

Pender County Planning and Community Development

Planning Division

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Del Taco Application Information Major Site Development Plan

Case Number: SDP 2025-457

Application Type: Major Site Development Plan

Applicant: Alex Rodriguez, Kimley-Horn

Owners: Little Hampstead, LLC

Location: Approximately 900 ft west of the intersection of US Highway 17 and Washington Acres Road. Subject parcel is west of US Highway 17.

Property ID #(s): 3282-53-4438-0000

Description: Application for the construction of a fast food restaurant with drive-thru.

Total Area of Project: 0.89 ac

Current Zoning: GB, General Business

Technical Review Committee Meeting: 03/06/2025

Board of County Commissioners/Planning Board Meeting: N/A

Application Materials

Application Package

Site Plan

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Major Site Development Plan Submission

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

- 1. N/A **Pre-submittal Meeting**
Date of Meeting N/A
- 2. X **Signed Application**
- 3. X **Payment**
\$250
- 4. X **Paper Plan Sets**
Two (2) 24 x 36, Four (4) 11 x 17
- 5. X **Digital Submission**
For all documents submitted in paper copy, bring a digital copy with paper submission.
- 6. X **Adjacent Property List**
A list of names and addresses, as obtained from the county tax listings and tax abstract, to the owners of all properties located within 500-feet of the perimeter of the project bounds.
- 7. X **Adjacent Property Envelopes**
The applicant shall provide a set of business envelopes addressed to each of the owners of all properties located within 500-feet of the perimeter of the project bounds and accompanied with the amount of postage required for first class postage.
- 8. X **Permits**
Include any permits issued on the project including but not limited to: environmental, traffic, utility, or site specific conditions.
- 9. X **Site Plan Requirements**
A prepared site plan in accordance with the Unified Development Ordinance standards Section 6.3, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.
(See Major Site Development Checklist)

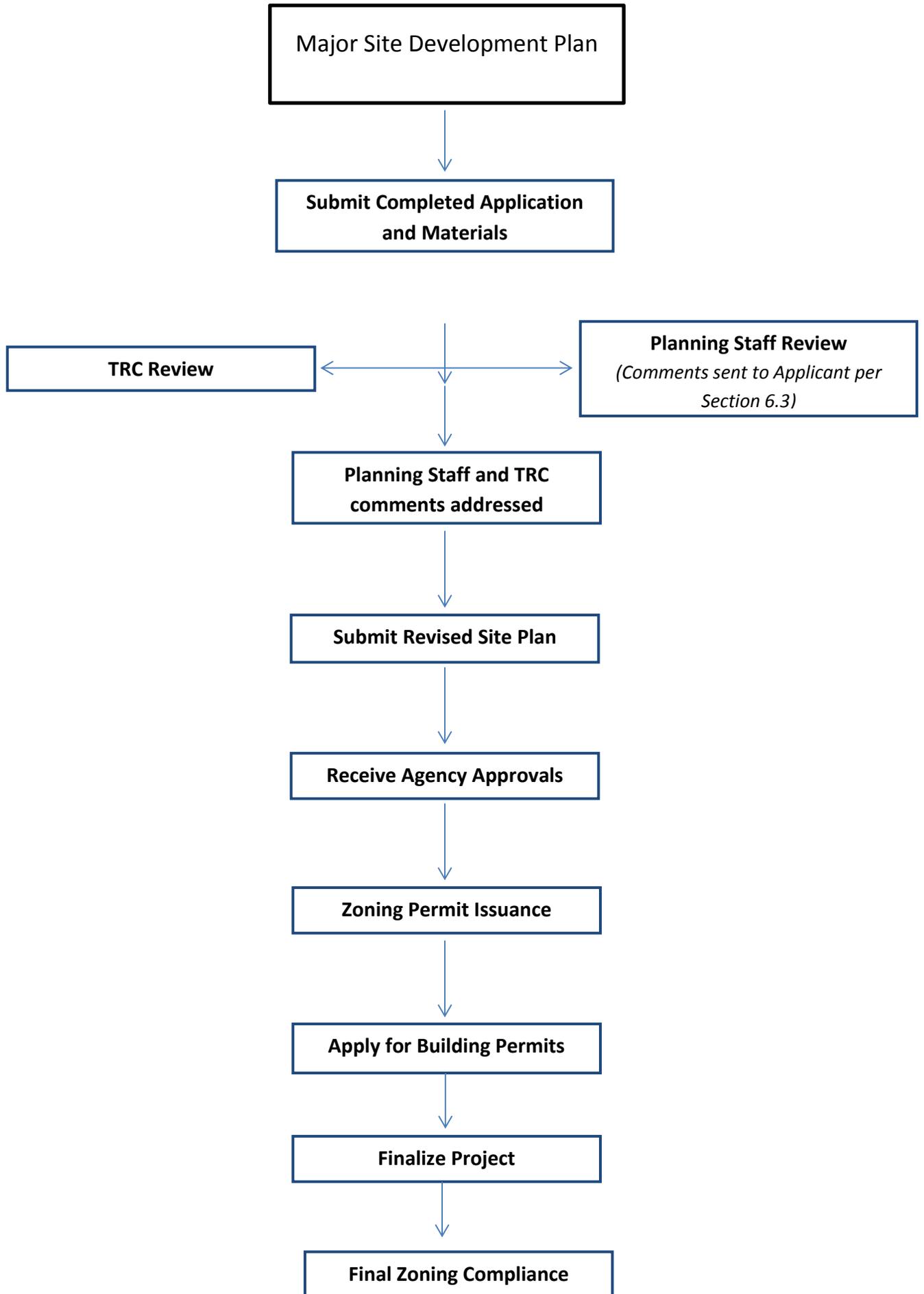
I certify that all information presented in this application is accurate to the best of my knowledge.

Signature of Applicant _____

Date 1/17/2025

Printed Name Alex Rodriguez

Staff Initials:	_____
Date:	_____



Specific requirements can be found in Section 6.3 of the Pender County Unified Development Ordinance

Major Site Development Plan Specific Requirements

1. Major Site Development Application Submittal

- Site Plan (per Section 6.3)
 - Scale
 - North Arrow
 - All property information (zoning, setbacks, PIN #)
 - Adjacent property info (owner, zoning, use, PIN #)
 - References to any previously approved plans
 - Utility providers
 - All existing and proposed structures
 - Buffering (Section 8.2.6) & Landscaping (8.3)
 - Parking (Section 7.10)
 - Lighting
 - Cross Access Connections (Section 7.4.4)
 - AM/PM Peak Hour Trip Calculations (TIA required with 100 AM/PM trips or >1,000 trips per day)
 - Soil Erosion and Sedimentation Control Plan
 - Location of all environmental features
 - Stormwater management features
 - Proposed accesses, easements, streets, and sidewalks
- Permits received

2. TRC Meeting

- Site Plan Review
- Agency comments/requirements

3. Post-TRC Meeting

- Submit site plan with revisions
- Receive agency approvals
- Forward all agency approvals to Planning Staff.

4. Approval of Site Plan

- All TRC comments and agency requirements addressed
- Zoning approval allows for building permit process to begin
- Apply for building permits

5. Final Zoning

- Site Visit to check the following:
 - Landscaping
 - Buffering
 - Parking

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MAJOR AND MINOR SITE DEVELOPMENT APPLICATION

THIS SECTION FOR OFFICE USE			
Date:	Permit Number:	Permit Fee:	Invoice Number:
*Zoning Approval ONLY: YES / NO		Final Zoning Compliance Approved: YES / NO / N/A	
Type of Site Development Plan:	<input type="checkbox"/> Major	<input type="checkbox"/> Minor	
SECTION 1: GENERAL INFORMATION			
Applicant's Name:	Alex Rodriguez	Property Owner's Name:	Little Hampstead, LLC
Applicant's Address:	200 S. Tryon Street, #200	Property Owner's Address:	6600 N Military Trail, Suite #302
City, State, & Zip	Charlotte, NC 28202	City, State, & Zip	Boca Raton, FL, 33496
Phone Number:	980-346-6640	Phone Number:	717-891-5168
Email Address:	alexm.rodriguez@kimley-horn.com	Email Address:	rob@impeccabledevelopment.com
Legal relationship of applicant to landowner:	Civil Engineer		
SECTION 2: PROJECT INFORMATION			
PIN (Property Id #):	3282-53-4438-0000	Total property acreage:	0.89
Zoning:	General Business	Acreage to be disturbed:	0.24
Water Provider:	Pender County	Wastewater Provider:	Pluris
Directions to Site:	From the intersection of HWY 210 and HWY 17, travel south for roughly 0.8 miles. Once you reach the intersection of HWY 17 and Washington Acres Road, the site will be on your right		
Lot Size: 0.89 Acres	Sq Ft of Building: 1,150	Building Height: 20	
Setbacks	Front: 25'	Side: 10'	Rear: 10'
NAICS Code/Use:	934 Fast Food Restaurant		
Business Name:	Del Taco		
Describe activities to be undertaken on project site:	Grading, installation of utilities, paving, and construction of building		
Ownership:	Number of Employees:	Number of Members:	Seating Capacity:
<input checked="" type="checkbox"/> Private <input type="checkbox"/> Public	TBD	N/A	N/A

**If the applicant is not the owner of the property, a notarized letter from the property owner may be required*

**Zoning approval is for the use being proposed ONLY, other department approvals may be required i.e. Fire Marshal, Environmental Health, Permitting, etc...*

SECTION 4: ADDITIONAL COMMENTS	

SECTION 5: SIGNATURES			
Applicant's Signature		Date:	1/17/25
Applicant's Name Printed	Alex Rodriguez	Date:	1/17/25
Owner's Signature	<small>Signed by:</small> 	Date:	1/17/2025
Owner's Name Printed	Rob Tanner	Date:	1/17/2025
Planning Staff:		Date:	

GENERAL NOTES

- 1. ALL NECESSARY PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR MUST OBTAIN ALL PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND EXACT FIELD LOCATION AT THE CONSTRUCTION SITE.
3. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
4. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SUIT.
5. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY LAND SURVEYOR, ALL INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY THE OWNER AND THE OWNER.
7. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE STATE DEPARTMENT OF TRANSPORTATION STRUCTURE STANDARDS AND REGULATIONS (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS.
9. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND CODES AND O.S.A. STANDARDS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED UTILITIES.
12. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED UTILITIES.
14. ALL WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES.
15. TRAFFIC CONTROL ON ALL STATE, LOCAL, AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND ALL REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION.

CONSTRUCTION TESTING

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL TESTS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
2. TESTING BY THE OWNER, THE CONTRACTOR SHALL PROVIDE ADDITIONAL CONSTRUCTION TESTING. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR REQUIRED CONSTRUCTION TESTING.
3. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS.
4. EACH COPY OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND THE DESIGNER FOR REVIEW AND RECORD TESTING AGENCY.
5. EACH BACKFILL PREVENTION ASSEMBLY IS REQUIRED TO BE TESTED BY A JURISDICTIONALLY-APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.

AS-BUILT/RECORD DRAWINGS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SEALED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE PROJECT STATE.
3. THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER RECORD DRAWINGS IN BOTH PDF AND AUTOCAD FORMAT FOR ALL PAVING, GRADING, AND STORMWATER BMPMS.
4. THE CONTRACTOR SHALL PROVIDE A SEPARATE UTILITY RECORD DRAWING IN AUTOCAD AND PDF FORMAT.
5. IN ADDITION TO THE OWNER AND ENGINEER REQUIRED SURVEYS, THE CONTRACTOR SHALL PROVIDE ADDITIONAL RECORD DRAWINGS AND AS-BUILT INFORMATION AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

GENERAL ACCESSIBILITY NOTES

- 1. THE CONTRACTOR SHALL REVIEW ALL APPLICABLE STATE AND LOCAL GUIDELINES AS THEY APPLY TO THE ACCESSIBILITY AND SIGNAGE.
2. ALL CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR TO BE IN COMPLIANCE WITH LOCALLY ADOPTED ACCESSIBILITY REGULATIONS.
3. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED COMPLIANT WITH THE LATEST EDITION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE DEPARTMENT OF JUSTICE.
4. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY SPECIFICATION.
5. PRIVATE CURB RAMPS ON THE SITE, OUTSIDE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
6. ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPINGS, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
7. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS.
8. CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ACCESSIBLE SLOPE REQUIREMENTS ARE PROVIDED.
9. ANY COMPONENTS OF THE PROJECT SERVING MULTIFAMILY DWELLINGS IN BUILDINGS THAT HAVE 4 OR MORE UNITS PER DWELLING SHALL ALSO CONFORM TO THE FAIR HOUSING ACT (FHA), AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.

