

Pender County Planning and Community Development

Planning Division

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Pointe South Residential Application Information Major Subdivision- Preliminary Plat

Case Number: SUBMAJ 2025-128

Application Type: Preliminary Plat

Applicant: Joseph A McKinney, Jr. & MCFT POINT SOUTH, LLC

Owners: MCFT POINT SOUTH, LLC

Location: The property is located west of US Highway 17, approximately 1/3 mile north of Blake Farm Boulevard.

Property ID #(s): 3271-43-5429-0000

Description: Residential portion of a mixed-use community consisting of 120 single-family detached dwelling units and 60 single-family attached homes across approximately 77 acres

Total Area of Project: Approximately 77.61 acres

Current Zoning: Planned Development (PD)

Technical Review Committee Meeting: 04/03/2025

Board of County Commissioners/Planning Board Meeting: N/A

Application Materials:

Application Package
Site Plan

APPLICATION

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Planned Development & Residential Mixed Zoning Districts Preliminary Plat Submission

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

1. **Signed Application**
2. **Payment**
Application fee and initial stormwater review fee invoices will be generated upon receipt of application for online payment. **Do not include check with application.** \$500 plus \$10 per lot for the first 100 lots/units, \$5 per lot thereafter. Stormwater review fee \$400, plus \$200 per subsequent stormwater review invoiced at time of resubmission
3. **Paper Plan Sets**
Two (2) 24 x 36, Four (4) 11 x 17
4. **Digital Submission**
For all documents submitted in paper copy, please provide a digital copy. These may be emailed or uploaded to a share folder. **Physical media such as CD or USB drives will not be accepted.**
5. **List of Property Owners Within 500'**
A numbered list of names and addresses, as obtained from the county tax listings and tax abstract, **including the applicant, the owner, and owners** of all properties located within 500-feet of the perimeter of the project bounds as obtained from the county tax listings and tax abstract. Directions to obtain list of addresses available on Pender County's website on the Planning and Community Development page.
6. **500' Buffer Property Envelopes**
The applicant shall provide a set of business envelopes addressed to the applicant, the owner, and each of the owners of all properties located within 500-feet of the perimeter of the project bounds and accompanied with first class postage adhered. Do not include return address or company branding on envelopes.
7. **Permits**
Please include any permits issued on the project including but not limited to: environmental, traffic analysis, utility, or site specific conditions.
8. **Site Plan Requirements**
A prepared site plan in accordance with the Unified Development Ordinance standards Section 6.4, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.

I certify that all information presented in this application is accurate to the best of my knowledge.

Signature of Applicant

Handwritten signature of Joe McKinnon in blue ink.

Date 3/6/25

Printed Name

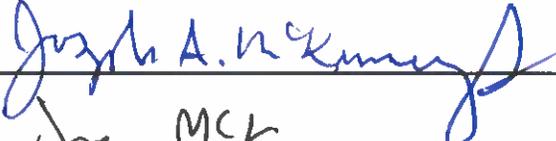
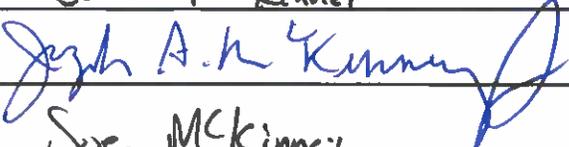
Joe McKinnon

APPLICATION FOR SUBDIVISION

SECTION 1: APPLICANT INFORMATION			
Applicant's Name:	Joseph A. McKinney, Jr.	Owner's Name:	Joseph A. McKinney, Jr.
Applicant's Address:	315 Spring Garden St. 1b	Owner's Address:	315 Spring Garden St. 1b
City, State, & Zip	Greensboro NC 27401	City, State, & Zip	Greensboro NC 27401
Phone Number:		Phone Number:	
Email Address:		Email Address:	

Legal relationship of applicant to landowner:

SECTION 2: PROJECT INFORMATION			
Preliminary Plat	<input checked="" type="checkbox"/> Residential <i>RP, PD, RM, MH District</i>	<input type="checkbox"/> Mixed Use <i>PD</i>	
Subdivision Type	<input checked="" type="checkbox"/> Major (11 lots or more)	<input type="checkbox"/> Minor (10 lots or less)	
Property Identification Number (PIN):	3271-43-5429-0000	Township:	Pender County
Zoning Classification:	PD	Total property acreage:	77.61 AC
Number of Lots:	180	Acreage to be disturbed:	74.14 AC
Water Provider:	Pender County Utilities	Wastewater Provider:	Pluris Hampsted LLC
Additional Information:		Road Type:	Public/Private/Both
		NAICS (if mixed use):	

