

Pender County Planning and Community Development

Planning Division

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Application Information Heritage Roofing & Sheet Metal Major Site Development Plan

Case Number: SDP-2026-551

Application Type: Major Site Development Plan

Applicant: Bluewater Engineering, PLLC / Andrew Isenhour, PE

Owner: Heritage Roofing & Sheet Metal, LLC

Location: Approximately 1,810 feet south from the Southeastern intersection of Carver Dr and Complex Rd Drive in the Rocky Point Township.

Property ID #(s): 3223-83-4683-0000

Description: Major Site Development Plan to allow the construction of a 6,645 sq. ft. building for a roofing contract operation.

Total Property Acreage: 1.60 acres disturbed out of 19.57 total acres.

Current Zoning: GI, General Industrial

Application Materials

Application
Narrative
Site Plan

SDP 2026-551

Application

Pender County Planning and Community Development

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Major Site Development Plan Submission

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

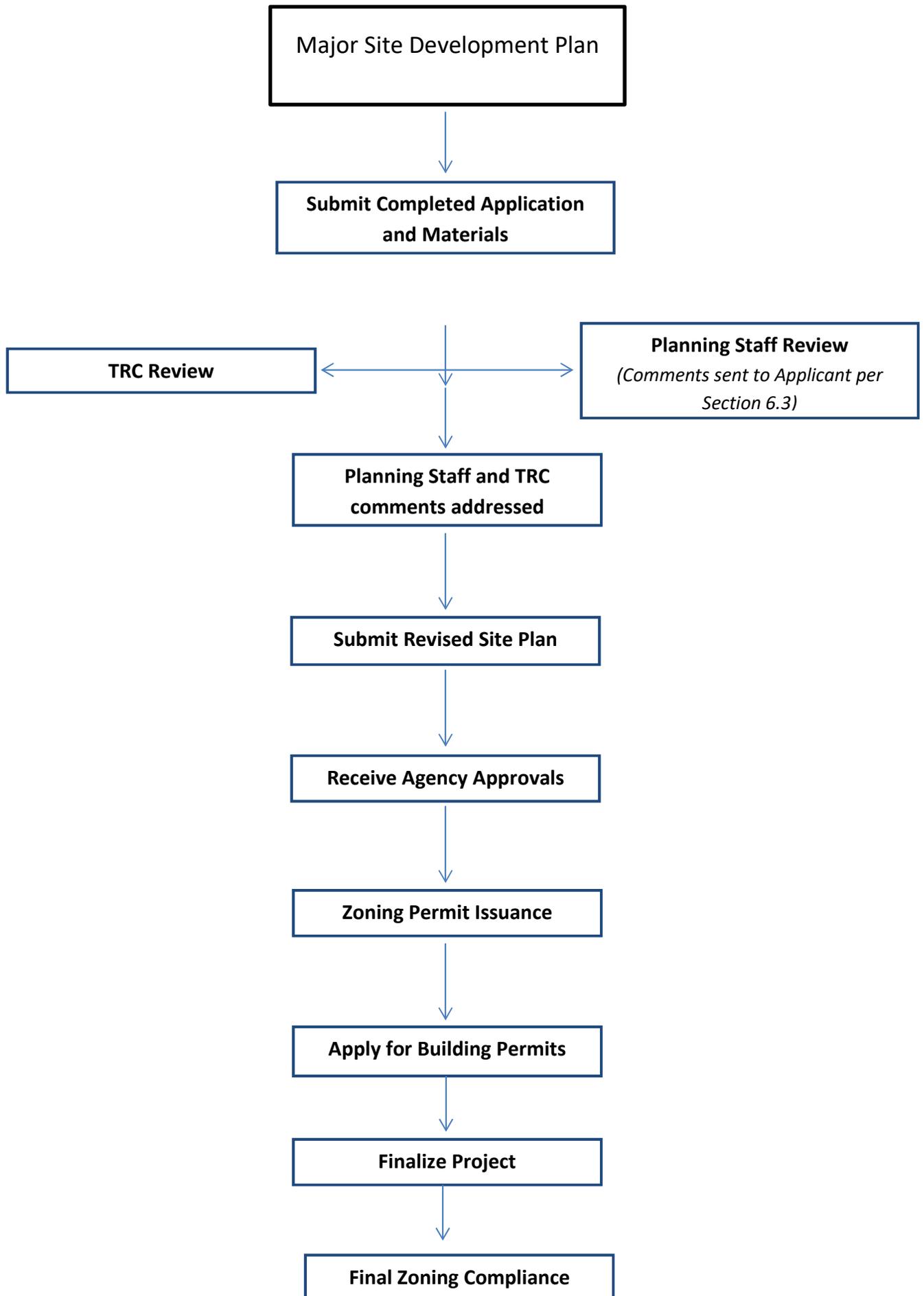
1. _____ **Signed Application**
2. _____ **Payment**
Invoice for \$250 application fee and initial stormwater review fee of \$400 will be generated upon receipt of application for online payment. **Do not include check with application.** Subsequent stormwater reviews will be charged at \$200 per review at time of resubmission.
3. _____ **Paper Plan Sets**
One (1) 24 x 36, Two (2) 11 x 17
4. _____ **Digital Submission**
For all documents submitted in paper copy, provide a digital version. These may be emailed or uploaded to a share folder. **Physical media such as CD or USB drives will not be accepted.**
5. _____ **List of Property Owners Within 500'**
A numbered list of names and addresses, as obtained from the county tax listings and tax abstract, **including the applicant, the owner, and owners of all properties** located within 500-feet of the perimeter of the project bounds as obtained from the county tax listings and tax abstract. Instructions to obtain list of addresses available on Pender County's website on the Planning and Community Development page.
6. _____ **500' Buffer Property Envelopes**
The applicant shall provide a set of business envelopes **addressed to the applicant, the owner, and each of the owners of all properties** located within 500-feet of the perimeter of the project bounds and accompanied with first class postage adhered. Do not include return address or company branding on envelopes.
7. _____ **Permits**
Include any permits issued on the project including but not limited to: environmental, traffic, utility, or site specific conditions.
8. _____ **Site Plan Requirements**
A prepared site plan in accordance with the Unified Development Ordinance standards Section 6.3, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.
(See Major Site Development Checklist)

I certify that all information presented in this application is accurate to the best of my knowledge.

Signature of Applicant _____

Date _____

Printed Name _____



Specific requirements can be found in Section 6.3 of the Pender County Unified Development Ordinance

Major Site Development Plan Specific Requirements

1. Major Site Development Application Submittal

- Site Plan (per Section 6.3)
 - Scale
 - North Arrow
 - All property information (zoning, setbacks, PIN #)
 - Adjacent property info (owner, zoning, use, PIN #)
 - References to any previously approved plans
 - Utility providers
 - All existing and proposed structures
 - Buffering (Section 8.2.6) & Landscaping (8.3)
 - Parking (Section 7.10)
 - Lighting
 - Cross Access Connections (Section 7.4.4)
 - AM/PM Peak Hour Trip Calculations (TIA required with 100 AM/PM trips or >1,000 trips per day)
 - Soil Erosion and Sedimentation Control Plan
 - Location of all environmental features
 - Stormwater management features
 - Proposed accesses, easements, streets, and sidewalks
- Permits received

2. TRC Meeting

- Site Plan Review
- Agency comments/requirements

3. Post-TRC Meeting

- Submit site plan with revisions
- Receive agency approvals
- Forward all agency approvals to Planning Staff.