GENERAL EROSION CONTROL NOTES

- 1. PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST CLEARLY DELINEATE AND MARK OFF AREAS TO BE PROTECTED, AS IDENTIFIED IN THE SWPPP OR IN THE FIELD, INCLUDING BUT NOT LIMITED TO STREAMS/WETLANDS, NATURAL BUFFERS, TREE, HABITATS OF ENDANGERED/THREATENED SPECIES, HISTORIC PROPERTIES, ETC.
2. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
3. BMPS PROPOSED FOR SITE DEVELOPMENT HAVE BEEN DESIGNED TO ADDRESS CONSTRUCTION STORMWATER RUNOFF.
4. CONTRACTOR SHALL REVIEW THE GENERAL PERMIT PRIOR TO COMMENCING CONSTRUCTION ACTIVITY.
5. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
6. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE STATE WHICH THE WORK IS PERFORMED.
7. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE PROJECT CONSTRUCTION ALL EROSION CONTROL MEASURES SHOWN WITHIN THESE PLANS.
8. ALL CONSTRUCTION WORK SHALL BE IN COMPLIANCE WITH REGULATIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER GENERAL PERMIT.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
10. CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE.
11. POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
12. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE.
13. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR WHO WILL CONDUCT INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
14. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES.
15. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR WHO WILL CONDUCT INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
16. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES.
17. ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA OR THE STATE OR LOCAL AGENCY REGULATIONS.
18. THE CONTRACTOR SHALL MAINTAIN JURISDICTIONALLY REQUIRED BUFFERS OF UNDISTURBED NATURAL VEGETATION BETWEEN THE DISTURBED PORTIONS OF THE SITE AND SURFACES WATERS AT ALL TIMES.
19. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS.
20. CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 2:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
21. ALL DRAINAGE SWALES MUST BE GRADED AND RIP-RAP MUST BE REPLACED AS REQUIRED TO CONTROL EROSION.
22. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED FOR ADDITIONAL CONTRACTOR LAYDOWN AREA.
23. PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP.
24. ALL TEMPORARY STORMWATER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED.
25. SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGE WAY, STOCKPILES, FLOOD PLAIN AREA, OR A DESIGNATED BUFFER.
26. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED FOR ADDITIONAL CONTRACTOR LAYDOWN AREA.
27. PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP.
28. ALL TEMPORARY STORMWATER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED.
29. SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGE WAY, STOCKPILES, FLOOD PLAIN AREA, OR A DESIGNATED BUFFER.

STORMWATER NOTES

- 1. REFER TO GENERAL UTILITY NOTES FOR ADDITIONAL REQUIREMENTS PERTAINING TO UNDERGROUND UTILITY AND STORMWATER PIPE INSTALLATION.
2. ALL NECESSARY PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR MUST OBTAIN ALL PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. PIPE LENGTHS, GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE ONLY.
4. ALL STORM PIPE INSTALLATION SHALL BE CLASS III RCP, UNLESS SPECIFICALLY NOTED OTHERWISE.
5. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENT AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
6. ALL PIPES SHALL BE BEDDED PER MANUFACTURER'S RECOMMENDATIONS.
7. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.
8. ALL CLEANOUT COVERS WITHIN THE PAVEMENT SECTIONS SHALL BE RATED FOR HEAVY DUTY TRAFFIC (H-20 RATED).
9. WEEPHOLES ARE TO BE CONSTRUCTED IN ALL DRAINAGE STRUCTURES.
10. CONTRACTOR SHALL PROVIDE CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED INLETS (UNTIL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED).
11. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.
12. GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
13. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES.
14. DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE.

GENERAL DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
2. DEMOLITION AS DEPICTED ON THE DEMOLITION PLAN IS INTENDED TO DESCRIBE GENERAL DEMOLITION AND UTILITY WORK.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND LAWFUL DISPOSAL OF ALL STRUCTURES, PAVING, UTILITIES, ETC.
4. ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
5. THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA.
6. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ALL EXISTING FACILITIES AND OUTLOTS AT ALL TIMES.
7. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL OF OR RELOCATION OF UTILITIES.
8. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR.
9. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY.
10. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION.
11. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC.
12. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING BUSINESSES AND PROPERTIES AT ALL TIMES.
13. SHOULD CONSTRUCTION ACTIVITIES DAMAGE EXISTING FEATURES.
14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACES.
15. CONTRACTOR TO PROVIDE AND INSTALL CONDUIT FOR SITE LIGHTING PER SITE LIGHTING PLAN (BY OTHERS).
16. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED, SURVEYED, AND APPROVED BEFORE BACKFILLING.
17. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
18. ALL CONDUIT SHALL BE INSTALLED PER CURRENT NATIONAL ELECTRIC CODE (N.E.C.) AND MANUFACTURER REQUIREMENTS.
19. ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION.

GENERAL PAVING NOTES

- 1. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
2. THE PROPOSED SLOPE ELEVATIONS SHOWN ARE FINISHED ELEVATIONS INCLUDING ASPHALT AND CONCRETE.
3. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
4. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
5. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKSMANSHIP WITHIN JURISDICTIONAL STANDARDS (LATEST EDITION) OR STATE DEPT. OF TRANSPORTATION SPECIFICATION AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
6. ALL ON-SITE STRIPING IS TO BE PAINTED, UNLESS OTHERWISE NOTED.
7. TRANSVERSE EXPANSION JOINTS ARE TO BE PROVIDED IN CONCRETE SIDEWALKS AND COMBINED WALKS/CURBS WHERE SHOWN AND AT INTERVALS NOT TO EXCEED 12 X THE WIDTH OF THE WALK.
8. EXPANSION JOINTS SHALL BE INSTALLED IN CONCRETE PAVEMENTS AND WALKS AT ALL LOCATIONS WHERE PAVEMENTS AND WALKS ABUT A VERTICAL SURFACE SUCH AS A CURB, WALL, COLUMN, ETC.
9. CONSTRUCTION JOINTS SHALL BE PROVIDED AT EQUAL INTERVALS BETWEEN EXPANSION JOINTS IN CONCRETE PAVEMENTS AS SHOWN BUT IN NO CASE AT INTERVALS GREATER THAN 1.5 X THE WIDTH OF THE WALK.
10. CONTRACTOR SHALL COORDINATE PAVING IMPROVEMENTS TO AVOID TIE MARKS FROM CONSTRUCTION ACTIVITY.
11. ALL NEW CONCRETE SHALL BE DOWELED INTO ALL EXISTING CONCRETE (PAVING, SIDEWALKS, CURB, ETC.) ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT.

GENERAL UTILITY NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS PRIOR TO CONSTRUCTION.
2. ANY UTILITIES DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR.
3. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR CONTINUATION OF UTILITIES WITHIN 5 FEET OF STRUCTURES.
4. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE.
5. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY.
6. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY FOR DIRECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION.
8. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING UTILITY.
9. CONTRACTOR SHALL SAW CUT, REMOVE, AND REPLACE ASPHALT PAVEMENT AS NECESSARY TO INSTALL UNDERGROUND ELECTRIC, TELEPHONE, SEWER, WATER, AND COMMUNICATION CONDUITS/PAVEMENT WALKS, CURBS AND OTHER SURFACE IMPROVEMENTS.
10. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL POWER COMPANY STANDARDS.
11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
12. PRESSURE UTILITY MAINS AND SERVICE LINES MAY NEED TO BE INSTALLED AT A DEPTH GREATER THAN THAT SPECIFIED OR SHOWN ON THE DRAWINGS.
13. WHERE GRADE MODIFICATIONS (CUT OR FILL) ARE SHOWN ADJACENT TO EXISTING VALVE BOX COVERS AND MANHOLE CASTINGS.
14. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC.
15. ALL PROPOSED STUBS SHALL BE CAPPED AND SHALL BE PROVIDED WITH FIELD MARKERS.
16. CONTRACTOR TO PROVIDE AND INSTALL CONDUIT FOR SITE LIGHTING PER SITE LIGHTING PLAN (BY OTHERS).
17. CONTRACTOR TO PROVIDE AND INSTALL CONDUIT FOR IRRIGATION PER IRRIGATION PLAN (BY OTHERS).
18. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED, SURVEYED, AND APPROVED BEFORE BACKFILLING.
19. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
20. ALL CONDUIT SHALL BE INSTALLED PER CURRENT NATIONAL ELECTRIC CODE (N.E.C.) AND MANUFACTURER REQUIREMENTS.
21. ALL UTILITIES SHOULD BE KEPT TEN (10) FEET (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE) ADJACENT EDGE OF PIPE).
22. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LATERALS AND MANHOLES.
23. CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK.
24. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER.
25. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
26. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS.
27. UNDERGROUND WATER AND SANITARY SEWER LINES SHALL BE SURVEYED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE PROJECT STATE.
28. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION.
29. IF DETERMINED NECESSARY BY THE LOCAL JURISDICTION, THE CONTRACTOR SHALL ABANDON EXISTING WATER METERS, CUT THE CORPORATION STOP OFF, AND AIR-GAP THE SERVICES.
30. UNDERGROUND UTILITY, INCLUDING STORMWATER PIPES, SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
A. NO MORE THAN 50' OF TRENCH MAY BE OPENED AT ONE TIME.
B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.

GENERAL GRADING NOTES

- 1. ALL NECESSARY PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR MUST OBTAIN ALL PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE CONSTRUCTION TO REVEAL EXACT FIELD LOCATION OF UTILITIES.
3. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
4. CONTRACTOR SHALL REVIEW, UNDERSTAND AND IMPLEMENT ALL REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO ANY DISTURBANCE.
5. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WATERSHEDS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
6. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLAST ROCK IS ENCOUNTERED.
7. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SEEDED.
8. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE GEOTECHNICAL ENGINEERS SPECIFICATIONS.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
10. FIELD ADJUSTMENTS OF RIM ELEVATIONS OF STRUCTURES MAY BE REQUIRED TO MEET FIELD CONDITIONS.
11. WHERE GRADE MODIFICATIONS ARE SHOWN ADJACENT TO EXISTING VALVE BOX COVERS AND MANHOLE CASTINGS.
12. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
13. IF DETERMINED IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS.
14. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED.
15. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO STATE DEPARTMENT OF TRANSPORTATION STANDARDS.
16. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS.
17. ALL CUT OR FILL SLOPES SHALL BE A HORIZONTAL 1:1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
18. SEED MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING.
19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT EXCAVATED AND DO NOT CONTAIN ROAD BASE MATERIALS.
20. GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
21. ALL SOIL USED FOR PLANTING SHALL CONSIST OF REGIONALLY APPROPRIATE SOILS.
22. UNSUITABLE FILL BENEATH BUILDING PADS AND PAVED SURFACES MUST BE EXCAVATED AND REPLACED AS RECOMMENDED BY A GEOTECHNICAL ENGINEER.
23. ALL PAVEMENT SUB GRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A DENSITY OF 98% (PER ASTM D 1557) OR 95% (PER ASTM D 1557) AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS.

WATER DISTRIBUTION NOTES

- 1. CONTRACTOR TO LOCATE TIE-INS TO ALL BUILDINGS BASED ON ARCH / MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
2. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING.
3. WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 48 INCHES OF COVER AS MEASURED FROM THE TOP OF THE PIPE TO THE FINAL FINISH GRADE ABOVE THE PIPE.
4. THRUST BLOCKS OR JOINT RESTRAINTS SHALL BE INSTALLED ON ALL WATER LINES AT ALL BENDS, TEES AND HYDRANTS PER THE DETAILS.
5. PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER TO CENTER OF FITTINGS AND APPURTENANCES ROUNDED TO THE NEAREST FOOT.
6. WATER LINES SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLANS:
7. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING IF DICTATED BY THE AUTHORITY HAVING JURISDICTION.
8. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS REQUIRED BACKFLOW PREVENTER.
9. BACKFLOW PREVENTION ASSEMBLIES TO BE INSTALLED ABOVE-GROUND SHALL BE INSTALLED WITHIN INSULATED ENCLOSURE AND PER JURISDICTIONAL REQUIREMENTS.
10. ALL BACKFLOW PREVENTERS SHALL BE HEATED.