SECTION 3: SIGNATURES			
Applicant's Signature		Date:	3/6/25
Applicant's Printed Name:	Joe McKinney	Date:	3/6/25
Owner's Signature		Date:	3/6/25
Owner's Printed Name:	Joe McKinney	Date:	3/6/25

SITE PLAN

POINTE SOUTH RESIDENTIAL

US HWY 17
 PENDER COUNTY, NORTH CAROLINA

PRELIMINARY PLAT
 MARCH 2025

APPLICANT:
 JOSEPH A. MCKINNEY JR.
 315 SPRING GARDEN ST. UNIT 1B
 GREENSBORO NC 27401

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT
 1-800-632-4949

CONTACT THESE UTILITIES

PENDER COUNTY PLANNING AND COMMUNITY
 DEVELOPMENT
 ATTN: DANIEL ADAMS
 PH: 910-259-0231

PENDER COUNTY UTILITIES (WATER)
 ATTN: ANTHONY COLON, PE DIRECTOR
 PH: 910-259-1521

PIEDMONT NATURAL GAS
 ATTN: CARL PAQUET
 PH: 910-350-2242

DUKE ENERGY
 ATTN: KEVIN LEATHERWOOD
 PH: 910-602-4304

EMERGENCY DIAL 911
 POLICE - FIRE - RESCUE

BELL SOUTH
 ATTN: STEVE DAYVAULT
 PH: 910-341-0741

TIME WARNER CABLE
 PH: 910-763-4638



POINTE SOUTH RESIDENTIAL

PROJECT # 24390.PE

MARCH 7, 2025

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
SV-1	EXISTING CONDITIONS
PP-0	PRELIMINARY PLAT OVERALL SITE PLAN
PP-1 THRU PP-4	PRELIMINARY PLAT SITE PLANS

PROJECT CONSULTANTS

DEVELOPER
 JOSEPH A. MCKINNEY JR.
 315 SPRING GARDEN ST. UNIT 1B
 GREENSBORO, NC 27401
 JOSEPH MCKINNEY

ENGINEER/ LAND PLANNER/ LANDSCAPE ARCHITECT
 PARAMOUNTE ENGINEERING, INC.
 122 CINEMA DR., WILMINGTON NC 28403
 (910) 791-6707
 CIVIL ENGINEER: TIM CLINKSCALES, PE, PLS
 LANDSCAPE ARCHITECT: JIM CIRELLO, RLA

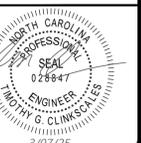
SURVEYOR
 PARAMOUNTE ENGINEERING, INC.
 122 CINEMA DRIVE
 WILMINGTON, NC 28403
 JOSH TAYLOR, PLS (910-791-6707)

REVISIONS

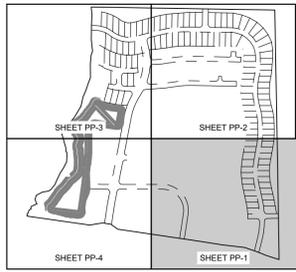
NO.	DESCRIPTION	DATE

PREPARED BY:

PARAMOUNTE
 ENGINEERING, INC.
 122 Cinema Drive Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