4. Approval of Site Plan

- All TRC comments and agency requirements addressed
- Zoning approval allows for building permit process to begin
- Apply for building permits

5. Final Zoning

- Site Visit to check the following:
 - Landscaping
 - Buffering
 - Parking

Pender County Planning and Community Development

Planning Division
805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

MAJOR AND MINOR SITE DEVELOPMENT APPLICATION

| SECTION 1: GENERAL INFORMATION | | | |
|--|---|----------------------------------|-------------------------------------|
| Applicant's Name: | Bluewater Engineering, PLLC Andrew Isenhour, PE | Property Owner's Name: | Heritage Roofing & Sheet Metal, LLC |
| Applicant's Address: | 1311 Johns Creek Rd | Property Owner's Address: | 634 Old Swann Point Ave |
| City, State, & Zip | Wilmington, NC 28409 | City, State, & Zip | Rocky Point, NC 28457 |
| Phone Number: | [REDACTED] | Phone Number: | Ryan Hill [REDACTED] |
| Email Address: | [REDACTED] | Email Address: | [REDACTED] |
| Legal relationship of applicant to landowner: | Contracted for Land Development Services through Blackburn Building and Land Development, INC. | | |
| SECTION 2: PROJECT INFORMATION | | | |
| PIN (Property Id #): | 3223-83-4683-0000 | Total property acreage: | 19.57 |
| Zoning: | GI - General Industrial | Acreage to be disturbed: | 1.60 Acres |
| Water Provider: | Well | Wastewater Provider: | Septic |
| Directions to Site: | South on Complex approx 0.47 miles | Township: | Rocky Point |
| Road Type: | Public/Private/Both | | |
| Sq Ft of Building: | 6,645 | Building Height: | |
| Setbacks | Front: 50 | Side: 25 | Rear: 25 |
| NAICS Code/Use: | | | |
| Business Name: | Heritage Roofing & Sheet Metal, LLC | | |
| Describe activities to be undertaken on project site: | Roofing Contract operations and staging with light sheet metal fabrication to support the roofing business. | | |
| | | | |

| SECTION 5: SIGNATURES | | | |
|---------------------------------|-----------------|--------------|-----------|
| Applicant's Signature | | Date: | 1-28-2026 |
| Applicant's Name Printed | Andrew Isenhour | Date: | |
| Owner's Signature | | Date: | 1-29-2026 |
| Owner's Name Printed | Ryan Hill | Date: | 1-29-2026 |

SDP 2026-551

Narrative



**Pender County TRC
&
NCDEQ Stormwater & S&EC Report**

Heritage Roofing

PID: 3223-83-4683-000
Complex Rd
Rocky Point, NC 28457

Property Owner - Permittee:
Heritage Roofing & Sheet Metal, LLC
Ryan Hill
634 Old Swann Point Ave
Rocky Point, NC 28457

February 6th, 2026

February 6th, 2026

Table of Contents

| | |
|--|----------|
| 1.0 INTRODUCTION | 3 |
| 2.0 SITE PLAN | 3 |
| 3.0 STORMWATER and SEDIMENT & EROSION CONTROL | 4 |



February 6th, 2026

1.0 INTRODUCTION

The Heritage Roofing project is located along Complex Rd with an address to be determined and a Pender County Parcel ID of 3223-83-4683-000. The overall site consists of an undeveloped, partially wooded parcel of approximately 19.57 acres. The site has various blocks of trees, dirt access roads and drainage ditches. The current owner of the property has already obtained the attached septic and well permits for the property and their desired structure. The area of the parcel which is proposed for the structure is located along the Southern boundary with Complex Rd in an open, mostly grassy field. Only selective trees are proposed to be removed and the septic and well outlined in the attached permits are already installed and shown on the plans.

The proposed structure is a prefab metal building with paved parking spaces and gravel drives to be able to handle articulated flat bed and semi-truck deliveries.

2.0 SITE PLAN

During the site plan development, the structure was laid out based on the lack of trees and providing ample room for delivery trucks to travel the site in a one way direction. The intent is to have delivery trucks enter the Northern entrance, travel along the gravel drive and then be offloaded adjacent to the roll up doors on the Northeast side of the building. All activities onsite will be for the roofing business for either deliveries, office personnel, equipment staging and light sheet metal fabrication for their roofing installs.

The site plan shows the front building setback of 50', both side setbacks of 25' and a rear setback of 25'. The 20' Streetyard Buffer Type "D" is outlined and shown with landscaping on the site plan. Both sides and rear of the property has existing, full opacity buffering, which will be kept in place and intending to serve at the type "D" side and rear buffers. Chain link fencing is also existing and proposed to remain in place for the development.



February 6th, 2026

3.0 STORMWATER and SEDIMENT & EROSION CONTROL

The proposed S&EC plan consists of silt fence being located along the entire perimeter of the grading area with a 20'x50' temporary construction entrance location at the Northern and Southern driveways. All S&EC measures shall be constructed prior to any land disturbance efforts taking place, shall be maintained through the entirety of the site development and will only be removed once permanent seed and soil stabilization is established.

Stormwater is proposed as a sheet flow, non-point source development where the building will shed water without the use of gutters and only door opening diverters will be installed. The water will then sheet flow off the proposed gravel drive and dissipate to the adjacent woods and existing water paths. Since the overall development is of only approximately 9.9% impervious coverage, the site is being proposed as a low-density development without a stormwater device due to such low impervious impacts.



Soil Profile 1,3,4

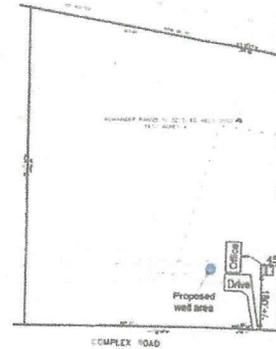
- 0-10" Very dark grayish brown (10YR 3/2) loamy sand, granular, very friable, non-expansive.
- 10-14" Dark brown (10YR 3/3) loamy sand, granular, very friable, non-expansive.
- 14-26" Light yellowish brown (10YR 6/4) loamy sand, granular, very friable, non-expansive with brownish yellow (10YR 6/8) mottles at 26".
- 26-42" Dark grayish brown (10YR 4/2) loamy sand, granular, very friable, non-expansive with brownish yellow (10YR 6/8) and grayish brown (10YR 5/2) mottles.

Soil wetness condition: 28"; LTAR 0.8

Soil Profile 2

- 0-6" Very dark grayish brown (10YR 3/2) loamy sand, granular, very friable, non-expansive.
- 6-12" Very dark brown (10YR 2/2) loamy sand, granular, very friable, non-expansive.
- 12-28" Brownish yellow (10YR 6/6) loamy sand/sandy loam, granular, very friable, slightly expansive with brownish yellow (10YR 6/8) mottles at 28".
- 28-42" Dark yellowish brown (10YR 4/6) sandy loam/loamy sand, sub-angular blocky, friable, slightly expansive with brownish yellow (10YR 6/8) and grayish brown (10YR 5/2) mottles.

Soil wetness condition: 28"; LTAR 0.8-0.6



Scale: 1" = 400'

● Soil Boring Location

Ditch (approximate)

| Classification | S | PS | U |
|-----------------------------|---|----|---|
| Landscape/Slope (1940) | x | | |
| Soil Characteristics (1941) | x | | |
| Soil Wetness (1942) | | x | |
| Soil Depth (1943) | x | | |
| Rest. Horizon (1944) | x | | |
| Avoid Space (1945) | x | | |
| Other Factors (1946) | x | | |
| Site Class (1948) | | x | |



System Specifications

Office/Workshop
 12 employees @ 25 gal/employee
 300 gal/day
 LTAR 0.6 gal/day/sq.ft.

Initial: 1,000 gallon septic tank (ST)
 1,000 gallon pump tank (PT)
 750 Sq Ft. Low profile chamber bed system
 21' x 36' Bed dimensions
 Trench bottom depth 8"; requires additional soil cover

Repair: 750 Sq Ft. Low profile chamber bed system
 21' x 36' Bed dimensions
 Trench bottom depth 8"; requires additional soil cover



17 January 2023

Notes:

1. Site was Evaluated using hand augers in accordance with 15A NCAC 18A. 1900 regulations and is submitted in accordance G.S 130A336.2.
2. Pre-construction conference shall be held between the Licensed Installer and the Licensed Soil Scientist of record to ensure proper location and installation depth.
3. Inspection by Licensed Soil Scientist to be done prior to covering any part of system.
4. Domestic strength wastewater only. Water usage in excess of 80% of daily design flow shall be considered excessive.
5. Wastewater system and repair areas shall be protected from traffic and/or any other disturbance during all phases of construction. No removal of mineral soil
6. Surface water shall be directed away from system area through landscaping and use of gutters on home.
7. Benchmark elevations should be set prior to construction of home to ensure gravity flow to system area.
8. Site may qualify for other system types.
9. Issuance of this permit does not supercede authorizations or permits from other permitting agencies. It is the responsibility of the owner to conform to all other applicable permitting authority.
10. Permit does not constitute a guarantee of performance or warranty of any kind.
11. Additional costs will be incurred for pre-construction meeting, inspections, and post-construction meeting.
12. System shall be installed in accordance with manufacturer's specifications.