SANITARY SEWER NOTES

- 1. CONTRACTOR TO LOCATE LATERAL CONNECTIONS TO BUILDING PER PLUMBING PLANS.
2. PLACE CLEAN-OUTS ON SANITARY SEWER LATERALS AS REQUIRED BY PLUMBING CODE.
3. PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER TO CENTER OF STRUCTURES AND ARE ROUNDED TO THE NEAREST FOOT.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET BETWEEN WATER LINES AND SEWERS SHALL BE MAINTAINED AT ALL CROSSINGS.
5. SANITARY SEWER PIPE SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLANS:
6. DUCTILE IRON PIPE PER ANWWA C150
7. WHENEVER VERTICAL DISTANCE BETWEEN OUTGOING AND INCOMING SEWERS IS MORE THAN 2 FEET AN OUTSIDE DROP MANHOLE SHALL BE INSTALLED.
8. SANITARY SEWER STRUCTURES SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLANS:
48" DIAMETER PRECAST CONCRETE MANHOLE PER ASTM C478.
48" DIAMETER PRECAST POLYETHYLENE IN ACCORDANCE WITH ASTM D1248. MANHOLES SHALL HAVE A COMPRESSIVE STRENGTH THAT MEETS ASTM D2412.
8. ALL MANHOLES AND CLEANOUTS SHALL BE H20 TRAFFIC GRADE AND RATED WITH HEAVY DUTY COVERS AND FRAMES PER THE SAME STANDARD.

Project information block including: PROJECT NAME (LITTLE HAMPSTEAD - DEL TACO), DATE (01/20/2025), SCALE (AS SHOWN), DESIGNED BY (AMR), DRAWN BY (JDI), CHECKED BY (AMR), and a circular seal for the NORTH CAROLINA PROFESSIONAL ENGINEERING BOARD.

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EROSION AND SEDIMENT CONTROL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS.
2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
3. ALL PUBLIC FACILITIES ARE TO BE CONSTRUCTED AS SPECIFIED BY CITY/COUNTY STANDARDS.
4. NO WORK WITHIN NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) RIGHT OF WAY SHALL TAKE PLACE WITHOUT ALL PERMITS.
5. EXISTING FEATURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY EXCEPT AS OTHERWISE NOTED. ALL COST SHALL BE INCLUDED IN BASE BID.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID. AREAS TO BE DISTURBED SHALL BE IMPROVED PER THE CIVIL PLANS OR RESTORED TO THEIR ORIGINAL OR BETTER CONDITION. CONTRACTOR SHALL REPAIR ANY EXISTING FEATURES THAT ARE DAMAGED DURING CONSTRUCTION TO THE EXISTING OR BETTER CONDITION.
7. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY COMMERCIAL SITE DESIGN. ALL INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, IN ACCORDANCE WITH THE STANDARDS OF NCDOT AND PENDER COUNTY.
9. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
11. THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN A UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
12. ALL WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

GRADING NOTES

- 1. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE GEOTECHNICAL ENGINEERS SPECIFICATIONS. FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
5. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR APPROPRIATE SLOPE STABILIZATION ON ALL SLOPES STEEPER THAN 3:1.
6. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLAST ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS.
7. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
8. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
9. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK PROVIDED BY THE SURVEYOR, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
10. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
12. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING AND MOISTURE CONDITIONING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
13. ALL EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND LAWFUL DISPOSAL OF ALL STRUCTURES, PAVING, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL AS NECESSARY.
3. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ALL EXISTING FACILITIES AND OUTLOTS AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE SERVICE PROVIDERS AND COORDINATION THROUGH THE PROPERTY OWNERS.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE ITEMS SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS REQUIRED BY THE GOVERNING AGENCY.
8. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING BUSINESSES AND PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING IMPROVEMENTS AND CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. CONTRACTOR SHALL COORDINATE WITH THE OWNERS' LEASEE(S) PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.
9. SHOULD CONSTRUCTION ACTIVITIES DAMAGE EXISTING FEATURES, THE CONTRACTOR SHALL REPLACE THE FEATURES WITH NEW MATERIALS. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
10. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS NECESSARY AND AS SHOWN ON THESE PLANS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
11. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

EROSION AND SEDIMENT CONTROL NOTES

- 1. CONTRACTOR SHALL REVIEW THE GENERAL PERMIT PRIOR TO COMMENCING CONSTRUCTION ACTIVITY. IN NORTH CAROLINA THE APPROVED EROSION CONTROL PLAN AND THE NCDOT CONSTRUCTION GENERAL PERMIT ARE CONSIDERED THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED PLANS AND GENERAL PERMIT ONSITE AT ALL TIMES.
2. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF NORTH CAROLINA LAW AND IS SUBJECT TO A FINE.
3. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK.
4. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE PROJECT CONSTRUCTION ALL EROSION CONTROL MEASURES SHOWN WITHIN THESE PLANS IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY (NCEQE) EROSION AND SEDIMENT CONTROL REGULATIONS.
5. ALL CONSTRUCTION WORK SHALL BE IN COMPLIANCE WITH REGULATIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER GENERAL PERMIT.
6. SELF INSPECTIONS SHALL BE PERFORMED AS REQUIRED BY THE GENERAL PERMIT AND AS DESCRIBED ON THESE EROSION AND SEDIMENT CONTROL PLANS.
7. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
8. CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
9. POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
10. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
11. BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE, SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
12. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION.
13. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE NCEQE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
14. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS. CONTACT PROJECT ENGINEER AND PROJECT EROSION CONTROL INSPECTOR TO ENSURE ADDITIONAL EROSION CONTROL MEASURES ARE INSTALLED PRIOR TO OFF-SITE GRADING.
15. ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA OR THE STATE OR LOCAL AGENCY REGULATIONS, SHALL BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER (1-800-424-8802) AND THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES (1-800-858-0388), THE STATE REPORTABLE QUANTITY FOR PETROLEUM PRODUCTS IS: 25 GALLONS MINIMUM OR IF IT CAUSES A SHEEN ON NEARBY SURFACE WATER OR IF IT IS 100 FEET OR LESS FROM A SURFACE BODY OF WATER. NC GENERAL STATUTES - CHAPTER 143 ARTICLE 21A.
16. THE CONTRACTOR SHALL MAINTAIN JURISDICTIONALLY REQUIRED BUFFERS OF UNDISTURBED NATURAL VEGETATION BETWEEN THE DISTURBED PORTIONS OF THE SITE AND SURFACES WATERS AT ALL TIMES. BUFFERS SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTIONS.
17. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS, STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO THE APPROPRIATE GOVERNING ENTITY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.

STABILIZATION REQUIREMENTS

- 1) SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE.
i) ALL PERIMETER DIKES, SWALES, DITCHES, AND SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
ii) ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
2) CONDITIONS - IN MEETING THE STABILIZATION REQUIREMENTS ABOVE, THE FOLLOWING CONDITIONS OR EXEMPTIONS SHALL APPLY.
i) EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE.
ii) ALL SLOPES 50' IN LENGTH OR GREATER SHALL APPLY THE GROUND COVER WITHIN 7 DAYS EXCEPT WHEN THE SLOPE IS FLATTER THAN 4:1. SLOPES LESS THAN 50' SHALL APPLY GROUND COVER WITHIN 14 DAYS EXCEPT WHEN SLOPES ARE STEEPER THAN 3:1. THE 7-DAY-REQUIREMENT APPLIES.
iii) ANY SLOPED AREA FLATTER THAN 4:1 SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT BUT SHALL REQUIRE STABILIZATION WITHIN 14 CALENDAR DAYS.
iv) SLOPES 10' OR LESS IN LENGTH SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT EXCEPT WHEN THE SLOPE IS STEEPER THAN 2:1 BUT SHALL REQUIRE STABILIZATION WITHIN 14 CALENDAR DAYS.
v) ALTHOUGH STABILIZATION IS USUALLY SPECIFIED AS GROUND COVER, OTHER METHODS, SUCH AS CHEMICAL STABILIZATION, MAY BE ALLOWED ON A CASE-BY-CASE BASIS.
vi) FOR PORTIONS OF PROJECTS WITHIN THE SEDIMENT CONTROL COMMISSION-DEFINED "HIGH QUALITY WATER ZONE" (ISA NCAC 04A .0105), STABILIZATION WITH GROUND COVER SHALL BE ACHIEVED AS SOON AS PRACTICABLE BUT IN ANY EVENT ON ALL AREAS OF THE SITE WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACT.
vii) PORTIONS OF A SITE THAT ARE LOWER IN ELEVATION THAN ADJACENT EXISTING UTILITY AND/OR LIGHT POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR.

EROSION CONTROL NOTES

- 1. PRIOR TO CONSTRUCTION THE CONTRACTOR MUST CLEARLY DELINEATE AND MARK OFF AREAS IDENTIFIED IN THE SWPPP OR IN THE FIELD, TO BE PROTECTED (SUCH AS STREAMSWETLANDS, NATURAL BUFFERS, TREE, HABITATS OF ENDANGERED/THREATENED SPECIES, HISTORIC PROPERTIES, ETC.)
2. BMP'S PROPOSED FOR SITE DEVELOPMENT HAVE BEEN DESIGNED TO ADDRESS CONSTRUCTION STORMWATER RUNOFF. IN THE EVENT THE BMP'S BECOME INEFFECTIVE AT PREVENTING SEDIMENT FROM LEAVING THE SITE, IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT ADDITIONAL BMP'S THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN BMP'S AS DESCRIBED IN THE GENERAL PERMIT. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE COUNTY OR NCEQE.
3. CONTRACTOR SHALL FIELD LOCATE WASTE, BARROW, AND EQUIPMENT STORAGE. LOCATIONS SHALL BE DENOTED BY THE CONTRACTOR ON THE SITE MAPS.
4. IT IS THE CONTRACTORS RESPONSIBILITY TO PERFORM REQUIRED MAINTENANCE OF ALL EROSION CONTROL AND SEDIMENT CONTROL DEVICES TO ENSURE THEIR FUNCTIONALITY AT ALL TIMES. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDED AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RE-SEEDDED AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF GRASS.
5. STABILIZATION MEASURES SUCH AS DAMS, DIKES AND DIVERSIONS SHALL BE APPLIED TO ALL EROSION CONTROL MEASURES IMMEDIATELY AFTER INSTALLATION.
6. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS WHEN THE BASIN IS 50% FULL.
7. ACCUMULATED SEDIMENT IN SEDIMENT TRAPS AND DIVERSION DITCHES SHALL BE CLEANED OUT WHEN THE STORAGE CAPACITY HAS BEEN APPROXIMATED 20% FILLED. GRAVEL SHALL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY.
8. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES 6 INCHES DEEP AT THE FENCE. THE FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A SUFFICIENT BARRIER.
9. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ONTO ADJACENT ROADWAYS BY VEHICLES EXITING THE SITE SHALL BE CLEANED OR REMOVED IMMEDIATELY.
10. CONTRACTORS SHALL PREVENT ANY SILTATION FROM ENTERING THE STORM SEWER SYSTEM. ALL INLETS AND INLET OPENINGS SHALL BE FULLY ENCRICLED WITH APPROPRIATE INLET PROTECTION DEVICES.
11. CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY THE CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF CONSTRUCTION. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. TWO TO THREE INCH STONE SHALL BE USED FOR THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. SEE EROSION CONTROL DETAIL SHEET.
12. ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE. LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE. MUD ON THE PUBLIC ROADWAYS MUST BE CLEANED IMMEDIATELY.
13. WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
14. CONTRACTOR SHALL PROVIDE INLET PROTECTION FOR ANY AFFECTED INLETS DOWNSTREAM OF THE PROPOSED IMPROVEMENTS, IF NEEDED.
15. THE CONTRACTOR SHALL LOCATE STAGING AREAS TO LIMIT THE EXPOSURE OF CONSTRUCTION MATERIALS TO STORMWATER APPURTENANCES.
16. WEEKLY INSPECTIONS OF BMP'S ARE REQUIRED AND INSPECTIONS ARE REQUIRED WITHIN 24 HOURS AFTER EVERY RAIN EVENT OF 0.5 INCHES WITHIN A 24 HOUR PERIOD. REFER TO THE SWPPP AND GENERAL PERMIT DOCUMENTS FOR INSPECTION/RECORD KEEPING REQUIREMENTS.
17. CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 2:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
18. PRIOR TO FINAL ACCEPTANCE, HALL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
19. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. PERMANENT STABILIZATION SHALL BE ESTABLISHED AS DEFINED BY THE GENERAL PERMIT PRIOR TO FINAL ACCEPTANCE.
20. ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
21. ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
22. PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
23. SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, STOCKPILES FLOOD PLAIN AREA OR A DESIGNATED BUFFER. ALL STOCKPILES SHALL BE IMMEDIATELY STABILIZED AS REQUIRED BY THE GENERAL PERMIT.
24. ALL TEMPORARY STORMWATER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
25. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET. WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.
26. ALL DRAINAGE SWALES MUST BE GRADED AND RIP-RAP MUST BE REPLACED AS REQUIRED TO CONTROL EROSION. RIP-RAP WILL CONSIST OF 50 - 125 POUND STONES PLACED AT ALL HEADWALLS, AND WHERE NOTED ON CONSTRUCTION DRAWINGS. SEE DETAIL SHEET FOR OUTFALL PIPE SIZE CHART.
27. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED FOR ADDITIONAL CONTRACTOR LAYDOWN AREA. CONTRACTOR TO COORDINATE WITH ENGINEER DURING CONSTRUCTION. THE LIMITS OF DISTURBANCE SHOULD CONTAIN ANY ADDITIONAL LAYDOWN AREAS. IF ADDITIONAL LAYDOWN AREA IS NEEDED OUT SIDE THE LIMITS OF DISTURBANCE, A REVISED EROSION CONTROL PLAN SHOULD BE REVIEWED AND PERMITTED.
28. NO PARKING SHALL BE LOCATED OUTSIDE THE LIMITS OF DISTURBANCE.
29. NO CONSTRUCTION LAYDOWN OR STAGING SHALL BE LOCATED OUTSIDE THE LIMITS OF DISTURBANCE.
30. CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE REMOVED.