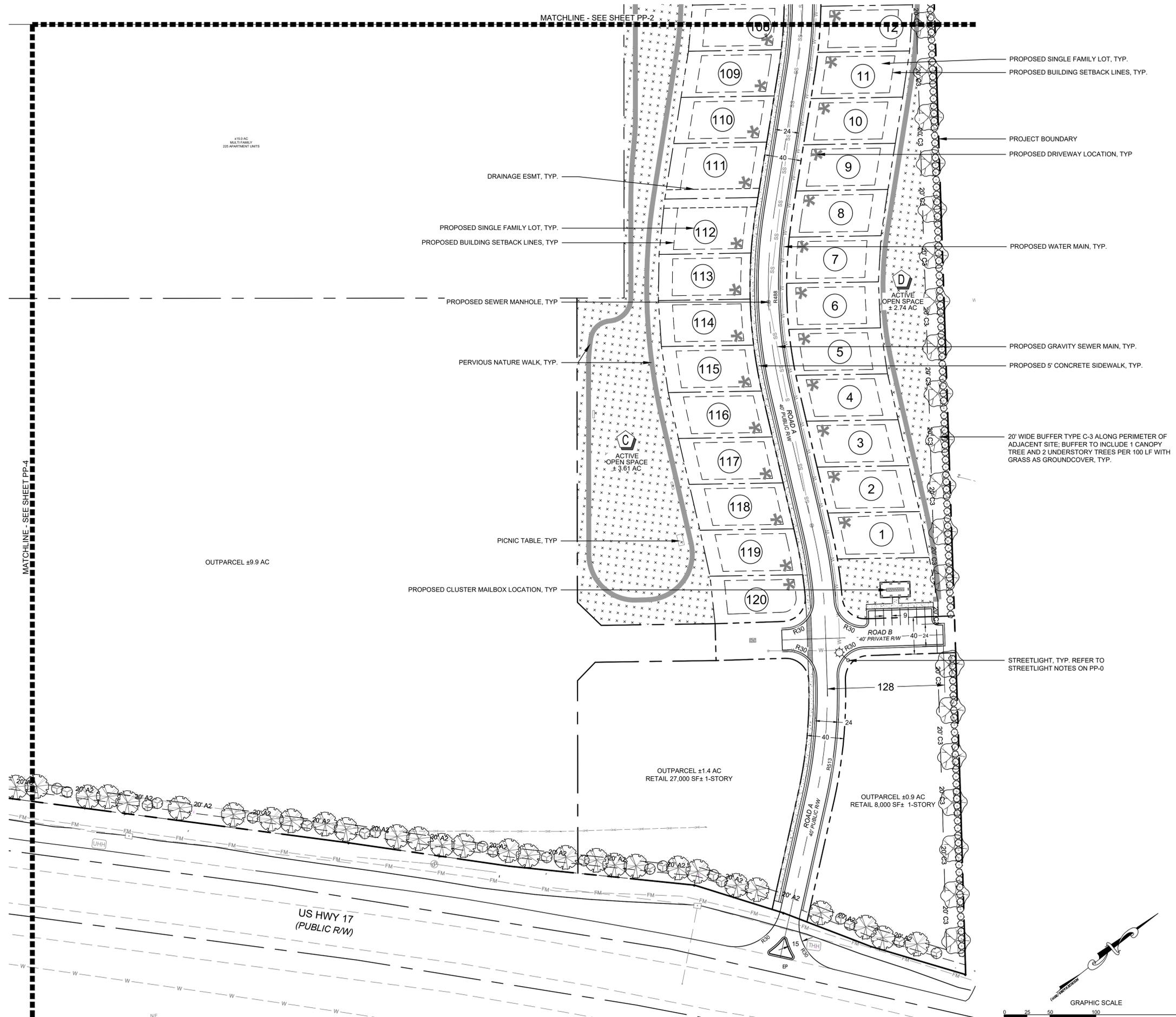


KEY MAP
NOT TO SCALE

PLANT SCHEDULE A-2 BUFFER			
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
CANOPY TREES			
	60	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	10' - 12' H
UNDERSTORY TREE			
	40	LAGERSTROEMIA X 'MUSKOGEE' LAVENDER CRAPE MYRTLE	10' - 12' H
BUFFER A-2 CALCULATIONS REQUIRED: 20' WIDTH, (3) CANOPY TREE AND (2) UNDERSTORY TREES PER 100'			
	TYPE	FT.	TREES
	A-2	2,000	60 (3/100) 40 (2/100)

PLANT SCHEDULE C-3 BUFFER			
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
CANOPY TREES			
	85	QUERCUS NUTTALLII NUTTALL OAK	10' - 12' H
SMALL EVERGREEN TREES			
	544	MYRICA CERIFERA WAX MYRTLE	4' HT
BUFFER C-3 CALCULATIONS REQUIRED: 20' WIDTH, (2) CANOPY TREES PER 100', CONTINUOUS EVERGREEN HEDGE			
	TYPE	FT.	TREES
	C-3	4,241	85 (2/100)