Map adapted from survey by Cape Fear Surveying, dated June 2, 2017

| | | | | |
|--|--|---------------|---------------|--------------|
| <p>Applied Resource Management, P.C. Hampstead, NC 28443</p> | TITLE: Complex RD Pender County, NC | | | FIGURE: 1 |
| | JOB: 220765 | SCALE: 1"=50' | DATE: 1/17/23 | DRAWN BY: GY |

**INVOICE (00031640)
FOR PENDER COUNTY**

BILLING CONTACT
Heritage Roofing & Sheet Metal LLC



| INVOICE NUMBER | INVOICE DATE | INVOICE DUE DATE | INVOICE STATUS | INVOICE DESCRIPTION |
|----------------|--------------|------------------|----------------|---------------------|
| 00031640 | 02/28/2023 | 02/28/2024 | Due | NONE |

| REFERENCE NUMBER | FEE NAME | TOTAL |
|------------------|-----------------------|----------|
| EHLSS-00322-2023 | [PM] EH LSS Operation | \$150.00 |
| SUBTOTAL | | \$150.00 |

| REMITTANCE INFORMATION |
|---|
| Pender County P.O. Box 1519 805 S. Walker St. Burgaw, NC 28425 Burgaw: 910-259-1202 |

TOTAL \$150.00

NCLSS: #1274
AWOE: #10008E
Walter Giese, LSS, REHS, AOWE
Applied Resource Management, P.C



910-270-2919
www.armnc.com
PO Box 882, Hampstead NC 28443

Owners Acceptance of Wastewater System

I, Heritage Roofing & Sheet Metal, LLC (Owner), accept the system as designed by

Walter D. Giese (AOWE), and installed by

Ryan Campbell - ARM (Contractor) installed at

Complex Rd, Pender County; PIN 3223-83-4683 (Location)

Heritage Roofing & Sheet Metal LLC
By Ryan Hill Managing member
Owner

06/02/2023
Date

NORTH CAROLINA NOTARY ACKNOWLEDGMENT

THE STATE OF NORTH CAROLINA

COUNTY OF New Hanover

Melissa K. Shaben, Notary Public, do hereby certify that

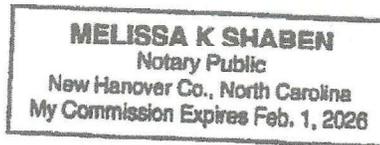
Ryan Mason Hill personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal this 2 day of June, 2023

Melissa K. Shaben
Notary Public Signature

Print Melissa K. Shaben

My commission expires: 2-1-2026



PART 3: Authorization to Operate (ATO)

Except for data received, the Section below is to be completed by the Owner.

| |
|---|
| LHD USE ONLY: Initial submittal of request for ATO received: _____ by _____ <small>Date Initials</small> |
| Date of Post-construction Conference: _____ |

The following items are included in this submittal for an Authorization to Operate under an AOWE permit:

- Signed and sealed copy of the AOWE's report that includes the information in G.S. 130A-336.2(k) Yes No
- Operation and management program Yes No
- Fee (as applicable) Yes No
- Notarized letter documenting Owner's acceptance of the system from the AOWE Yes No
- On-site Wastewater Contractor name: Ryan Campbell - ARM License number: 5102
Mailing address: 257 Transfer Station Rd City: Hampstead State: NC Zip: 28443
Telephone number: 910-270-2919 E-mail Address: ryan@armnc.com
- Proof of Errors and Omissions or other appropriate liability insurance for the On-site Wastewater Contractor is attached and includes the name of the insurer, name of the insured, and the effective dates of coverage.
 Yes No

Attestation by the Owner for Authorization to Operate

I, Heritage Roofing & Sheet Metal, LLC Print name of Owner hereby attest that all items indicated above have been provided to the Pender County LHD and the system shall meet applicable federal, State, and local laws, regulations, rules, and ordinances.

Heritage Roofing & Sheet Metal, LLC Ryan Campbell Signature of Owner 06/01/23 Date
managing member
This section for LHD Use Only.

LHD Review of required information for the ATO

INCOMPLETE
Based upon review of information submitted in the Section above, the following items are missing from the information required for an Authorization to Operate for an AOWE permit: _____

Copies of this signed form were sent to the AOWE and the Owner on _____ via _____
Date Email, FAX, USPS, Hand-delivered

Print name of authorized Agent of the LHD Signature of authorized Agent of the LHD Date

COMPLETE
Based upon review of information submitted in the Section above, this Authorization to Operate is hereby issued in accordance with G.S. 130A-336.2(m).

A copy of this complete NOI/ATO with tracking information was sent to the State on _____ via _____
Date Email, FAX, USPS, Hand-delivered

Print name of authorized Agent of the LHD Signature of authorized Agent of the LHD Date

ISSUANCE OF CERTIFICATE OF OCCUPANCY: Once the LHD determines completeness based upon the ATO submission, the owner may apply to the local permitting agency for permanent electrical service to a residence, place of business or place of public assembly pursuant to G.S. 130A-339.

On-site Wastewater Contractor's Statement

Date: 5/31/2023

To whom it may concern:

As the on-site wastewater contractor, I verify that the septic system at
(address) Complex Rd, Pender County, PIN 3223-83-4683

was installed according to the AOWE permit. Please let me know if you have any further questions.

Sincerely,

Ryan Campbell

Cert#: 5102 Grade Level: IV

Print name: Ryan Campbell

Company name: Applied Resource Management

Address: 257 Transfer Station Rd, Hampstead, NC 28443

Phone number: 910-270-2919

August 30, 2022

Heritage Roofing & Sheet Metal
Attn: Ms. Terry Hill
634 Old Swann Point Avenue
Rocky Point, NC 28457



Re: Well, Tank, and Potable
Water System Installation
Complex Road
Rocky Point, NC 28457
heritageroofing@ec.rr.com

Ms. Heet, Hill

The following are estimated costs for installing the well and pumping system for the referenced property. The following options are presented for your review. Please initial beside each approved option.

New Well Installation

Initial

Installation of one up to 100' x 4" well into the Pee Dee Aquifer. Properly develop and chlorinate the well, installation of a new sanitary well seal, 1 HP @ 25 gpm stainless steel submersible pump, 44 gallon pressure tank, associated wiring, and discharge T with hose bibb. If requested or required, well depths greater than 100' will be billed at a rate of \$23.00 per foot.

Estimated Well Total \$5,450.00 RH

Option #1 – Pender County Well Permit

Includes Preparation and submittal of a Pender County well construction permit application package. Includes county permit fees.

County Permitting \$620.00 RH

Option #2 – Water Line Installation

Water line installation, if so required connecting to the well system. Includes excavation of the trench, installation of 1 1/4" water line, electric lines, and fittings. Does not include landscaping repair.

Water Line Installation \$19.50 per foot RH

Option #3 - Decorative Well Cover

We can also provide a Dekorra decorative well cover for your convenience to tastefully conceal and protect the well. The large cover will fit over the well and pressure tank setup. The small cover will fit over the well only.

Large Well Cover \$475.00
Small Well Cover \$150.00

50% of proposed total due prior to construction for material costs.
Final invoice will be sent after construction.

Applied Resource Management, P.C.

P.O. Box 882, 257 Transfer Station Road, Hampstead, NC 28443 910.270.2919 Fax 910.270.2988

The above costs are presented with the following assumptions:

1. Ease and accessibility to the well site with the well drill;
2. The understanding that well drilling is conducted with very heavy equipment. Some landscaping, driveway or pavement damage will occur, repair of which is not included within these costs;
3. Well depths greater than the proposed depth will be billed at \$23.00 per foot;
4. The well casing will be PVC. If a cave or salt water is encountered, 8" pressure grouted surface could be required, and would be billed at a rate of an additional \$25.00 per foot;
5. Naturally occurring water quality and quantity is beyond our ability to control. Absolutely no guarantee as to water quality and quantity is expressed or implied;
6. Drinking water wells are chlorinated when pump is installed. Owners are responsible for calling in final inspections to County Health Departments when plumbing and electrical connections are complete;
7. Costs for licensed plumber or electrician are not included, if so required;
8. Permitting activities and fees are not included;
9. Utilities not marked by NC One Call or private irrigation and electric lines are not the responsibility of Applied Resource Management;
10. Price is good for 30 days from date of proposal; and
11. In the unlikely event necessary, collection costs including reasonable attorneys' fees and interest will be paid by the client.