CONSTRUCTION SEQUENCE

- 1. OBTAIN ALL NECESSARY PERMITS AND HOST A PRECONSTRUCTION MEETING WITH THE COUNTY INSPECTOR(S), NCEQE, AND PROJECT TEAM.
2. STAKE/FLAG THE LIMITS OF DISTURBANCE (LOD), THE LOD IS TO REMAIN CONSPICUOUSLY MARKED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT.
3. INSTALL SWPPP SIGN AND STABILIZED CONSTRUCTION EXIT.
4. INSTALL PERIMETER SILT FENCES AND INLET PROTECTION AS SHOWN ON THE SITE MAPS. CLEAR ONLY THE MINIMUM AREA NECESSARY TO INSTALL THE PERIMETER CONTROL BMP'S.
5. PREPARE TEMPORARY PARKING, STORAGE AND STOCKPILE AREAS.
6. ROUGH GRADE THE SITE.
7. INSTALL STABILIZATION FOR ALL AREAS TO REMAIN DENUDED FOR A PERIOD OF 21 DAYS OR LONGER. THIS SHALL BE INITIATED WITHIN TWENTY-FOUR (24) HOURS AFTER CONSTRUCTION ACTIVITY CEASES IN THESE AREAS. TEMPORARY SEEDING STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS OF INITIATION.
8. CONTRACTOR TO INSTALL WATER LINE, SANITARY SEWER, AND ALL STORM SEWER.
9. ONCE STORM STRUCTURE INLETS ARE SET, INSTALL INLET PROTECTION IMMEDIATELY. INCLUDE ADDITIONAL STONE FILTER RING AND COIR WATTLE AS NEEDED.
10. PREPARE BUILDING PAD.
11. PROMPTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
12. PREPARE THE SITE FOR PAVING AND INSTALL ALL CURB AND GUTTER AS SOON AS POSSIBLE TO MINIMIZE STORMWATER RUNOFF.
13. MAINTAIN INLET PROTECTION THROUGHOUT THE SITE VERTICAL CONSTRUCTION PHASE.
14. PLACE TOPSOIL ON ALL LANDSCAPED AREAS. SOO OR MULCH ALL DENUDED AREAS WITHIN THE LEASE AREA.
15. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL ONCE FINAL INSPECTION HAS BEEN COMPLETED.

Plotted By: Rodriguez, Alex. M. Sheet: Set-LITTLE HAMPSTEAD DEL TACO Layout: C004-GENERAL EROSION CONTROL NOTES January 17, 2025 11:15:58am K:\CHL_P&T\1717152 Impeccable Development\013 Little Hampstead Development\013 Little Hampstead Infrastructure\02 - DWG\PlanSheets\1-0-Del_Taco\0202 - GENERAL NOTES.dwg

Table with columns: No., DATE, REVISIONS, BY

Kimley Horn logo and contact information: © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 200 SOUTH TRYON ST. SUITE 200, CHARLOTTE, NC 28202. PHONE: 704-335-9131 WWW.KIMLEY-HORN.COM NC LICENSE #F-9702

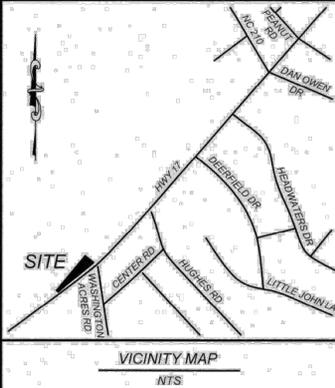


Table with project details: KH PROJECT 117152115, DATE 01/20/2025, SCALE AS SHOWN, DESIGNED BY AMR, DRAWN BY JDH, CHECKED BY AMR

LITTLE HAMPSTEAD - DEL TACO PREPARED FOR IMPECCABLE DEVELOPMENT HAMPSTEAD NC

GENERAL EROSION CONTROL NOTES SHEET NUMBER C004





LEGEND

▲ CALCULATED POINT	AC ACRE	NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
● EXISTING IRON PIPE (EIP)	ACSM AMERICAN CONGRESS ON SURVEYING AND MAPPING	NTS NOT TO SCALE
○ IRON PIPE SET	ALTA AMERICAN LAND TITLE ASSOCIATION	PL. PAGE
■ CONCRETE MONUMENT	B.M. BOOK OF MAPS	P.G.B. POINT OF BEGINNING
○ BORE HOLE	C.B. CATCH BASIN	P.O.C. POINT OF COMMENCEMENT
○ SANITARY SEWER MANHOLE	CMP CORRUGATED METAL PIPE	P.O.L. POINT ON LINE
○ SANITARY SEWER CLEANOUT	D.B. DEED BOOK	R.C.P. REINFORCED CONCRETE PIPE
○ WATER VALVE	E.M. ELECTRIC METER	R.W. RIGHT-OF-WAY
○ WATER METER	FIRM FLOOD INSURANCE RATE MAP	S.F. SQUARE FOOT
○ FIRE HYDRANT	G.P.S. GLOBAL POSITIONING SYSTEM	SMH SANITARY SEWER MANHOLE
○ TELEPHONE PEDESTAL	HUD HOUSING URBAN DEVELOPMENT	STR. STATE ROAD
○ TELEPHONE MANHOLE	HYD. FIRE HYDRANT	T.B.M. TEMPORARY BENCH MARK
○ WATER MANHOLE	INV. INVERT	T.C. TOP CURB
○ ELECTRIC BOX	IPS IRON PIPE SET	T.W.S.P. TOWNSHIP
○ LIGHT POLE	L.L.O. LIMITED LIABILITY COMPANY	TYP. TYPICAL
○ POWER POLE	L.L.O. LIMITED LIABILITY COMPANY	Y.I. YARD INLET
○ CURB INLET	M.P.H. MILES PER HOUR	
○ STORM DRAINAGE MANHOLE	M.S.L. MEAN SEA LEVEL	
○ YARD INLET	N.A.D. NORTH AMERICAN DATUM	
○ STORM DRAIN	N.O. NOW OR FORMERLY	
○ OVERHEAD UTILITIES	NCGS NORTH CAROLINA GEODETIC SURVEY	
○ UNDERGROUND ELECTRIC	NGVD NATIONAL GEODETIC VERTICAL DATUM	
○ UNDERGROUND TELEPHONE		
○ WATER LINE		
○ SANITARY SEWER LINE		
○ GAS LINE		
○ FENCE LINE		

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD	TANGENT
C1	472.93'	11409.16'	2.38°	S50°21'33"W	472.90'	236.50'
C2	272.88'	3487.75'	4.48°	S49°18'19"W	272.81'	136.51'

ALTA SURVEY CERTIFICATION

TO THE DESIGNEE OF: TANNER POSTAL COMMERCIAL REAL ESTATE, LLC AND INVESTORS TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 7(b)(2), 7(c), 8, 9, 11, 13 AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 17, 2022.

DATE OF PLAT OR MAP: 9/5/2022

PRINTED NAME: AARON R. STOCK

LICENSE NUMBER: 5113

SIGNATURE: *[Signature]*



GPS SURVEY CERTIFICATION

I, AARON R. STOCK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS (OR GNSS) SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

CLASS OF SURVEY: CLASS A
 POSITIONAL ACCURACY: 0.07' + 50 PPM OR LESS
 TYPE OF GPS (OR GNSS) FIELD PROCEDURE: OPUS
 DATE(S) OF SURVEY: AUGUST 17, 2022
 DATUM / EPOCH: NAD 83(2011) / 2010.0000
 PUBLISHED / FIXED CONTROL:
 DK3336 NCSL SHALLLOTTE CORS ARP
 DI48997 SCWT WALTERSBORO CORS ARP
 DI1682 NCU LUMBERTON CORS ARP
 DR8074 N03 N03 FORT PULASKI CORS ARP
 DO8857 GAU AUGUSTA UTILITIES CORS ARP
 DM3995 NCR ROCKINGHAM CORS ARP
 DF9211 GACC COLUMBIA COUNTY CORS ARP
 DM3521 NCCF FORT FISHER CORS ARP

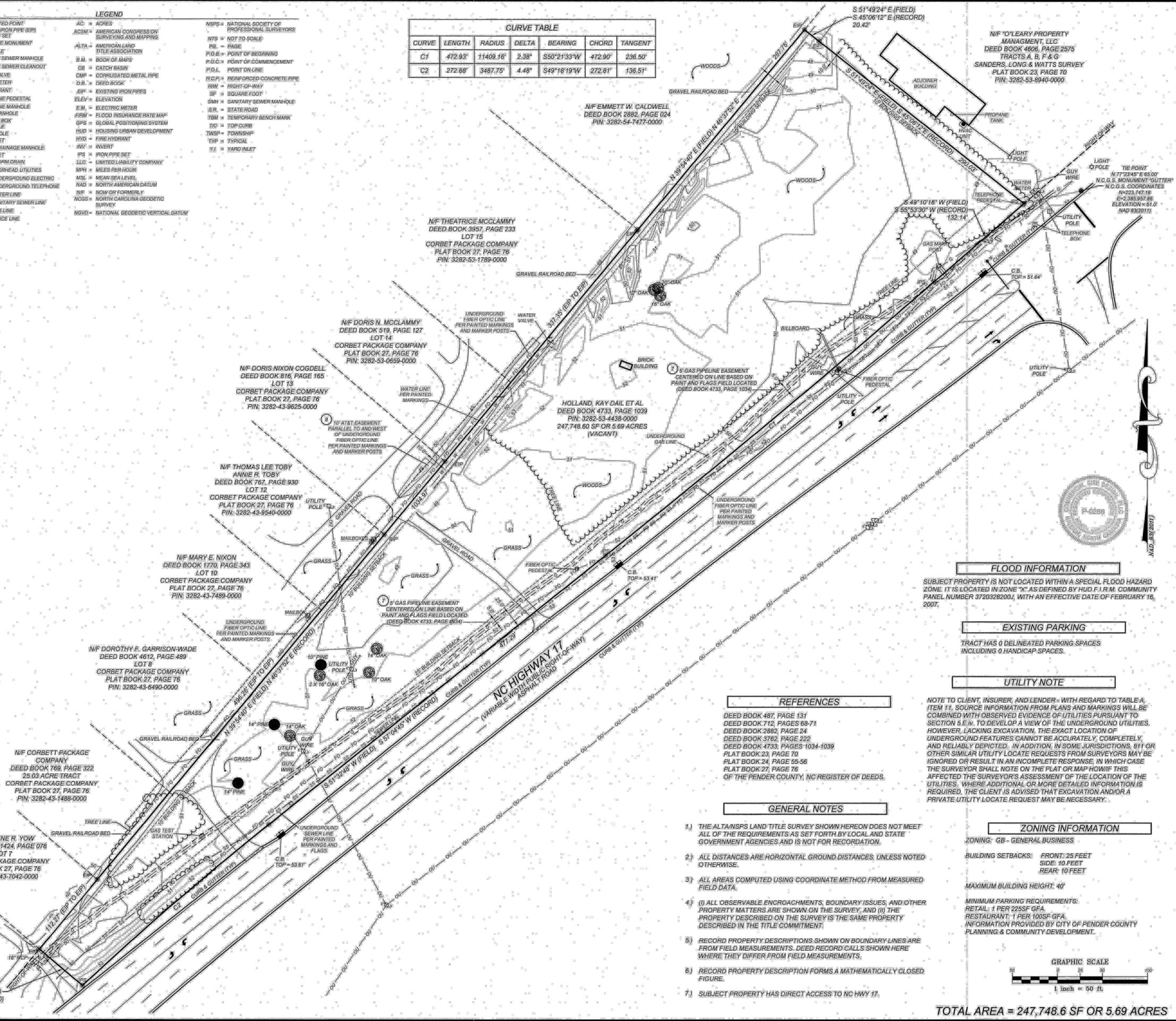
GEOID MODEL: GEOID 18
 COMBINED GRID FACTOR: 0.99999688
 UNITS: US SURVEY FEET

VERTICAL POSITIONS ARE REFERENCED TO NAVD88 USING (GEOID03) COMBINED FACTOR 0.99999688

WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE 5th DAY OF September 2022