BUFFER PLANTING NOTE:
PROPOSED PLANTING PLAN & PLANT SCHEDULES SHOWN INDICATE THE MINIMUM QUANTITY OF SHADE AND UNDERSTORY TREES NECESSARY TO MEET THE BUFFER PLANTING REQUIREMENT. CONTRACTOR SHALL VERIFY EXISTING TREES IN FIELD AND MAY REDUCE THE NUMBER OF TREES TO BE PLANTED AT A ONE-TO-ONE RATIO WITH EXISTING TREES WHICH SATISFY THE REQUIREMENT, PER PENDER COUNTY LDO 6.1.5(B).



PROPOSED SINGLE FAMILY LOT, TYP.
PROPOSED BUILDING SETBACK LINES, TYP.

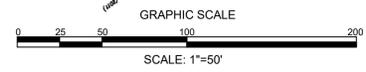
PROJECT BOUNDARY
PROPOSED DRIVEWAY LOCATION, TYP.

PROPOSED WATER MAIN, TYP.

PROPOSED GRAVITY SEWER MAIN, TYP.
PROPOSED 5' CONCRETE SIDEWALK, TYP.

20' WIDE BUFFER TYPE C-3 ALONG PERIMETER OF ADJACENT SITE; BUFFER TO INCLUDE 1 CANOPY TREE AND 2 UNDERSTORY TREES PER 100 LF WITH GRASS AS GROUNDCOVER, TYP.

STREETLIGHT, TYP. REFER TO STREETLIGHT NOTES ON PP-0



REVISIONS:

CLIENT INFORMATION:

McADAMS HOMES, LLC
6626-C GORDON ROAD
WILMINGTON, NC 28411

PARAMOUNTE
ENGINEERING INC.

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6766 (F)
NC License #: C-2846

PRELIMINARY PLAT

POINTE SOUTH
PENDER COUNTY
NORTH CAROLINA

PROJECT STATUS
CONCEPTUAL LAYOUT:
FINAL DESIGN LAYOUT:
RELEASED FOR CONSTRUCTION:

DRAWING INFORMATION
DATE: 03/07/25
SCALE: 1"=50'
DRAWN BY: JRC
CHECKED: TTC

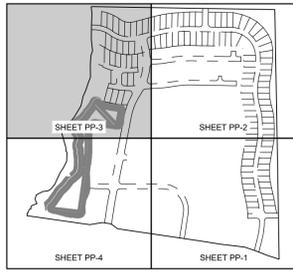
SEAL



03/07/2025

PP-1
PEI JOB#: 24390.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



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20' WIDE BUFFER TYPE C-3 ALONG PERIMETER OF ADJACENT SITE; BUFFER TO INCLUDE 1 CANOPY TREE AND 2 UNDERSTORY TREES PER 100 LF WITH GRASS AS GROUNDCOVER, TYP.