We provide a one year warranty on all work performed. In addition, the pump and tank come standard with a five-year warranty. If you have any questions or require further information, do not hesitate to call.

Sincerely,



Brittany McKay
Well Drilling Project Coordinator

I have reviewed the above Scope of Services and accept it as presented.

Ryan Hill
Signature

8-30-22
Date

Ryan Hill
Print

(910) 619-8293
Phone #

Managing Member
Title

(Please remit a signed and initialed copy to ARM. Thank you.)

Date: 03/31/2023

To Whom It May Concern:

RE: Agent Authorization Letter

I authorize Brittany McKay or any employee of Applied Resource Management, PC to act as an agent on my behalf in all matters dealing with the well permitting.

Sincerely,

Owner Name: Heritage Roofing & Sheet Metal, LLC by Ryan Hill, Managing Member

Property Address: Complex Road

Owner's Signature: Heritage Roofing & Sheet Metal LLC by Ryan Hill, Managing member

Date: 3-31-2023



[Home](#) [Business Registration](#) [Search](#) Limited Liability Company

Limited Liability Company

Actions

- [File an Annual Report/Amend an Annual Report](#)
- [Online Filing](#)
- [Order a Document Online](#)
- [Add Entity to My Email Notification List](#)
- [View Filings](#)
- [Print a Pre-Populated Annual Report form](#)
- [Print an Amended a Annual Report form](#)

Legal name: Heritage Roofing & Sheet Metal, LLC

Secretary of State Identification Number (SOSID): 1429682

Status: Current-Active

Citizenship: Domestic

Date formed: 2/25/2015

Registered agent: [TERRY HILL](#)

Mailing address

634 Old Swann Point Avenue
Rocky Point, NC 28457-7515

Principal Office address

634 Old Swann Point Avenue
Rocky Point, NC 28457-7515

Registered Office address

634 Old Swann Point Avenue
Rocky Point, NC 28457-7515

Registered Mailing address

634 Old Swann Point Avenue
Rocky Point, NC 28457-7515

Company officials

All LLCs are managed by their managers pursuant to N.C.G.S. 57D-3-20.

- **Managing Member**
[Ryan Mason Hill](#)
224 Red Fox Run Drive
Wallace NC 28466
- **Member**
[Walter Rickey Hill](#)
634 Old Swann Point Avenue
Rocky Point NC 28457

[Return to top](#)

Other Agencies

- [NC Gov](#)
- [State Board of Elections](#)
- [North Carolina Birth Certificate Information](#)
- [North Carolina State Bar](#)
- [North Carolina Department of Commerce](#)
- [North Carolina Department of Revenue](#)
- [All North Carolina Government Organizations](#)

Links of Interest

- [National Association of Secretaries of State](#)
- [Intellectual Property](#)
- [NASAA - North American Securities Administrators Association](#)
- [North Carolina Consular Corps](#)
- [Secretary of State Disclaimer & Privacy](#)

Hours of Operation Monday - Friday 8:00 am - 5:00 pm

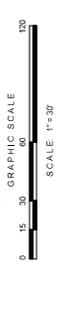
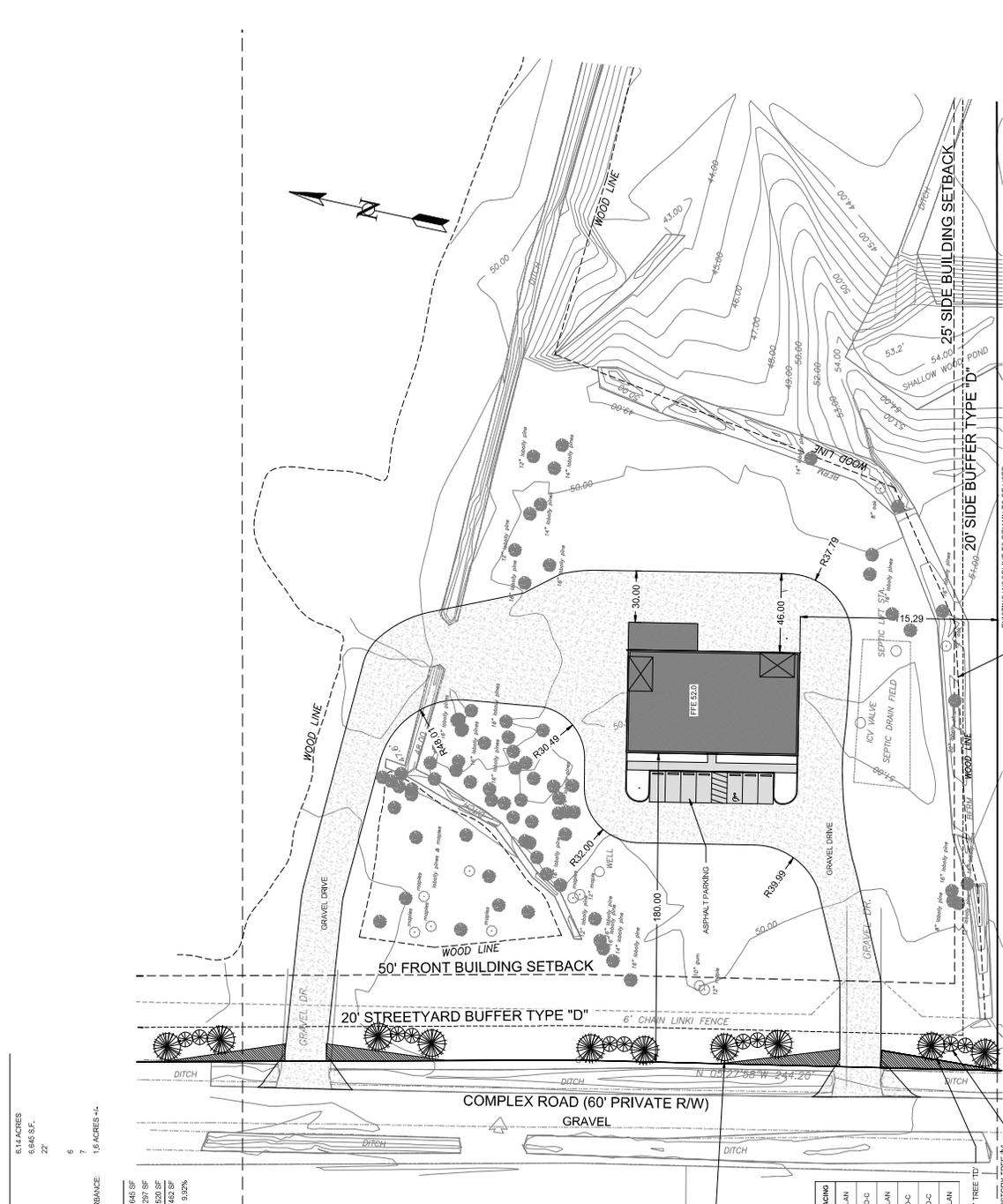


Contact Us

SDP 2026-551

SITE PLAN

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF BLUEWATER ENGINEERING, PLLC AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH BLUEWATER ENGINEERING, PLLC.



EXISTING WOODLINE TO REMAIN TO BE USED FOR BUFFER TYPE TO REMAIN, AT LEAST 20' BUFFER REQUIRED FOR ZONING APPROVAL.