SURVEYOR

REGISTRATION NUMBER: 5113



N/F O'LEARY PROPERTY MANAGEMENT, LLC
 DEED BOOK 4806, PAGE 2575
 TRACTS A, B, F & G
 SANDERS, LONG & WATTS SURVEY
 PLAT BOOK 23, PAGE 70
 PIN: 3282-53-8940-0000

N/F EMMETT W. CALDWELL
 DEED BOOK 2882, PAGE 024
 PIN: 3282-54-7477-0000

N/F THEATRICE MCCLAMMY
 DEED BOOK 3957, PAGE 233
 LOT 15
 CORBET PACKAGE COMPANY
 PLAT BOOK 27, PAGE 76
 PIN: 3282-53-1789-0000

N/F DORIS M. MCCLAMMY
 DEED BOOK 919, PAGE 127
 LOT 14
 CORBET PACKAGE COMPANY
 PLAT BOOK 27, PAGE 76
 PIN: 3282-53-1789-0000

N/F DORIS NIXON COGDELL
 DEED BOOK 816, PAGE 165
 LOT 13
 CORBET PACKAGE COMPANY
 PLAT BOOK 27, PAGE 76
 PIN: 3282-43-9625-0000

N/F THOMAS LEE TOBY
 ANNIE R. TOBY
 DEED BOOK 167, PAGE 930
 LOT 12
 CORBET PACKAGE COMPANY
 PLAT BOOK 27, PAGE 76
 PIN: 3282-43-9540-0000

N/F MARY E. NIXON
 DEED BOOK 1770, PAGE 343
 LOT 10
 CORBET PACKAGE COMPANY
 PLAT BOOK 27, PAGE 76
 PIN: 3282-43-7489-0000

N/F DOROTHY F. GARRISON-WADE
 DEED BOOK 4612, PAGE 489
 LOT 8
 CORBET PACKAGE COMPANY
 PLAT BOOK 27, PAGE 76
 PIN: 3282-43-6490-0000

N/F CORBETT PACKAGE COMPANY
 DEED BOOK 769, PAGE 322
 25.03 ACRE TRACT
 CORBET PACKAGE COMPANY
 PLAT BOOK 27, PAGE 76
 PIN: 3282-43-1488-0000

N/F ARLENE R. YOW
 DEED BOOK 1424, PAGE 076
 LOT 7
 CORBET PACKAGE COMPANY
 PLAT BOOK 27, PAGE 76
 PIN: 3282-43-7042-0000

N/F MARY D. MORRISON
 DEED BOOK 474, PAGE 100
 LOT 6
 CORBET PACKAGE COMPANY
 PLAT BOOK 27, PAGE 76
 PIN: 3282-42-6935-0000

- REFERENCES**
- DEED BOOK 487, PAGE 131
 - DEED BOOK 712, PAGES 68-71
 - DEED BOOK 2882, PAGE 24
 - DEED BOOK 3762, PAGE 222
 - DEED BOOK 4733, PAGES 1034-1039
 - PLAT BOOK 23, PAGE 70
 - PLAT BOOK 24, PAGES 55-56
 - PLAT BOOK 27, PAGE 76
 - OF THE PENDER COUNTY, NC REGISTER OF DEEDS.

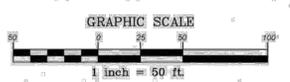
- GENERAL NOTES**
- 1) THE ALTA/NSPS LAND TITLE SURVEY SHOWN HEREON DOES NOT MEET ALL OF THE REQUIREMENTS AS SET FORTH BY LOCAL AND STATE GOVERNMENT AGENCIES AND IS NOT FOR RECORDATION.
 - 2) ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, UNLESS NOTED OTHERWISE.
 - 3) ALL AREAS COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
 - 4) (I) ALL OBSERVABLE ENCROACHMENTS, BOUNDARY ISSUES, AND OTHER PROPERTY MATTERS ARE SHOWN ON THE SURVEY; AND (II) THE PROPERTY DESCRIBED ON THE SURVEY IS THE SAME PROPERTY DESCRIBED IN THE TITLE COMMITMENT.
 - 5) RECORD PROPERTY DESCRIPTIONS SHOWN ON BOUNDARY LINES ARE FROM FIELD MEASUREMENTS. DEED RECORD CALLS SHOWN HERE WHERE THEY DIFFER FROM FIELD MEASUREMENTS.
 - 6) RECORD PROPERTY DESCRIPTION FORMS A MATHEMATICALLY CLOSED FIGURE.
 - 7) SUBJECT PROPERTY HAS DIRECT ACCESS TO NC HWY 17.

FLOOD INFORMATION
 SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 37203282001, WITH AN EFFECTIVE DATE OF FEBRUARY 16, 2007.

EXISTING PARKING
 TRACT HAS 0 DELINEATED PARKING SPACES INCLUDING 0 HANDICAP SPACES.

UTILITY NOTE
 NOTE TO CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.5.1. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DETERMINED. IN ADDITION, IN SOME JURISDICTIONS, 511 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

ZONING INFORMATION
 ZONING: GB - GENERAL BUSINESS
 BUILDING SETBACKS: FRONT: 25 FEET
 SIDE: 10 FEET
 REAR: 10 FEET
 MAXIMUM BUILDING HEIGHT: 40'
 MINIMUM PARKING REQUIREMENTS:
 RETAIL: 1 PER 225SF GFA
 RESTAURANT: 1 PER 100SF GFA
 INFORMATION PROVIDED BY CITY OF PENDER COUNTY PLANNING & COMMUNITY DEVELOPMENT.



TOTAL AREA = 247,748.6 SF OR 5.69 ACRES

EXISTING CONDITIONS SURVEY C101

REVISIONS

NO.	DATE	DESCRIPTION	BY

COMMERCIAL SITE DESIGN

892 CREEDMOOR ROAD
 RALEIGH, NORTH CAROLINA 27613
 (919) 848-4021 FAX: (919) 848-7741
 WWW.CSDESIGN.COM

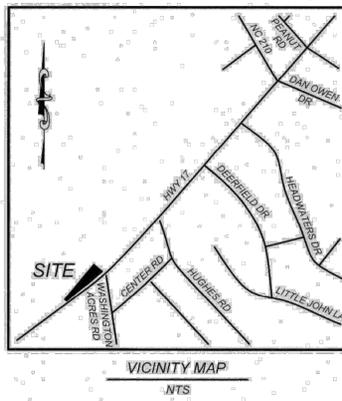
CLIENT:
 MR. ROB TANNER
 TANNER POSTAL COMMERCIAL
 REAL ESTATE LLC

PROPERTY OF:
 WILLIAM H. DAIL AND KATHERINE DAIL MOBLEY AND KAY DAIL
 HOLLAND, BEING ALL OF THE HEIRS OF EUGENIA KING DAIL
 13821 HWY 17, HAMPSTEAD NC 28443
 PENDER COUNTY, NORTH CAROLINA
 ALTA/NSPS LAND TITLE SURVEY

PROJECT NO: TLA-2202
 PLAN NAME: TLA-2202-AT
 DRAWN BY: JAS
 SCALE: 1" = 50'
 DATE: 09-06-2022
 SHEET NO. 1 of 2

FOR REFERENCE ONLY

Plotted By: Rodriguez, Alex M. Sheet Set: LITTLE - HAMPSTEAD DEL TACO Layout: C101 EXISTING CONDITIONS SURVEY January 17, 2025 11:16:16am K:\CHL_P\RJ\17152 Inseparable Development\15 Little Hampstead Infrastructure\02 - DWG\Plansheets\C101 - EXIST_COND_PLAN.dwg



- SCHEDULE B - SECTION II**
 INVESTORS TITLE INSURANCE COMPANY
 COMMITMENT NUMBER: 202214976ASL
 COMMITMENT DATE: AUGUST 02, 2022 @ 12:00 A.M.
- SCHEDULE B - SECTION II**
 EXCEPTIONS
- MATTERS SHOWN ON RECORDED IN PLAT BOOK 1 AT PAGE 5 AND IN PLAT BOOK 24 AT PAGE 55. (AFFECTS SUBJECT PROPERTY)
 - TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF U.S. HWY 17 (FORMERLY LYING HWY 33). (AFFECTS SUBJECT PROPERTY)
 - TITLE TO THAT PORTION OF THE LAND LYING WITHIN THE BOUNDS OF THE RAILROAD RIGHT OF WAY OF SEABOARD COAST LINE RAILROAD. (AFFECTS SUBJECT PROPERTY)
 - EASEMENT(S) TO PIEDMONT NATURAL GAS COMPANY RECORDED IN BOOK 4733 AT PAGE 1034. (AFFECTS SUBJECT PROPERTY - AS SHOWN HEREON)
 - EASEMENT(S) TO AT & T RECORDED IN BOOK 1161 AT PAGE 168. (AFFECTS SUBJECT PROPERTY - AS SHOWN HEREON)
 - EASEMENT(S) TO DEPARTMENT OF TRANSPORTATION RECORDED IN BOOK 1149 AT PAGE 189. (AFFECTS SUBJECT PROPERTY)

PROPERTY DESCRIPTION (RECORD)

BEGINNING AT AN IRON PIPE IN THE NORTHWESTERN RIGHT OF WAY LINE OF U.S. 17, FORMERLY N.C. 30, 50 FEET FROM THE CENTERLINE THEREOF, SAID BEGINNING IRON PIPE BEING THE MOST SOUTHERN CORNER OF TRACT F AS SHOWN ON A MAP ENTITLED "COMPOSITE MAP OF SURVEY FOR CHRISTINE WARD SANDERS AND LAURA WARD LONG, FITZHUGH LEE, AND LEONARD WATTS AND WIFE, ANITA R. WATTS" RECORDED IN MAP BOOK 23, AT PAGE 70 OF THE PENDER COUNTY REGISTRY;

RUNNING THENCE FROM SAID BEGINNING POINT WITH THE ABOVE-MENTIONED NORTHWESTERN RIGHT OF WAY LINE OF U.S. 17, SOUTH 55 DEGREES 53 MINUTES 30 SECONDS WEST 132.14 FEET TO AN IRON PIPE AT THE BEGINNING OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 11,409.1559 FEET;

RUNNING AGAIN WITH SAID CURVED RIGHT OF WAY LINE TO AN IRON PIPE AT THE END OF SAID CURVE, SAID IRON PIPE BEING LOCATED A CHORD BEARING AND DISTANCE OF SOUTH 57 DEGREES 04 MINUTES 45 SECONDS WEST 472.895 FEET FROM THE PRECEDING IRON PIPE;

RUNNING THENCE AGAIN WITH SAID RIGHT OF WAY LINE, SOUTH 58 DEGREES 16 MINUTES 00 SECONDS WEST 477.29 FEET TO AN IRON PIPE AT THE BEGINNING OF A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 3487.7468 FEET;

