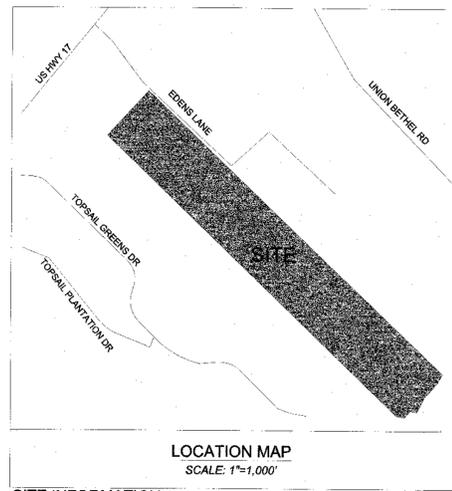
PP-4

PEI JOB#: 20178.PE

CLIENT INFORMATION:
 EDENS LANE, LLC
 60 GREGORY ROAD, SUITE 1
 BELVILLE, NC 28451

122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2946

07/11/21



SITE INFORMATION
 APPLICANT INFORMATION: LOGAN DEVELOPERS
 60 GREGORY RD, SUITE 1
 BELVILLE, NC 28451

OWNER: EDENS LANE, LLC
 60 GREGORY RD, SUITE 1
 BELVILLE, NC 28451

CURRENT LAND USE: VACANT LAND

CAMA LAND USE PLAN DESIGNATION: LOW DENSITY RESIDENTIAL/COASTAL RESIDENTIAL

EXISTING ZONING: RP
 PROPOSED ZONING: RP

PIN: 4214-14-4919-0000 (86.18 ACRES)

TOWNSHIP: TOPSAIL

DEED BOOK/PAGE: 4683/103

PROPOSED USE: SFD - SINGLE FAMILY DWELLING
 DETACHED CONVENTIONAL (SEC. 4.15.1)

TOTAL NEIGHBORHOOD SITE AREA: ±86.40 ACRES
 THIS SITE PART OF MDP 2020-24 &
 SUBMAJ 2020-52

DIMENSIONAL REQUIREMENTS

DIMENSION (LID OPTION): 9,000 SF

MINIMUM LOT SIZE: 60,000 SF

MAXIMUM LOT SIZE: 15' MINIMUM

FRONTYARD SETBACK: 5' MINIMUM

SIDEYARD SETBACK: 12.5' MINIMUM

REAR SETBACK: 12.5' MINIMUM

PARKING CALCULATIONS
 CALCULATIONS BASED ON COMMERCIAL - OUTDOOR RECREATION USE CATEGORY

REQUIRED	PROVIDED
ENCLOSED FLOOR AREA (1 SPACE / 500 SF) = 615 SF / 500	2
OUTDOOR USE AREA (1 SPACE / 3,857 SF) = 3,857 SF / 500	8
TOTAL PARKING	10

POOL
 1. AN ENGINEERED SET OF PLANS WILL BE PROVIDED WITH THE BUILDING PERMIT APPLICATION, INCLUDING THE LOCATION FOR THE OUTLET OF POOL BACKWASH

HISTORICAL & ARCHAEOLOGY NOTES
 1. NO KNOWN HISTORIC OR ARCHEOLOGICAL SITES EXIST ON ANY OF THE SUBJECT PARCELS.

FLOODPLAIN NOTES
 1. THIS PARCEL IS IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA, ACCORDING TO FEMA FLOOD PANELS 3720320400J AND 3720329200J WITH AN EFFECTIVE DATE OF FEBRUARY 16, 2007.

UTILITIES
 1. ALL WATER UTILITIES WILL BE COORDINATED WITH PENDER COUNTY ENGINEERING & UTILITIES; AND SEWER UTILITIES WILL BE COORDINATED WITH PLURIS.

PLANTING NOTES:
 1. ALL PLANT BEDS SHALL RECEIVE PINE STRAW MULCH 3" DEPTH MIN. - 4" DEPTH MAX
 2. ALL SEEDED AND DISTURBED AREAS OUTSIDE OF MULCH AREAS SHALL RECEIVE SEED COVERAGE AT 98% WITH BERMUDA 'BLACKJACK'

FIRE DEPARTMENT NOTES
 1. KNOX BOX SHALL BE MOUNTED ON THE FRONT OF THE AMENITY BUILDING
 2. NFPA 704 SIGNAGE SHALL BE PROVIDED ON FRONT SIDE OF POOL ROOM
 3. RADIO COMMUNICATION SHALL BE COORDINATED WITH THE FIRE MARSHAL'S OFFICE

LANDSCAPE NOTES:
 1. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 2. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
 3. ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
 4. NO TREE, OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
 5. ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
 6. PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 7. ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.

PLANT SCHEDULE AMENITY

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	8	Magnolia g. 'Little Gem' Dwarf Southern Magnolia	4' HT
	14	Quercus nuttalli Nuttall Oak	2" cal

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER
	40	Ilex vomitoria 'Nana' Dwarf Yaupon	3 gal

BUFFER A1 CALCULATIONS
 REQUIRED: (3) CANOPY TREE AND (2) UNDERSTORY TREES PER 100'

BUFFER TYPE	LINEAR FT.	CANOPY TREES (3/100')	UNDERSTORY TREES (2/100')
A1	398'	12 (3/100')	8 (2/100')