1 SITE EXCERPT
SCALE: 1"=30'

LEGEND:
○ EIP (EXISTING IRON PIPE)
OR EIS (EXISTING IRON STAKE)
— PROPERTY LINE
- - - NON-SURVEYED LINE
- - - R/W (RIGHT OF WAY)

GENERAL NOTES:

FENDER COUNTY PARCEL NO.: 3323-34-688-000
PROJECT TRACT AREA: 19.37 ACRES
ZONING: G1 - GENERAL INDUSTRIAL
50' STREET FRONT SETBACK
25' REAR SETBACK

DEVELOPMENT DATA:

6.14 ACRES TOTAL DEVELOPMENT AREA
6,646 SF. BUILDING COVERAGE
27' MAXIMUM BUILDING HEIGHT
PARKING: 6
MINIMUM REQUIRED: 6
PROVIDED: 6
APPROXIMATE AREA OF DISTURBANCE: 1.0 ACRES ±

IMPERVIOUS COVERAGE:

| | |
|---------------|----------|
| STRUCTURE | 6,646 SF |
| PARKING DRIVE | 1,297 SF |
| SURVEYALS | 500 SF |
| TOTAL | 8,442 SF |
| % IMPERVIOUS | 9.92% |

- SITE DEVELOPMENT NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE FENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE.
 - EXISTING WATER WELL AND SANITARY SEWER SYSTEM ARE CURRENTLY IN PLACE AND BY PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & COUNTY REGULATIONS.
 - ALL UTILITY SERVICES SUCH AS ELECTRIC POWER, CAVY, GAS & TELEPHONE SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY. TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS SHALL CROSS OR CLIMB ANY PROTECTED TREE OR GROVE OF TREES.
 - ADDITIONAL TREE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES OR CHANGES OF SITE DURING THE PROJECT.
 - ALL TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. LAND PROTECTIVE FENCING WITH SIGNS TO BE PLACED EVERY 50' LINEAR FEET, OR AT LEAST TWO (2) PER ACRE.
 - ALL TREE PROTECTION FENCING SHALL RECEIVE ADEQUATE MAINTENANCE THROUGHOUT THE DURATION OF THE PROJECT.
 - WHEN THE USE OF ANY DRIVEWAY HAS BEEN PERMANENTLY ASCERTAINED, REPLACE ALL NECESSARY CURBS, GUTTERS, APPROX. SIDEWALKS AND IMPROVEMENTS THERE TO.

- DEVELOPMENT NOTES:**
- SOILS TYPE (T) (GRANTHAM).
 - THERE ARE NO CONSERVATION OVERLAY BOUNDARIES AFFECTING THIS SITE.
 - THIS SITE IS NOT IMPACTED BY ANY RECOGNIZED HISTORIC OR ARCHAEOLOGICAL SIGNIFICANCE.
 - EXISTING REGULATED VEGETATION HAS BEEN LOCATED AND IS LABELED.
 - THERE IS NO KNOWN EVIDENCE OF JURISDICTIONAL WETLANDS ON THIS PROPERTY.
 - THERE IS NO KNOWN EVIDENCE OF ENDANGERED SPECIES OR HABITAT.
 - ON FRM MAP 37202200K WITH THE EFFECTIVE DATE OF 1-17-2025, THIS PROPERTY IS NOT WITHIN A FLOOD HAZARD AREA AS EVIDENCED BY THE FLOOD HAZARD ZONING MAP.
 - THE SITE DRAINAGE IS TO BE DETERMINED BY THE TURNER GREEN WATERSHED DEVELOPMENT NOTES.
 - DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE FENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE.
 - DEVELOPMENT REVIEW PROCESS: THIS SITE PLAN SHALL BE REVIEWED BY THE FENDER COUNTY PLANNING AND ZONING DEPARTMENT FOR ALL TRC REVIEW.
 - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE AND FENDER COUNTY REQUIREMENTS.
 - ALL UTILITIES SHALL BE DESIGNED IN ACCORDANCE WITH THE FENDER COUNTY DESIGN REQUIREMENTS.
 - SURVEY PROVIDED BY CLIENT AND PERFORMED BY F.W. JONES SURVEYING COMPANY (N.C. LICENSE NO. F-1099), JANUARY 23, 2020. ALL LOTS WITHIN A LOT SIZE ON JANUARY 23, 2020.

PLANT SCHEDULE:

| KEY | NO. | BOTANICAL NAME | COMMON NAME / VARIETY | LANDSCAPE TYPE | SIZE | TYP. SPACING |
|-----|-----|-----------------------|---|------------------|----------|--------------|
| TD | 10 | TAXODIUM DISTICHUM | BALD CYPRESS | CANOPY TREE | 2-4" CAL | PRR PLAN |
| IVN | 19 | ILEX VOMITORIA | DWARF YAWPOH HOLLY 'NANA' | SHRUB | 3.0 GAL | 3IN X 0-C |
| IV | 20 | ILEX VOMITORIA | YAWPOH HOLLY | UNDEVELOPED TREE | 2" CAL | PRR PLAN |
| MC | 6 | MYRTICA CERIFERA | SAVBERY WAX MYRTLE | SCREEN TREE | 7 GAL | 8 FT OC |
| CH | 28 | OSMANTHUS TERENIFOLII | FALSE HOLLY ASSORTED | SCREEN/SHRUB | 3-5 GAL | 8-11 OC |
| SOO | | | TPAWAY 4111 BERMUDA, JANUOR OR EMPIRE ZONSA | PRR PLAN | | |

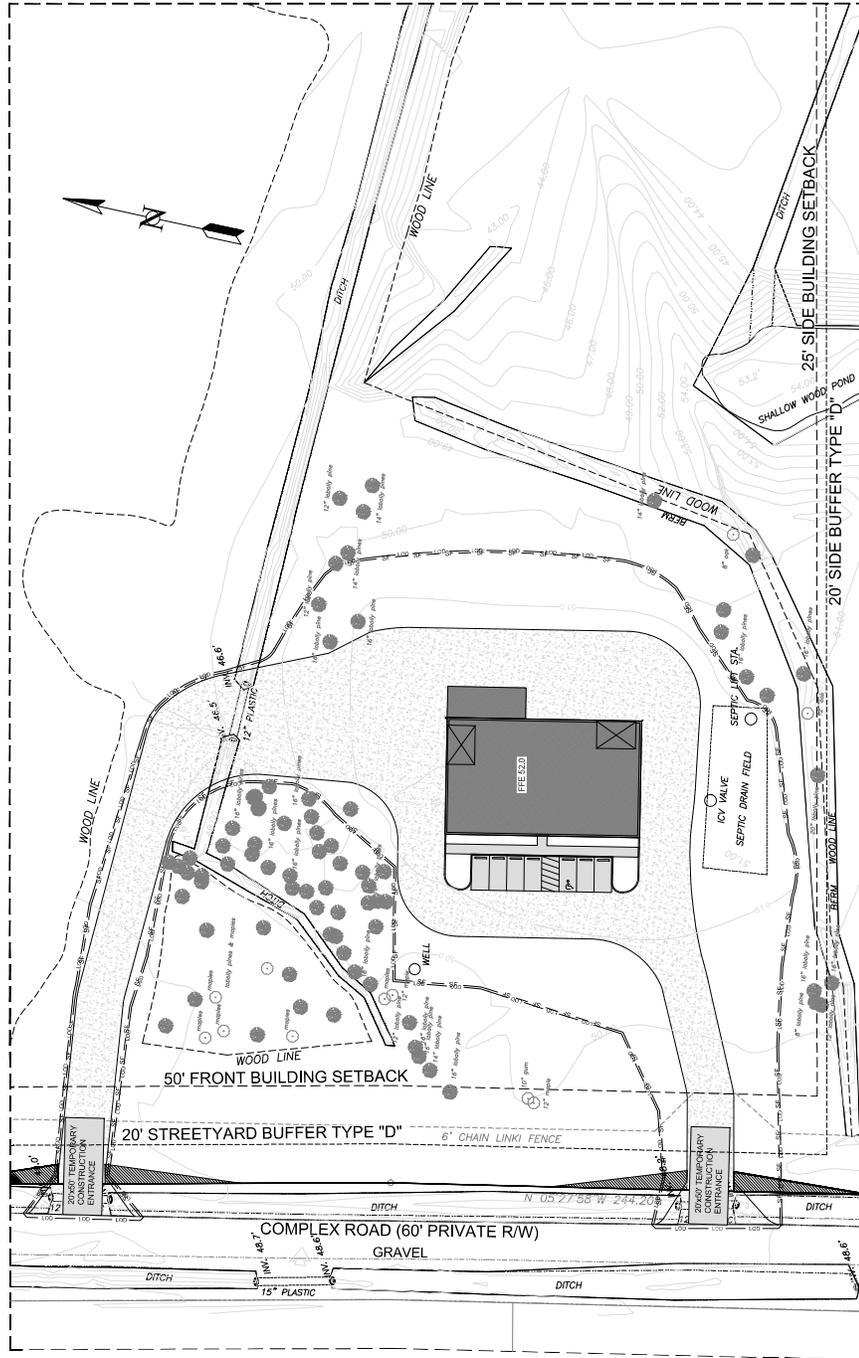
LANDSCAPE REQUIREMENTS: (BY COMPLEX ROAD)
 BUFFER D: 20' (TYP. 10-15)
 BUFFER E: 20' (TYP. 10-15)
 BUFFER F: 20' (TYP. 10-15)