RUNNING THENCE AGAIN WITH A PORTION OF SAID CURVED RIGHT OF WAY LINE TO A CONCRETE MONUMENT THAT IS LOCATED A CHORD BEARING AND DISTANCE OF SOUTH 56 DEGREES 01 MINUTES 31 SECONDS WEST 272.81 FEET FROM THE PRECEDING POINT, (SAID CONCRETE MONUMENT BEING LOCATED NORTH 67 DEGREES 42 MINUTES 07 SECONDS EAST 125.48 FEET FROM U.S.C. & G.S. B.M. P-148 WHICH IS LOCATED SOUTH 67 DEGREES 03 MINUTES 45 SECONDS WEST 1539.44 FEET FROM N.C.G.S. HORIZONTAL CONTROL MARK ACRES 1984);

RUNNING THENCE FROM THE LAST MENTIONED CONCRETE MONUMENT AT RIGHT ANGLES TO THE FORMER CENTERLINE OF THE SEABOARD COAST LINE RAILROAD, NORTH 43 DEGREES 22 MINUTES 08 SECONDS WEST 62.50 FEET TO A SUBSURFACE IRON PIPE IN THE FORMER CENTERLINE OF SAID RAILROAD;

RUNNING THENCE WITH THE FORMER CENTERLINE OF THE SEABOARD COASTLINE RAILROAD, NORTH 46 DEGREES 37 MINUTES 52 SECONDS EAST 1034.97 FEET TO A SUBSURFACE IRON PIPE;

RUNNING THENCE AGAIN WITH THE FORMER CENTERLINE OF SAID RAILROAD, NORTH 46 DEGREES 37 MINUTES 52 SECONDS EAST 287.75 FEET TO A SUBSURFACE IRON PIPE AT THE MOST WESTERN CORNER OF TRACT A AS SHOWN ON THE ABOVE MENTIONED MAP;

RUNNING THENCE WITH THE SOUTHWESTERN LINE OF THE ABOVE-MENTIONED TRACT A, SOUTH 45 DEGREES 06 MINUTES 12 SECONDS EAST 20.42 FEET TO AN IRON PIPE AT THE MOST WESTERN CORNER OF TRACT F AS SHOWN ON THE ABOVE MENTIONED MAP;

RUNNING THENCE WITH THE SOUTHWESTERN LINE OF THE ABOVE MENTIONED TRACT F, SOUTH 45 DEGREES 06 MINUTES 12 SECONDS EAST 290.03 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.6875 ACRES.

PROPERTY DESCRIPTION (FIELD)

COMMENCING AT N.C.G.S. MONUMENT "GUTTER" GRID COORDINATES N=223,747.18 E=2,385,957.86 NAD, 83(2011), THENCE SOUTH 77 DEGREES 23 MINUTES 45 SECONDS WEST 65.00 FEET TO THE POINT OF BEGINNING, SAID POINT BEING AN IRON PIPE IN THE NORTHWESTERN RIGHT OF WAY LINE OF U.S. 17, FORMERLY N.C. 30, 50 FEET FROM THE CENTERLINE THEREOF; SAID BEGINNING IRON PIPE BEING THE MOST SOUTHERN CORNER OF TRACT F AS SHOWN ON A MAP ENTITLED "COMPOSITE MAP OF SURVEY FOR CHRISTINE WARD SANDERS AND LAURA WARD LONG, FITZHUGH LEE, AND LEONARD WATTS AND WIFE, ANITA R. WATTS" RECORDED IN MAP BOOK 23, AT PAGE 70 OF THE PENDER COUNTY REGISTRY;

RUNNING THENCE FROM SAID BEGINNING POINT, ALONG AND WITH THE NORTHWESTERN RIGHT OF WAY LINE OF U.S. 17, SOUTH 49 DEGREES 10 MINUTES 18 SECONDS WEST 132.14 FEET TO AN IRON PIPE;

THENCE CONTINUING ALONG AND WITH THE NORTHWESTERN RIGHT OF WAY LINE OF U.S. 17 ALONG A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 11,409.16 FEET, AN ARC LENGTH OF 472.93 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 57 DEGREES 21 MINUTES 33 SECONDS WEST 472.90 FEET TO AN IRON PIPE AT THE END OF SAID CURVE;

THENCE CONTINUING ALONG AND WITH THE NORTHWESTERN RIGHT OF WAY LINE OF U.S. 17, SOUTH 51 DEGREES 32 MINUTES 48 SECONDS WEST 477.29 FEET TO AN IRON PIPE;

THENCE CONTINUING ALONG AND WITH THE NORTHWESTERN RIGHT OF WAY LINE OF U.S. 17 ALONG A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 3487.75 FEET, AN ARC LENGTH OF 272.88 FEET, A CHORD BEARING AND DISTANCE OF SOUTH 49 DEGREES 18 MINUTES 19 SECONDS WEST 272.81 FEET TO AN IRON PIPE SET;

THENCE CONTINUING ALONG AND WITH THE RIGHT OF WAY LINE OF U.S. 17, AT RIGHT ANGLES TO THE FORMER CENTERLINE OF THE SEABOARD COAST LINE RAILROAD, NORTH 50 DEGREES 05 MINUTES 20 SECONDS WEST 62.50 FEET TO AN IRON PIPE FOUND IN THE FORMER CENTERLINE OF SAID RAILROAD;

RUNNING THENCE WITH THE FORMER CENTERLINE OF THE SEABOARD COASTLINE RAILROAD, NORTH 39 DEGREES 54 MINUTES 40 SECONDS EAST PASSING AT 112.27 FEET AN IRON PIPE FOUND AT THE CORNER OF LOT 7, PASSING AT 496.26 FEET AN IRON PIPE FOUND AT THE CORNER OF LOT 12, AND CONTINUING 337.35 FEET FOR A TOTAL DISTANCE OF 1034.97 FEET TO AN IRON PIPE FOUND AT THE CORNER OF LOT 15;

RUNNING THENCE AGAIN WITH THE FORMER CENTERLINE OF SAID RAILROAD, NORTH 39 DEGREES 54 MINUTES 40 SECONDS EAST 287.75 FEET TO AN IRON PIPE AT THE MOST WESTERN CORNER OF TRACT A AS SHOWN ON THE ABOVE MENTIONED MAP;

RUNNING THENCE WITH THE SOUTHWESTERN LINE OF THE ABOVE MENTIONED TRACT A, SOUTH 51 DEGREES 49 MINUTES 24 SECONDS EAST 20.42 FEET TO AN IRON PIPE AT THE MOST WESTERN CORNER OF TRACT F AS SHOWN ON THE ABOVE MENTIONED MAP;

CONTINUING THENCE WITH THE SOUTHWESTERN LINE OF THE ABOVE MENTIONED TRACT F, SOUTH 51 DEGREES 49 MINUTES 24 SECONDS EAST 290.03 FEET TO THE POINT OF BEGINNING AND CONTAINING 247.748 6 SQUARE FEET OR 5.69 ACRES.



NO.	DATE	DESCRIPTION	BY

COMMERCIAL SITE DESIGN

812 CREEDMOOR ROAD
 RALEIGH, NORTH CAROLINA 27618
 (919) 846-6721 FAX: (919) 848-5741
 WWW.CSITDESIGN.COM

CLIENT:
 MR. ROB TANNER
 TANNER POSTAL COMMERCIAL
 REAL ESTATE LLC

PROPERTY OF:
 WILLIAM H. DAIL AND KATHERINE DAIL MOBLEY AND KAY DAIL
 HOLLAND, BEING ALL OF THE HEIRS OF EUGENIA KING DAIL
 13821 HWY 17, HAMPSTEAD, NC 28443
 PENDER COUNTY, NORTH CAROLINA

AL TANSPS LAND TITLE SURVEY

PROJECT NO: TLA-2202
 FILENAME: TLA-2202-AT
 DRAWN BY: JAS
 SCALE: 1" = 50'
 DATE: 09-06-2022
 SHEET NO: 2 of 2

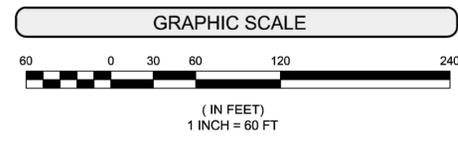
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 X:\117152 - Tanner Land & Associates\117152 - Hampstead, NC\Drawings\117152-AT.dwg 1/15/2025 11:16:35 AM

FOR REFERENCE ONLY

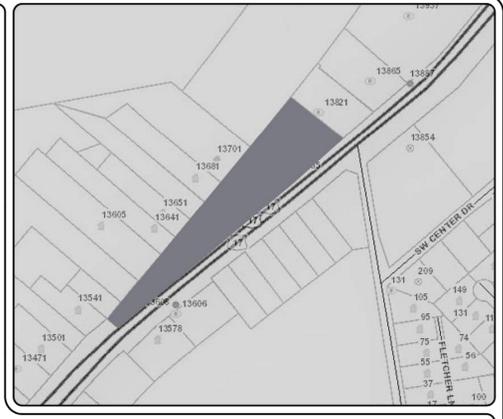
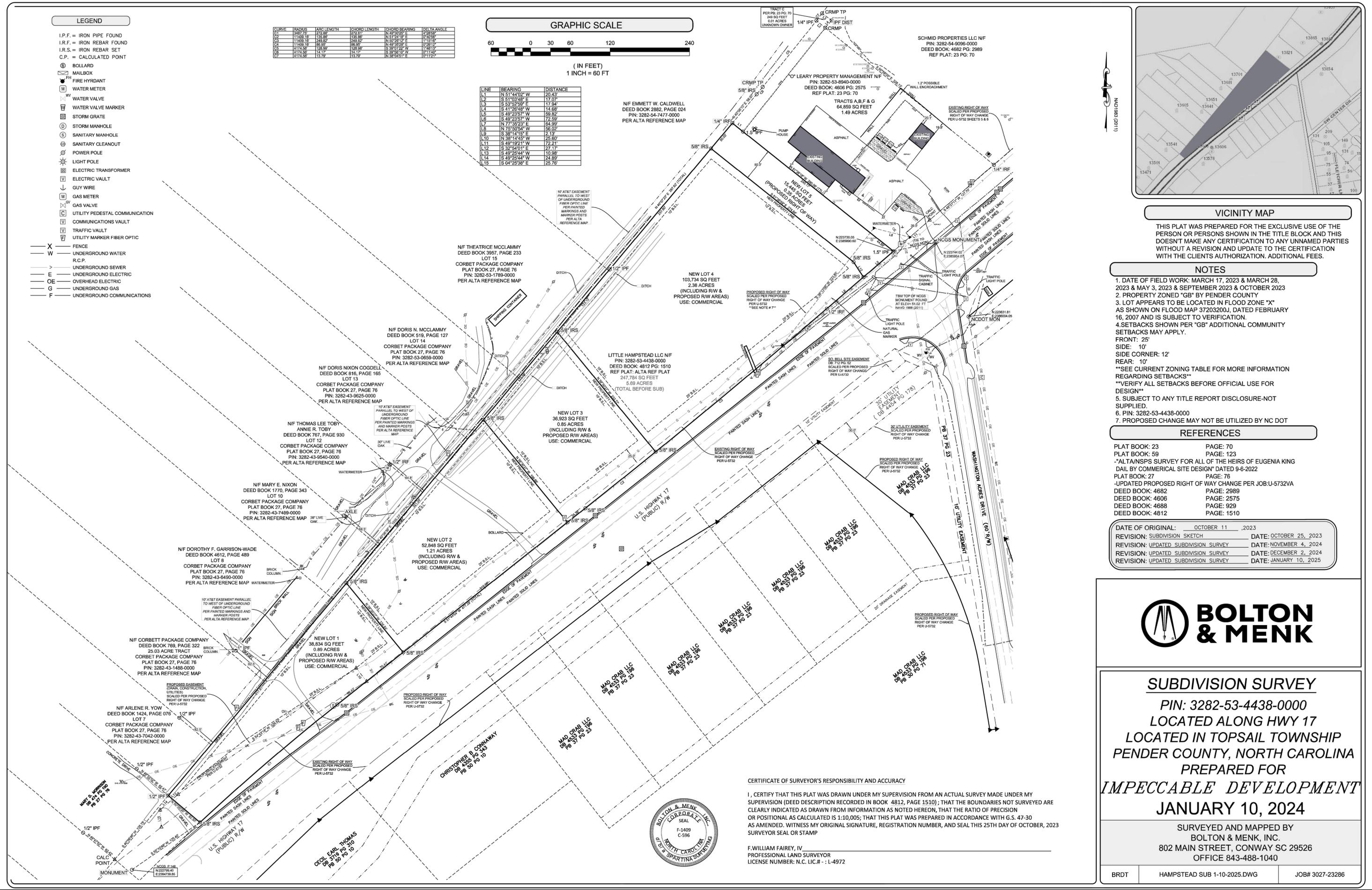
LEGEND