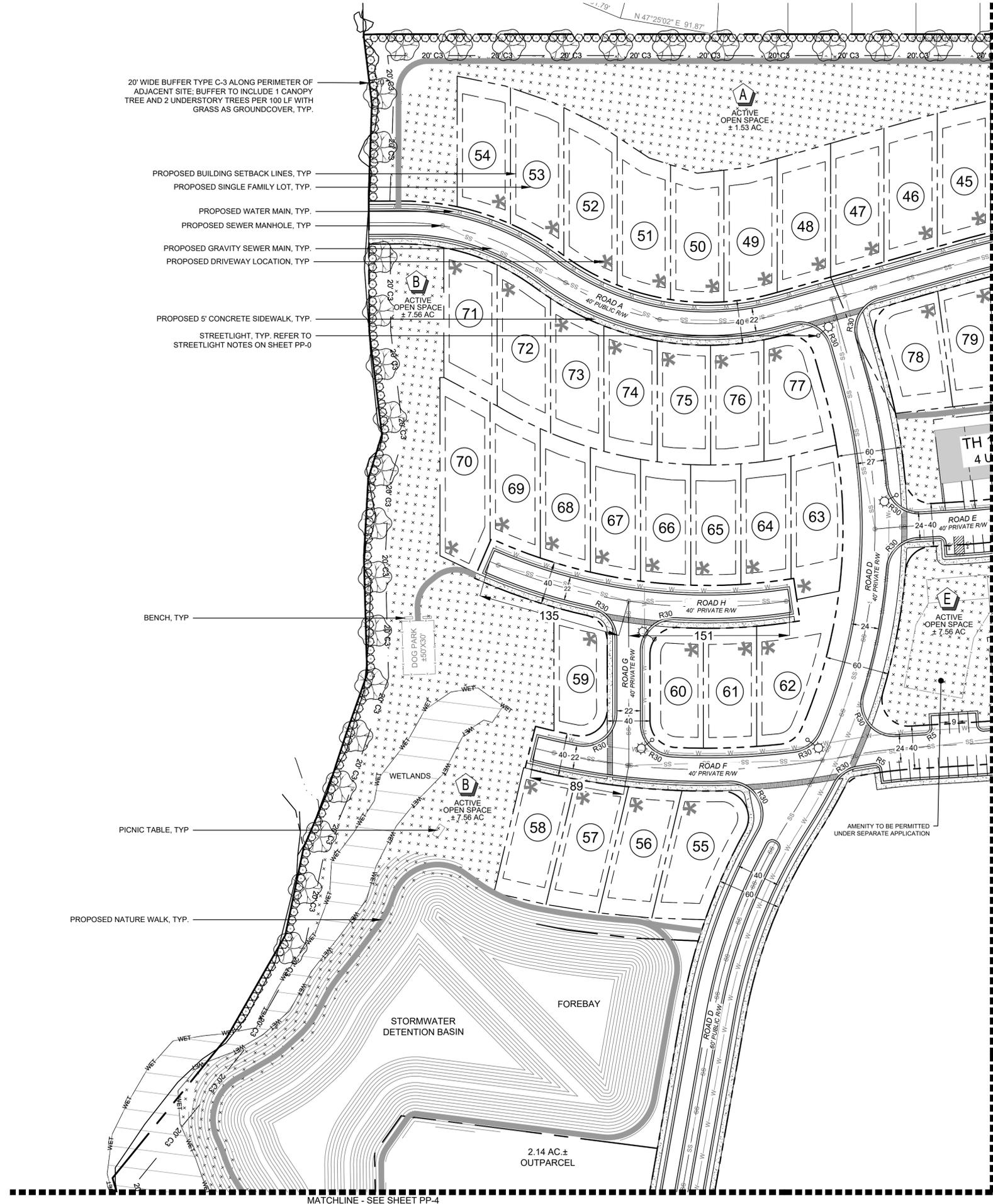
- PROPOSED BUILDING SETBACK LINES, TYP.
- PROPOSED SINGLE FAMILY LOT, TYP.
- PROPOSED WATER MAIN, TYP.
- PROPOSED SEWER MANHOLE, TYP.
- PROPOSED GRAVITY SEWER MAIN, TYP.
- PROPOSED DRIVEWAY LOCATION, TYP.

- PROPOSED 5' CONCRETE SIDEWALK, TYP.
- STREETLIGHT, TYP. REFER TO STREETLIGHT NOTES ON SHEET PP-0

BENCH, TYP.

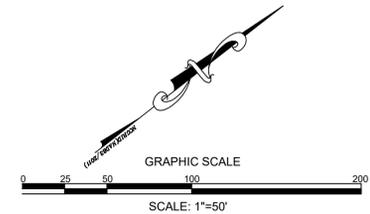
PICNIC TABLE, TYP.

PROPOSED NATURE WALK, TYP.



MATCHLINE - SEE SHEET PP-4

MATCHLINE - SEE SHEET PP-2



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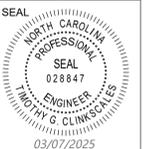
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PRELIMINARY PLAT

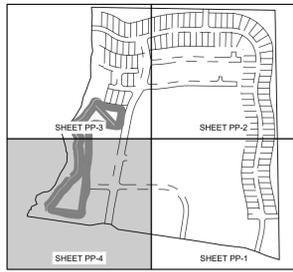
POINTE SOUTH
PENDER COUNTY
NORTH CAROLINA

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DRAWING INFORMATION:
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DRAWN BY: JRS
CHECKED: TTC