PARKING ISLANDS: 2 CANOPY AND UNDERSTORY TREES PER 100 SF
 UNDERSTORY TREE AND PERIMETER SHRUBS

STREET YARD TREES (TYP)

UNDERSTORY TREE TO UNDERSTORY TREE TD

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF BLUEWATER ENGINEERING, PLLC AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH BLUEWATER ENGINEERING, PLLC.



1 SEDIMENT & EROSION CONTROL
Scale: 1"=30'

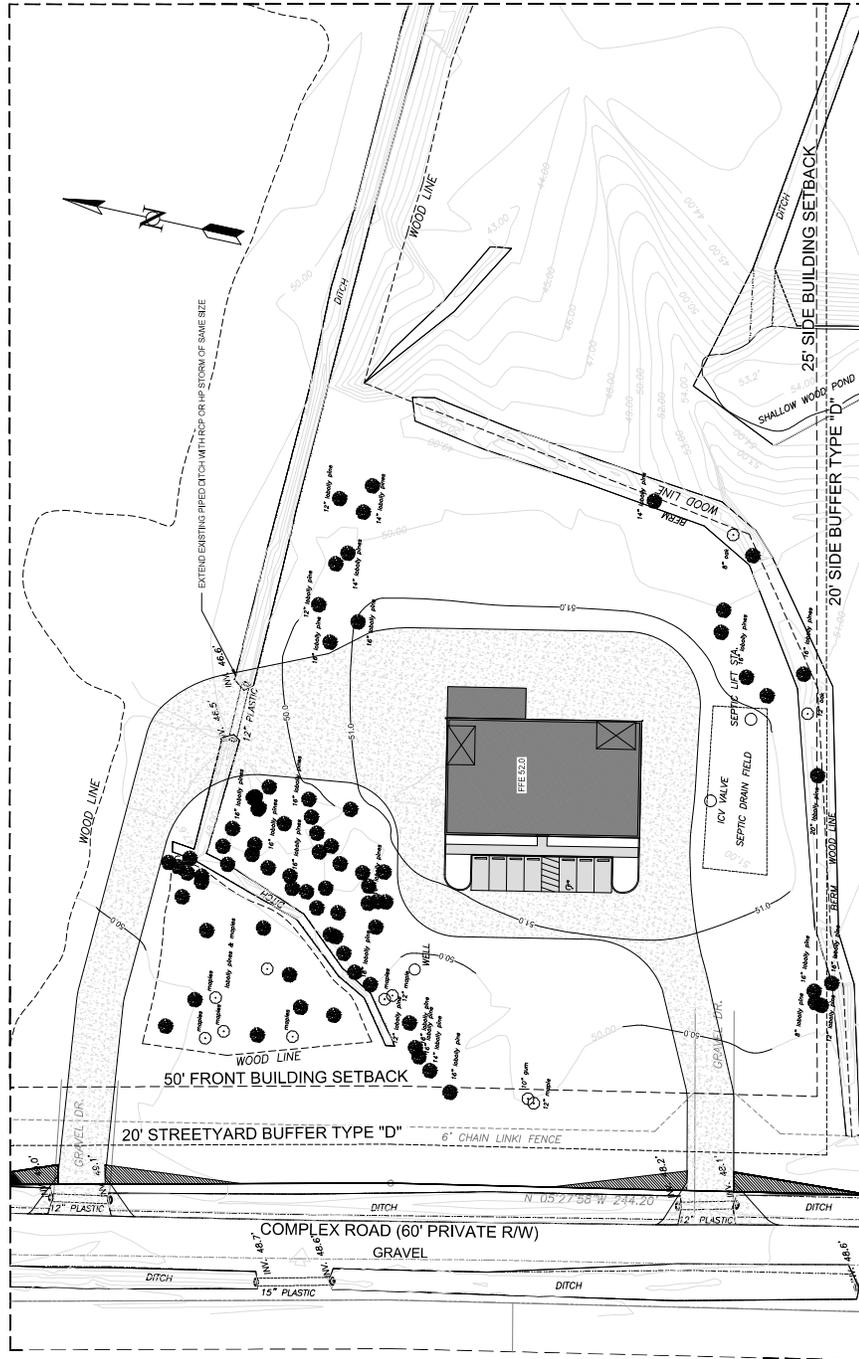
GRAPHIC SCALE
0 15 30 60 120
SCALE: 1"=30'

LEGEND:

- EIP (EXISTING IRON PIPE)
OR ES (EXISTING IRON STAKE)
- PROPERTY LINE
- - - - - NON-SURVEYED LINE
- R/W (RIGHT OF WAY)

- EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:**
- NOTE: ANY EROSION CONTROL DEVICES MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE SITE IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE BURNING ZONE ARE COMPLETE.
- EROSION AND SEDIMENT CONTROL (ES&S) PERMIT AND A CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBANCE ACTIVITIES OCCUR. THE COC CAN BE OBTAINED BY FILING OUT THE ELECTRONIC NOTICE OF INTENT (ENOTI) FORM. ONCE THE PERMITS HAVE BEEN APPROVED, A COPY OF THE BASIC PERMIT, THE COC, AND A HARD COPY OF THE PLAN MUST BE KEPT ON SITE, PREFERABLY IN A PERMITS BOX, AND ACCESSIBLE DURING INSPECTION.
 - NOTIFY **PERMITS COUNTY** AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES ON THE PROPERTY.
 - TEMPORARY EROSION CONTROL MEASURES (ES&S) MUST BE INSTALLED WITHIN THE INTERIOR OF THE SITE. THESE MEASURES MUST BE MAINTAINED AND TEMPORARILY REMOVED IN THE FIRST PHASE OF CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY BE DISTURBED OR DAMAGED DURING THE COURSE OF THE EROSION CONTROL MEASURES.
 - CONSTRUCTION ACTIVITIES MUST BE STOPPED IMMEDIATELY IF EROSION CONTROL MEASURES FAIL TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL BY ENGINEER OR EROSION CONTROL INSPECTOR.
 - THE ENOTI PERMIT REQUIRES A POST-CONSTRUCTION INSPECTION RELEASE LETTER PROVIDED TO PERMITS COUNTY. THIS RELEASE LETTER MUST BE PROVIDED TO PERMITS COUNTY AND EROSION CONTROL MEASURES MUST REMAIN IN PLACE UNTIL THE CONTRACTOR OBTAINS TEMPORARY EROSION CONTROL MEASURES PERMIT FROM PERMITS COUNTY. NOTICE OF TERMINATION: A \$120.00 ANNUAL GENERAL PERMIT FEE WILL BE CHARGED UNTIL THE ENOTI HAS BEEN ISSUED.
 - THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN GRASS & PLANTED AREAS.

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF BLUEWATER ENGINEERING, PLLC AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH BLUEWATER ENGINEERING, PLLC.