- I.P.F. = IRON PIPE FOUND
- I.R.F. = IRON REBAR FOUND
- I.R.S. = IRON REBAR SET
- C.P. = CALCULATED POINT
- ⊙ BOLLARD
- ☒ MAILBOX
- ⊙ FIRE HYDRANT
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ WATER VALVE MARKER
- ⊙ STORM GRATE
- ⊙ STORM MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ SANITARY CLEANOUT
- ⊙ POWER POLE
- ⊙ LIGHT POLE
- ⊙ ELECTRIC TRANSFORMER
- ⊙ ELECTRIC VAULT
- ⊙ GUY WIRE
- ⊙ GAS METER
- ⊙ GAS VALVE
- ⊙ UTILITY PEDESTAL COMMUNICATION
- ⊙ COMMUNICATIONS VAULT
- ⊙ TRAFFIC VAULT
- ⊙ UTILITY MARKER FIBER OPTIC
- X — FENCE
- W — UNDERGROUND WATER
- R.C.P. — R.C.P.
- > — UNDERGROUND SEWER
- E — OVERHEAD ELECTRIC
- OE — UNDERGROUND ELECTRIC
- G — UNDERGROUND GAS
- F — UNDERGROUND COMMUNICATIONS

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
CA	11400.00	118.82	118.82	N 51° 34' 10" E	179.99
CB	11400.00	118.82	118.82	N 51° 34' 10" E	179.99
CC	11400.00	118.82	118.82	N 51° 34' 10" E	179.99
CD	11400.00	118.82	118.82	N 51° 34' 10" E	179.99
CE	11400.00	118.82	118.82	N 51° 34' 10" E	179.99
CF	11400.00	118.82	118.82	N 51° 34' 10" E	179.99
CG	11400.00	118.82	118.82	N 51° 34' 10" E	179.99
CH	11400.00	118.82	118.82	N 51° 34' 10" E	179.99
CI	11400.00	118.82	118.82	N 51° 34' 10" E	179.99
CJ	11400.00	118.82	118.82	N 51° 34' 10" E	179.99



LINE	BEARING	DISTANCE
L1	S 51° 34' 10" W	20.43
L2	S 51° 34' 10" E	17.07
L3	S 53° 52' 20" E	17.94
L4	S 11° 26' 00" W	14.88
L5	S 49° 23' 57" W	59.82
L6	S 49° 23' 57" W	72.59
L7	N 77° 33' 52" E	54.99
L8	N 75° 50' 54" W	56.02
L9	S 38° 14' 15" E	2.13
L10	N 38° 14' 15" W	25.82
L11	S 49° 19' 21" W	72.21
L12	S 32° 54' 01" E	27.17
L13	S 49° 23' 57" W	10.88
L14	S 49° 23' 57" W	24.89
L15	S 04° 25' 38" E	25.76



VICINITY MAP

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR PERSONS SHOWN IN THE TITLE BLOCK AND THIS DOESN'T MAKE ANY CERTIFICATION TO ANY UNNAMED PARTIES WITHOUT A REVISION AND UPDATE TO THE CERTIFICATION WITH THE CLIENTS AUTHORIZATION. ADDITIONAL FEES.

- NOTES**
- DATE OF FIELD WORK: MARCH 17, 2023 & MARCH 28, 2023 & MAY 3, 2023 & SEPTEMBER 2023 & OCTOBER 2023
 - PROPERTY ZONED "GB" BY PENDER COUNTY
 - LOT APPEARS TO BE LOCATED IN FLOOD ZONE "X" AS SHOWN ON FLOOD MAP 37203200J, DATED FEBRUARY 16, 2007 AND IS SUBJECT TO VERIFICATION.
 - SETBACKS SHOWN PER "GB" ADDITIONAL COMMUNITY SETBACKS MAY APPLY.
FRONT: 25'
SIDE: 10'
SIDE CORNER: 12'
REAR: 10'
 - **SEE CURRENT ZONING TABLE FOR MORE INFORMATION REGARDING SETBACKS**
 - **VERIFY ALL SETBACKS BEFORE OFFICIAL USE FOR DESIGN**
 - SUBJECT TO ANY TITLE REPORT DISCLOSURE-NOT SUPPLIED.
 - PIN: 3282-53-4438-0000
 - PROPOSED CHANGE MAY NOT BE UTILIZED BY NC DOT

REFERENCES

PLAT BOOK: 23	PAGE: 70
PLAT BOOK: 59	PAGE: 123
-ALTA/NSPS SURVEY FOR ALL OF THE HEIRS OF EUGENIA KING DAIL BY COMMERCIAL SITE DESIGN' DATED 9-6-2022	
PLAT BOOK: 27	PAGE: 76
-UPDATED PROPOSED RIGHT OF WAY CHANGE PER JOB: U-5732VA	
DEED BOOK: 4682	PAGE: 2989
DEED BOOK: 4606	PAGE: 2575
DEED BOOK: 4688	PAGE: 929
DEED BOOK: 4812	PAGE: 1510

DATE OF ORIGINAL:	OCTOBER 11, 2023
REVISION: SUBDIVISION SKETCH	DATE: OCTOBER 25, 2023
REVISION: UPDATED SUBDIVISION SURVEY	DATE: NOVEMBER 4, 2024
REVISION: UPDATED SUBDIVISION SURVEY	DATE: DECEMBER 2, 2024
REVISION: UPDATED SUBDIVISION SURVEY	DATE: JANUARY 10, 2025



SUBDIVISION SURVEY

PIN: 3282-53-4438-0000

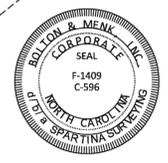
LOCATED ALONG HWY 17
LOCATED IN TOPSAIL TOWNSHIP
PENDER COUNTY, NORTH CAROLINA
PREPARED FOR
IMPECCABLE DEVELOPMENT
JANUARY 10, 2024

SURVEYED AND MAPPED BY
BOLTON & MENK, INC.
802 MAIN STREET, CONWAY SC 29526
OFFICE 843-488-1040

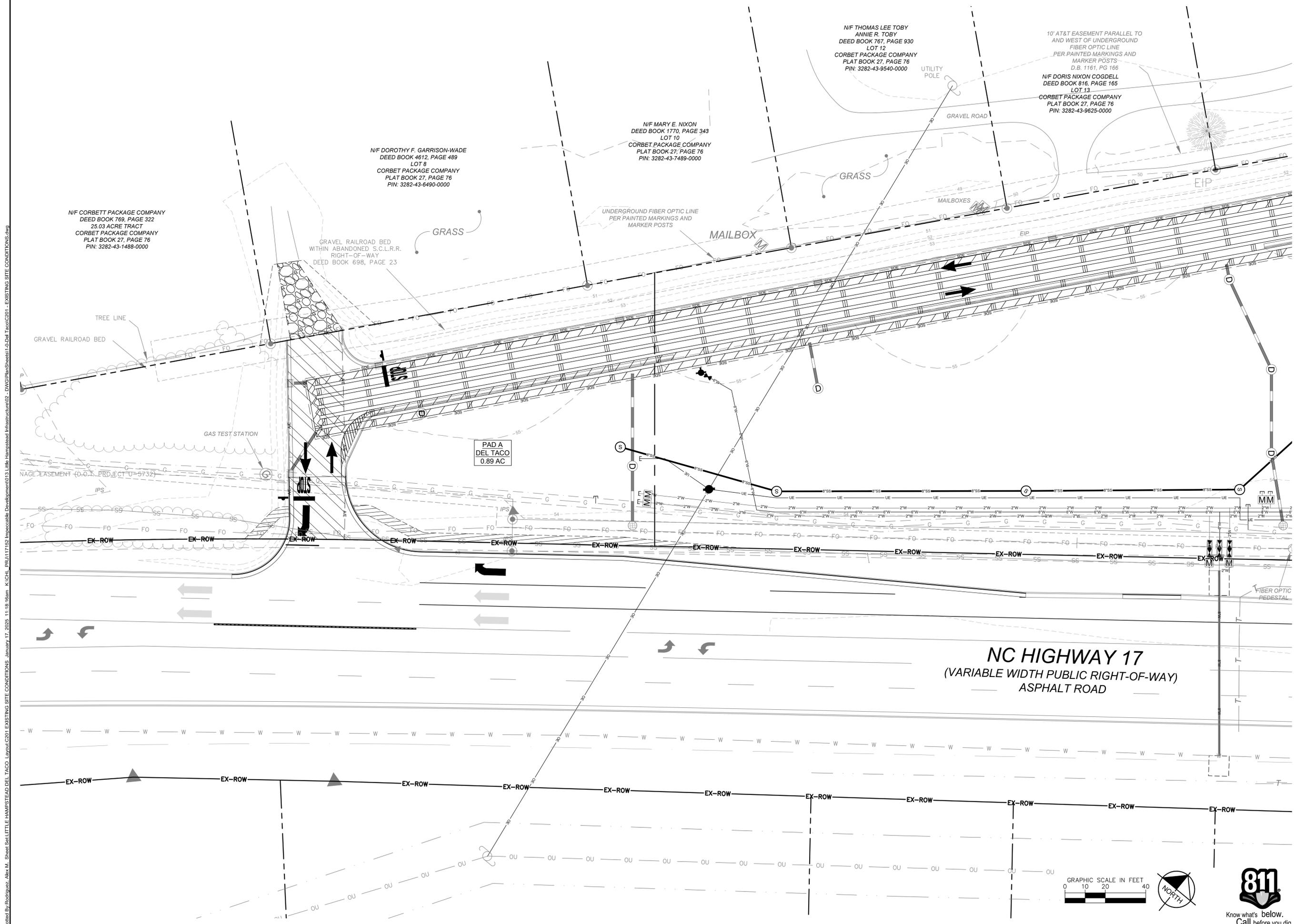
CERTIFICATE OF SURVEYOR'S RESPONSIBILITY AND ACCURACY

I, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 4812, PAGE 1510); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION AS NOTED HEREON; THAT THE RATIO OF PRECISION OR POSITIONAL AS CALCULATED IS 1:10,005; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 25TH DAY OF OCTOBER, 2023 SURVEYOR SEAL OR STAMP

F. WILLIAM FAIREY, IV
PROFESSIONAL LAND SURVEYOR
LICENSE NUMBER: N.C. LIC.# : L-4972



REFERENCE ONLY

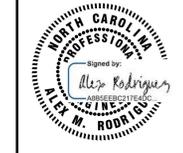


Plotted By: Rodriguez, Alex M. Sheet Set: LITTLE HAMPSTEAD DEL TACO. Layout: C201. EXISTING SITE CONDITIONS. January 17, 2025 11:18:16am. K:\CHL_P\117152_Impeccable Development\013 Little Hampstead Infrastructure\02 - DWG\Plan\Sheets\1-0-Del_Taco\C201 - EXISTING SITE CONDITIONS.dwg

No.	REVISIONS	DATE	BY

Kimley **Horn**

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 200 SOUTH TRYON ST. SUITE 200, CHARLOTTE, NC 28202
 WWW.KIMLEY-HORN.COM
 PHONE: 704-353-5131
 NC LICENSE #P-102



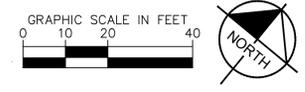
KH PROJECT	117152115
DATE	01/20/2025
SCALE	AS SHOWN
DESIGNED BY	AMR
DRAWN BY	JDH
CHECKED BY	AMR