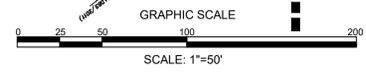
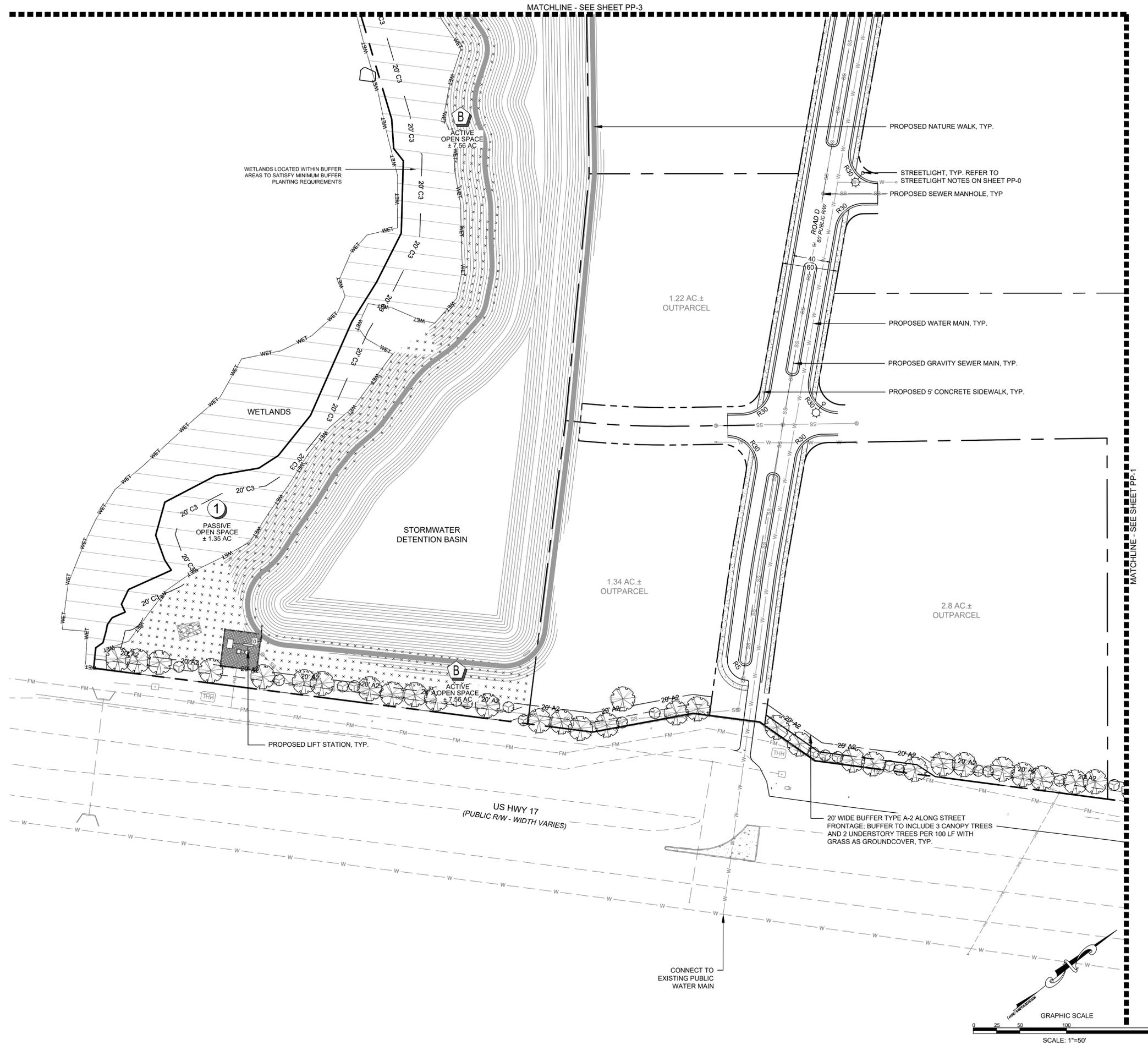


PP-3

PEI JOB#: 24390.PE



KEY MAP
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PRELIMINARY PLAT

POINTE SOUTH
PENDER COUNTY
NORTH CAROLINA

PROJECT STATUS

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FINAL DESIGN:
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DRAWING INFORMATION

DATE: 03/07/25
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DRAWN BY: JRC
CHECKED: TTC

SEAL



PP-4

PEI JOB#: 24390.PE