1 STORMWATER & GRADING
SCALE: 1"=30'
GRAPHIC SCALE
0 15 30 60 120

LEGEND:

| | |
|---|--------------------|
| ○ | 10" VALVE |
| ○ | SEPTIC TANK |
| ○ | SEPTIC DRAIN FIELD |
| ○ | ICE VALVE |
| ○ | WELL |
| ○ | 12" WOODEN PIPE |
| ○ | 12" GUTTER |
| ○ | 12" PLASTIC |
| ○ | DITCH |
| ○ | WOOD LINE |
| ○ | PROPERTY LINE |
| ○ | NON-SURVEYED LINE |
| ○ | R/W (RIGHT OF WAY) |

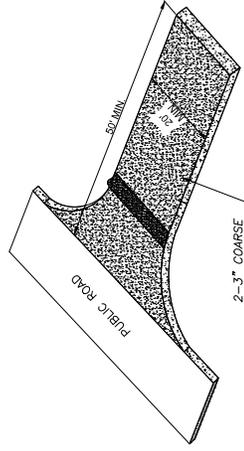
- GRADING AND DRAINAGE NOTES:**
1. ALL SLOPES SHALL BE LOW DENSITY AND ALL DRAINAGE SHALL BE SHEET FLOW.
 2. STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER, INCLUDING PIPES, STRUCTURES AND OF THE LOCAL JURISDICTION. THE LOCAL JURISDICTION SHALL BE THE STATE OR LOCAL JURISDICTION.
 3. ALL IMPERVIOUS SURFACES SHALL BE SLOPED TO DRAIN AWAY FROM THE SITE. ROOF SHALL NOT BE BUTTERED.
 4. REFERENCE GENERAL NOTES SHEET FOR GRADING, DRAINAGE AND EROSION CONTROL NOTES AND DETAILS. TECHNICAL MEMORANDUMS SHALL BE PRESENTED TO THE ENGINEER PRIOR TO CONSTRUCTION. ANY CHANGES TO THE DESIGN SHALL BE IN ACCORDANCE WITH THE TOWN OF SURE CITY BUILDING INSPECTIONS.
 5. GEOTECHNICAL TESTING SHALL BE PERFORMED ON-SITE BY A REGISTERED PROFESSIONAL SURVEYOR OR REGISTERED PROFESSIONAL ENGINEER. THE ENGINEER SHALL REVIEW THE RESULTS OF ALL TESTING AND SET THE MINIMUM COMPACTION VALUES FOR ALL AREAS. UTILITY TRENCHES SHALL BE BACKFILLED WITH A MINIMUM OF 95% RELATIVE COMPACTION. ALL UNSUITABLE MATERIAL AND PROVIDE CUT-FILL SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL. ALL GRADING SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER.
- GENERAL CONSTRUCTION NOTES:**
1. THE CONTRACTOR IS REQUIRED TO STRIP TOPSOIL AND ANY SUBSTRATE TO A DEPTH OF 6" AND REPLACE WITH TOPSOIL TO PROVIDE A CONTRACTED CONTROLLED PAVEMENT SURGRADE, AND BUILDING FOOTING ACCORDANCE WITH THE LOCAL JURISDICTIONS.
 2. THE LOCAL ENGINEER CAN RECOMMEND A TYPICAL PAVEMENT SECTION UPON REQUEST, BUT THE RESPONSIBILITY OF PAVEMENT TESTING AND SECTION SHALL BE IN ACCORDANCE WITH FIELD CONDITIONS AND GEOTECHNICAL SPECIFICATIONS.
 3. ALL VERTICAL CONTROL SHALL BE USED WITH THE PROJECT CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT SINGOUTS.
 4. ANY TIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING PAVEMENT SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION AND TO FOLLOW ANY GUIDELINES OR STANDARDS. THE CONTRACTOR SHALL EMPLOY A REGISTERED PROFESSIONAL SURVEYOR TO PERFORM LOCATION OF EXISTING UTILITIES AND TO VERIFY THE LOCATION OF ALL UTILITIES. THE CONTRACTOR AND OWNER SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS AND DETAILS.

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF BLUEWATER ENGINEERING, PLLC AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH BLUEWATER ENGINEERING, PLLC.



NOTES:
1. CONCRETE AREAS SHALL HAVE TOOLED JOINTS.
IN ACCORDANCE WITH GEOTECHNICAL REPORT

DUMPSITER PAD - CONCRETE PAVEMENT SECTION
NOT TO SCALE



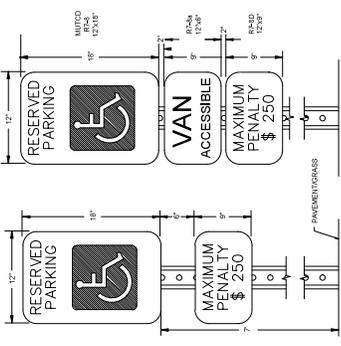
PLAN VIEW



SECTION VIEW

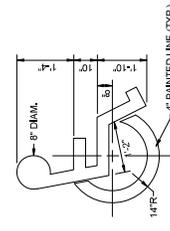
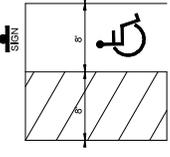
TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE

- NOTES
1. ACCESSIBLE PARKING AND ACCESSIBLE ASBLES SHALL NOT EXCEED 2.0% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESSIBLE IS INSTALLED, IT IS TO BE A VAN SIZE.
 2. PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITIES AND ADA STANDARDS AND IF DIFFERENT THAN THIS DETAIL SHALL BE THE DIMENSIONING SHOWN ON THE SITE LAYOUT PLAN.
 3. GENERAL CONTRACTOR SHALL REFER TO OWNER STANDARD PARKING LOT STRIPING SPECIFICATIONS AND COLORS.
 4. CONTRACTOR SHALL USE 4" WIDE WHITE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
 5. CONTRACTOR SHALL USE 4" WIDE YELLOW PAINT FOR STRIPING ON CONCRETE PARKING LOTS.

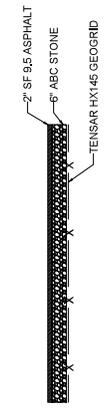


- NOTES:
1. METAL POST AND ALL HARDWARE SHALL BE GALVANIZED STEEL ASTM A307-A307.
 2. POST HOLES SHALL BE FILLED WITH GRANULAR BACKFILL IN 3" INCH TO 4" INCH LIFTS.
 3. CONCRETE FOR FOOTINGS SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
 4. METAL POSTS SHALL BE 1 1/2" DIA. MINIMUM TYPE 304-16 AND IN CONFORMANCE WITH ASTM STD 5206. THICKNESS SHALL BE .080 INCHES.
 5. TOP EDGE TREATMENT FILM SHALL BE 3" WIDE CLEAR AND TRANSPARENT WITH A TRANSPARENT FINGER STRIP SENSITIVE NON-YELLOWING ADHESIVE. "SCOTCHCAL" BY 3M COMPANY.
 6. REFLECTIVE FACING MATERIAL SHALL BE SCOTCH-LITE HIGH INTENSITY, MANUFACTURED BY 3M COMPANY. SHALL BE REFLECTOR CLARENDRON TYPEFACE. UPPER CASE LETTERS SHALL BE 3.75" HEIGHT AND LOWER CASE LETTERS SHALL BE 2.5" HEIGHT WITH 0.75" SPACING BETWEEN LINES. SHALL BE 3.45" HIGH.
 7. APPROX SHALL BE 6057. LONG BY 6.75" HIGH.
 8. MOUNT ON BUILDING OR METAL POST AS DIRECTED.

HANDICAP SIGN DETAIL
NOT TO SCALE

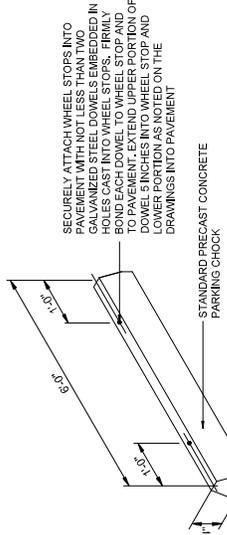


PARKING ACCESSIBLE SPACE DIMENSIONS AND STRIPING DETAILS
NOT TO SCALE



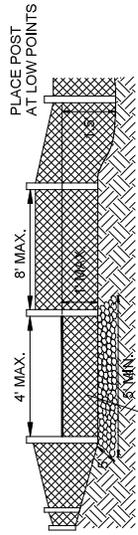
ASPHALT PAVEMENT DETAIL
NTS

- NOTES:
1. ALL PAVEMENTS SHALL PASS A PROOF ROLL PRIOR TO PLACING STONE BASE AND OBSERVED BY CIVIL EOR.
 2. ASPHALT BINDER SHALL BE USED BETWEEN ASPHALT LAYERS.
 3. CIVIL EOR SHALL INSPECT SUBGRADE, TOP OF ABC STONE AND EACH LAYER OF ASPHALT THICK TO THE SUBSEQUENT LAYER BEING INSTALLED.