TRIP GENERATION CALCULATIONS

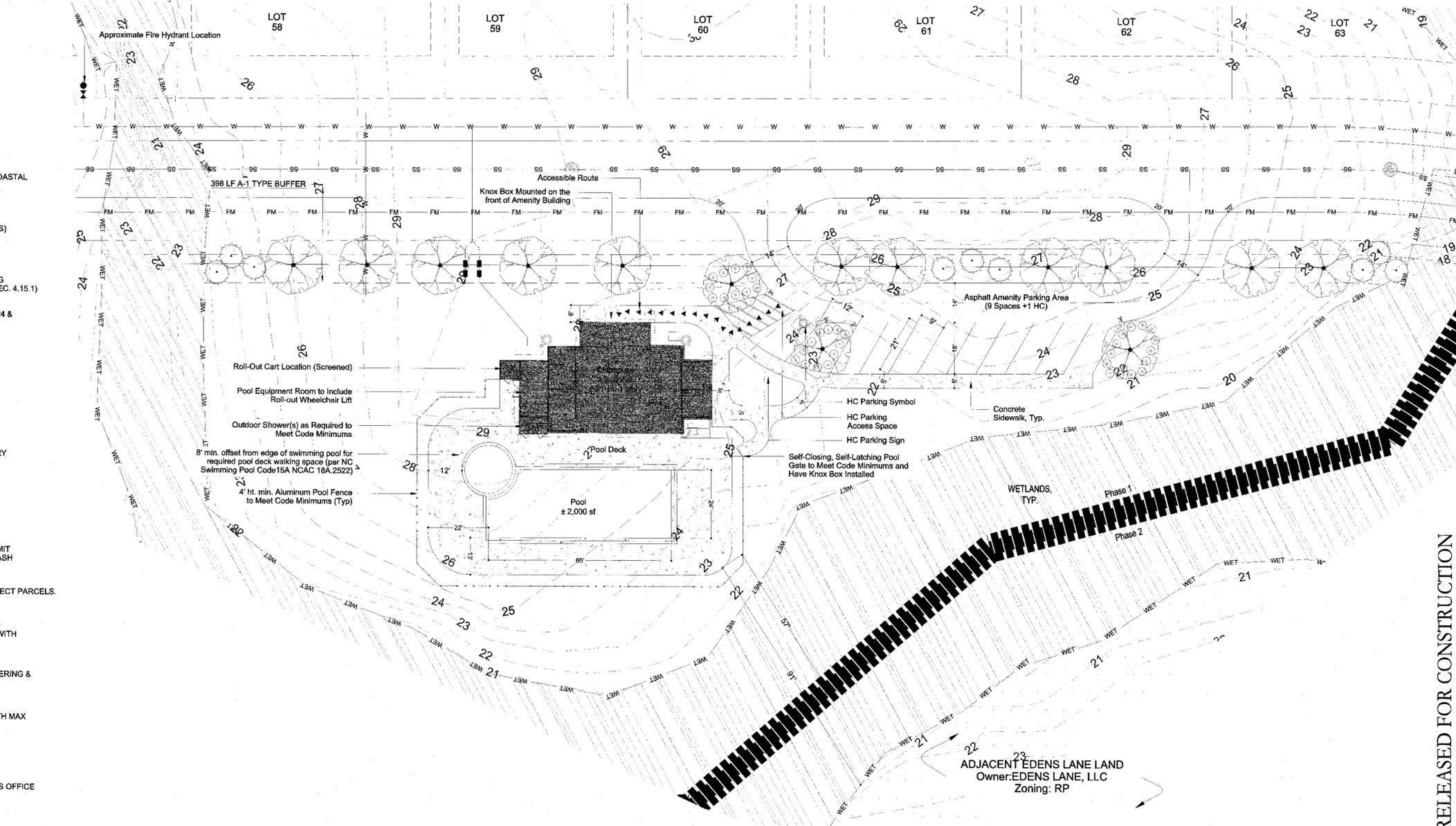
Use: Residential
 Land Use Code: 240
 Number of Dwelling Units: 140

Weekday: $L_n(T) = 0.92L_n(X) + 2.71$
 $T = 1445$ Avg.VTE

Weekday Peak AM: $T = 0.70(X) + 9.43$
 $T = 110$ Avg.VTE

Weekday Peak PM: $L_n(T) = 0.80L_n(X) + 0.53$
 $T = 148$ Avg.VTE

THIS PROJECT HAS AN APPROVED TIA; REFERENCE TIA FOR COMPLETE INFORMATION



- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELED GROUND.
- IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDED.
- ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 30" TO 10'.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.



REVISIONS: REV PER STAFF COMMENTS

CLIENT INFORMATION: EDENS LANE, LLC
 60 GREGORY ROAD, SUITE 1
 BELVILLE, NC 28451

PARAMOUNT ENGINEERING & ARCHITECTURE
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

MAJOR SITE PLAN
 BRIDGEWATER LANDING
 TOPSAIL TOWNSHIP
 PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 PRELIMINARY LAYOUT:
 RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
 PENDER COUNTY UTILITIES: [Signature] Date: 8/6/21
 PENDER COUNTY ENVIRONMENTAL HEALTH: [Signature] Date: 7/14/21
 PENDER COUNTY ADDRESSING COORDINATOR: [Signature] Date: 7/14/21
 PENDER COUNTY FIRE MARSHAL: [Signature] Date: 6-3-21

APPROVED BY PENDER COUNTY LAND-USE DEVELOPMENT ORDINANCE ADMINISTRATOR:
 SIGNATURE: [Signature]
 DATE: 8/15/2021

SEAL: NORTH CAROLINA PROFESSIONAL SEAL 028847
 TOWNSHIP ENGINEER
 TOWNSHIP ENGINEER
 07/11/21

SCALE: 1"=20'

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

MSP
 PEI JOB#: 20178.PE