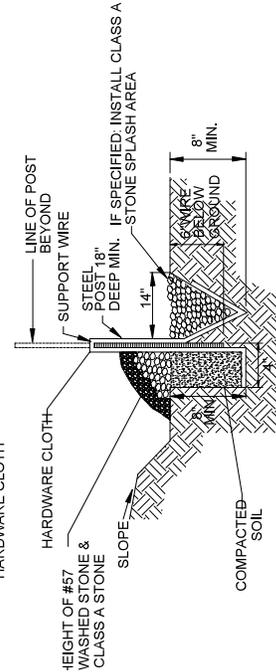


WHEEL STOP
NOT TO SCALE

*NOTE WHEEL STOPS SHALL BE PLACED 2.5' FROM THE END OF THE PARKING STALL



ELEVATION



SECTION A-A

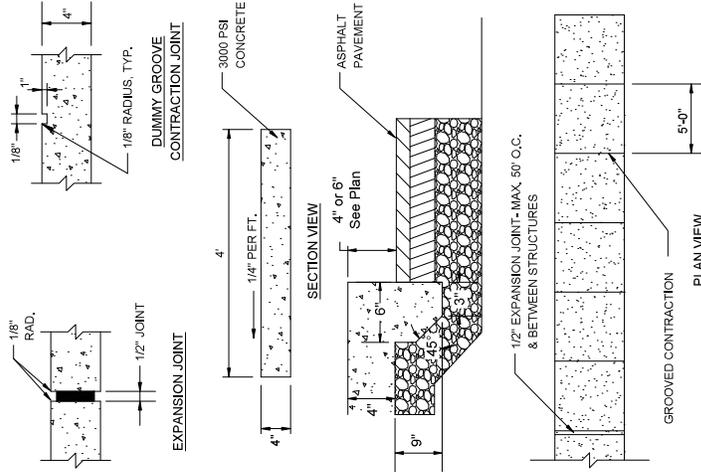
TEMPORARY SILT FENCE OUTLET
NOT TO SCALE

EROSION CONTROL MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 12 INCH OR GREATER RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT FENCE / SEDIMENT FENCE OUTLETS - SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARBER, STAKES MUST BE STEEL, AND SPACED 6 FEET WITH EXTRA STRENGTH FABRIC TO MAINTAIN A BARBER. SEDIMENT FENCE OUTLETS SHALL BE REPAIRED AS NECESSARY. SEDIMENT BASKETS ARE USED IF ROCK FILTERS (OR EXCELSON MATTLES) ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE. THE ROCK OR WATTLE WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRIVING, OR IS DAMAGED.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MAINTAINED ACCORDING TO SPECIFICATIONS ON THESE PLANS AND CONTRACT SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER, REF: APDES 16501 SPECIFICATIONS.
5. INLET PROTECTION - SEDIMENT SHALL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL, BLOCK AND SAND FILTERS. SEDIMENT SHALL BE REMOVED FROM SAND FILTERS AND SAND FILTERS SHALL BE REPLACED WHEN LONGER DRAINAGE IS NEEDED. CHECK BEVER DAMS, SANDY SACKS, AND SOCKS NEED CHECKING EVERY WEEK AND AFTER RAIN.
6. SEDIMENT BASIN/SEDIMENT TRAPS - REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO WITHIN ONE HALF OF THE DESIGN DEPTH. PLACE SEDIMENT IN AREA WITH SEDIMENT CONTROLS. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION. TRASH AND OTHER DEBRIS FROM THE BASIN AND POOL AREA, Baffles WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE, ETC.
7. SEDIMENT BASIN/Baffles - Baffles WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE FIRST BAFFLE.
8. SKIMMER - INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INTAKE MECHANISM, ORifice, OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS DRY, MAKE SURE THAT ANY VEGETATION GROWING ON THE BOTTOMS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION IN WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.
9. OUTLET PROTECTION - INSPECT RIP RAP OUTLET STRUCTURES WEEKLY AND AFTER RAINFALL EVENTS. TO PREVENT EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, RIP STONES HAVE BEEN DELOGGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER OFFSITE SEDIMENTATION.
10. EMERGENCY SPILLWAY / FOREBAY PROTECTION - AFTER EVERY HIGH-WATER EVENT INSPECT THE INTEGRITY OF THE LINED SPILLWAY AND THE ADJACENT EARTHEN BANKS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO THE SPILLWAY AND THE ADJACENT EARTHEN BANKS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO ANY LOSSE STONES, AND FIX GAPS IN THE ADJACENT VEGETATION COVER.
11. DIMENSION DITCHES / GRASS SWALES - INSPECT THE CHANNEL OUTLET AND ALL ROAD CROSSINGS FOR ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY. DIMENSIONS SHALL BE LINED OR STABILIZED AS NOTED ON THE PLANS. IF THE DIVERSION WILL BECOME PERMANENT GRASS SWALES, PRODUCTS (SEED) SHALL BE PROPERLY STAKED AND IN CLOSE CONTACT WITH THE GROUND. MONITOR AND REPAIR THE LINING AS NECESSARY UNTIL GROUND COVER IS ESTABLISHED IN THE DITCH.
12. CHECK DAMS - EXCEL SPR OR RIP RAP - SEDIMENT SHALL BE REMOVED FROM THE DAM WHEN IT REACHES HALF-FILLED. CHECK DAMS SHALL BE REPAIRED OR REPLACED, AND CHANNEL SHALL BE REPAIRED OF RUTS, PIPING, AND SETTLEMENT AROUND THE DAMS AS NEEDED.
13. CONCRETE WASHOUTS - CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DAMAGES SHOULD BE REPAIRED PROMPTLY. IF FILLED TO OVER 75% CAPACITY WITH RAIN WATER IT SHOULD BE VACUUMED OR ALLOWED TO EVAPORATE TO AVOID OVERFLOWS. BEFORE HEAVY RAINS, CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS TO AVOID AN OVER FLOW DURING RAIN. WHEN SOLIDS HAVE HARDENED THEY SHOULD BE REMOVED AND RECYCLED.

| PERMANENT SEEDING | | | |
|---|-------------|--------------------------------|--|
| GRASS TYPE | LBS/ ACRE | TIME OF SEEDING | FERTILIZER LIMESTONE |
| BERMUDA, HILLED BERMUDA, UNHILLED | 10-20 35 | MARCH - AUGUST SEPT. - FEB. | BY SOIL TEST |
| ZOYSIA | 10 | MARCH - AUGUST | BY SOIL TEST (NO HIGH PH) |
| TALL FESCUE (CASSELL BAR RECOMMENDED) | 50 | MARCH - AUGUST | 300 LBS/A.C. 10-20-20 OR BY SOIL TEST |
| SLOPES \geq 2:1 ZOYSIA | 5 20 | JAN - DEC | BY SOIL TEST |

| TEMPORARY SEEDING | | | |
|--|-------------|-----------------|-----------------------|
| GRASS TYPE | LBS/ ACRE | TIME OF SEEDING | FERTILIZER LIMESTONE |
| RYE GRASS | 50 | OCT. - APR. | 400 LBS/A.C. 10-20-20 |
| SWEET SUDAN GRASS | 50 | JUNE - AUGUST | 400 LBS/A.C. 10-20-20 |
| GERMAN OR BROWNTOP MILLET STRAW MILLOCH AS NEEDED | 50 4,000 | JUNE - AUGUST | 400 LBS/A.C. 10-20-20 |



TURNDOWN SIDEWALK CONCRETE DETAIL
NOT TO SCALE

PERMIT DRAWINGS
NOT FOR
CONSTRUCTION

REVISION NO.



HERITAGE ROOFING & SHEET METAL
COMPLEX ROAD
ROCKY POINT, NC 28457

DETAILS

PROJECT NO. 200815
DRAWN BY: AP
SCALE: NTS
DATE: 12-2-2008
SHEET

C-5.2

SHEET 8 OF 8