EXISTING SITE CONDITIONS

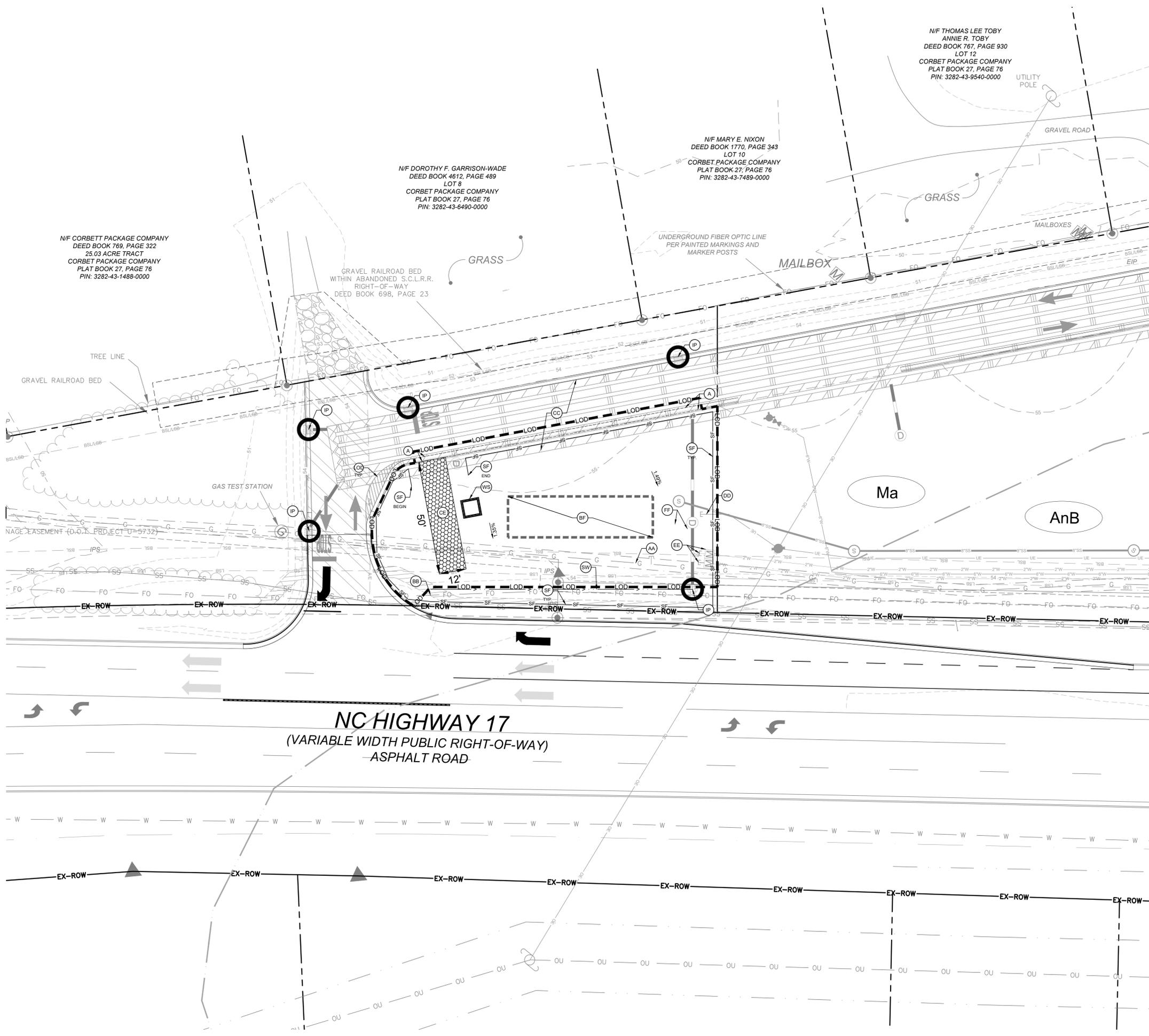
LITTLE HAMPSTEAD - DEL TACO PREPARED FOR IMPECCABLE DEVELOPMENT

HAMPSTEAD NC

SHEET NUMBER **C201**



Plotted By: Rodriguez, Alex M. Sheet: Set: LITTLE HAMPSTEAD DEL TACO. Layout: C202 DEMOLITION & EROSION CONTROL PLAN. January 17, 2025 11:19:20am. K:\CHL - PROJ\117152 - Impeccable Development\013 Little Hampstead Infrastructure\02 - DWG\PlanSheets\1-0-Del_Taco\0105 - DEMO.dwg



NOTE TO CONTRACTOR

CONTRACTOR SHALL TAKE EXTREME CARE WHEN WORKING AROUND EXISTING UTILITIES. CONTRACTOR SHALL REPAIR ANY DAMAGED FEATURES/UTILITIES TO THAT OF EXISTING OR BETTER CONDITION.

CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL REPAIRS TO ANY DAMAGED ROADWAYS, CURB AND GUTTER, ASPHALT, ETC.

CONTRACTOR SHALL COMPLETELY REMOVE ALL FEATURES WITHIN THE LIMITS OF CONSTRUCTION / OVERALL PROJECT BOUNDARY IN ORDER TO CONSTRUCT PROPOSED IMPROVEMENTS AS SHOWN IN THESE PLANS.

ALERT TO CONTRACTOR

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEC AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEC AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

SITE PROTECTION LEGEND

AA	EXISTING GAS STRUCTURE OR PIPE TO BE PROTECTED IN PLACE
BB	EXISTING FIBER OPTIC STRUCTURE OR LINE TO BE PROTECTED IN PLACE
CC	EXISTING STORM STRUCTURE OR PIPE TO BE PROTECTED IN PLACE
DD	EXISTING ELECTRICAL STRUCTURE OR LINE TO BE PROTECTED IN PLACE
EE	EXISTING WATER STRUCTURE OR LINE TO BE PROTECTED IN PLACE
FF	EXISTING SANITARY SEWER STRUCTURE OR LINE TO BE PROTECTED IN PLACE

DEMOLITION LEGEND

---	SAWCUT A CLEAN EDGE
-----	---------------------

DEMOLITION KEY NOTE LEGEND

A	REMOVE EXISTING ASPHALT PAVEMENT, CURB AND GUTTER, OR CONCRETE WALK PER SPECIFICATIONS. SAWCUT A CLEAN EDGE.
---	--

PROPOSED ESCP LEGEND

---	LOD - LIMITS OF DISTURBANCE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	BUILDING FOOTPRINT
XxX	SOIL TYPE
---	SOIL TYPE BOUNDARY
SF	TEMPORARY SILT FENCE
---	EXISTING STORM PIPE
---	CONSTRUCTION ENTRANCE
IP	INLET PROTECTION
IP	CONCRETE WASHOUT STATION
SA	0.00% SLOPE ARROW / FLOW ARROW
SW	DITCH/SWALE FLOWLINE

NOTES TO CONTRACTOR

- REFER TO GENERAL NOTES SHEETS FOR EROSION CONTROL NOTES.
- NORTHEAST CAPE FEAR RIVER BASIN IS THE RECEIVING WATER BODY OF STORMWATER DISCHARGE FROM THIS SITE.
- ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM A SITE WITH AN APPROVED EROSION CONTROL PLAN. A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT OR PER DIVISION OF SOLID WASTE MANAGEMENT OR DIVISION OF WATER RESOURCES RULES AND REGULATIONS.
- STOCKPILES SHOULD NOT BE LOCATED WITHIN 50 FEET OF ANY STORM DRAIN, BASIN, OR STREAM UNLESS NO ALTERNATIVE IS FEASIBLE.
- EFFECTIVE OCTOBER 1, 2010, PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT THE SEDIMENT AND EROSION CONTROL MEASURES ON A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF INSPECTION REPORTS ARE REQUIRED. A SAMPLE SELF-INSPECTION REPORT, AS WELL AS DETAILS OF THE SELF-INSPECTION PROGRAM, CAN BE FOUND ON THE LAND QUALITY WEB SITE.

INSPECTOR	DISTURBED AREA
NCDEQ EROSION AND SEDIMENT CONTROL (910) 796-7215	TOTAL - ± 0.24 ACRES

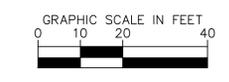
OUTFALLS

OUTFALL 1: DRAINS TO EXISTING WETLANDS NORTH OF THE SITE

SOIL TYPES LEGEND:

Ma - Mandarin fine sand

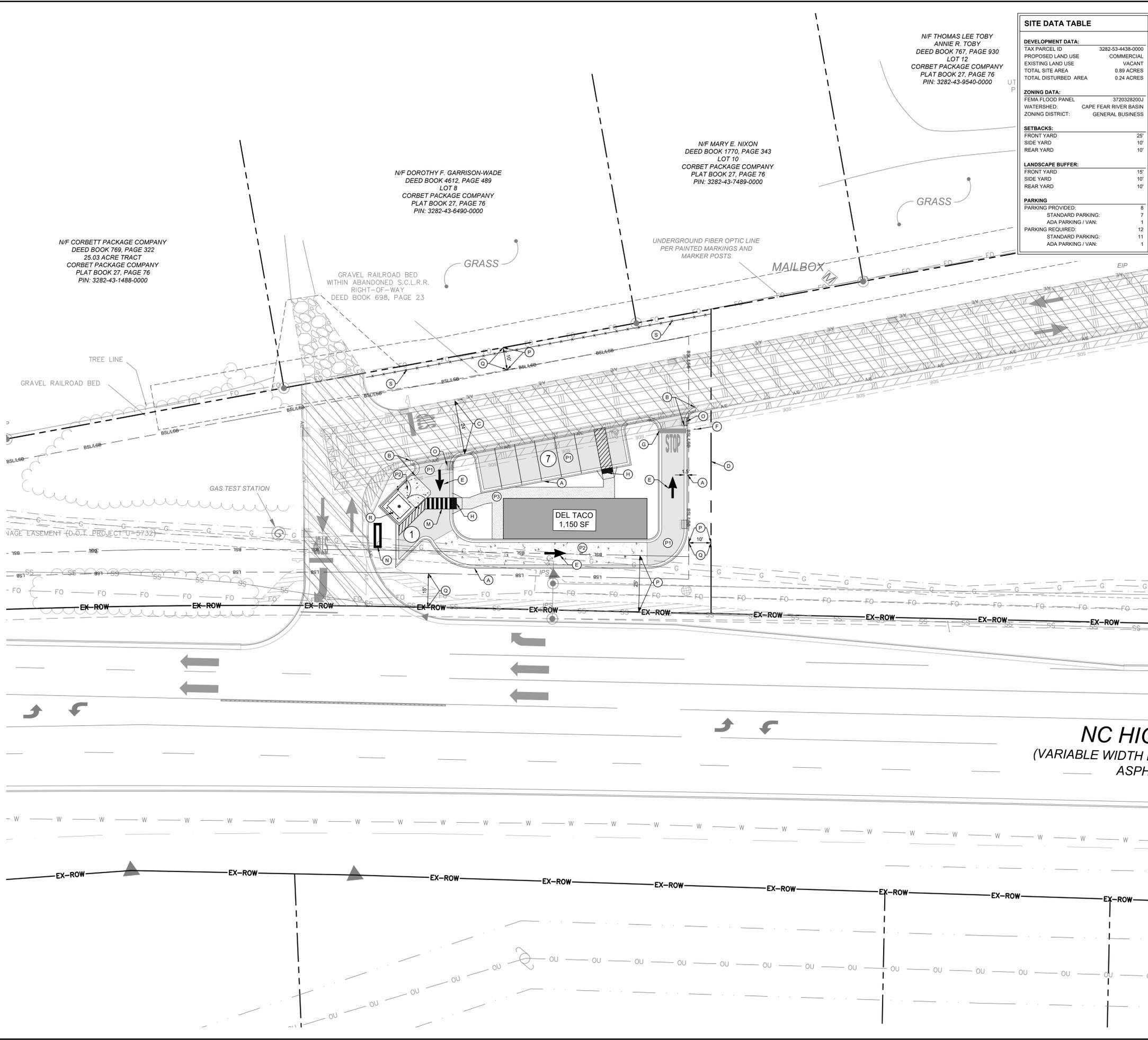
CAUTION!!
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION



Know what's below.
Call before you dig.

DATE	
REVISIONS	
No.	
© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 200 SOUTH TRYON ST. SUITE 200, CHARLOTTE, NC 28202 WWW.KIMLEY-HORN.COM NC LICENSE #P-702	
KH PROJECT	117152115
DATE	01/20/2025
SCALE	AS SHOWN
DESIGNED BY	AMR
DRAWN BY	JDH
CHECKED BY	AMR
DEMOLITION & EROSION CONTROL PLAN	
LITTLE HAMPSTEAD - DEL TACO PREPARED FOR IMPECCABLE DEVELOPMENT	
SHEET NUMBER C202	

Plotted By: Rodriguez, Alex M. Sheet Set: LITTLE HAMPSTEAD DEL TACO. Layout: C301 - SITE OVERALL. January 17, 2025 11:20:08am K:\CHL_P\PROJECTS\2025\20250117\25 Impeccable Development\013 Little Hampstead Infrastructure\02 - DWG\Plan\Sheets\1-0-Del Taco\C301 - SITE OVERALL.dwg



SITE DATA TABLE	
DEVELOPMENT DATA:	
TAX PARCEL ID	3282-53-4438-0000
PROPOSED LAND USE	COMMERCIAL
EXISTING LAND USE	VACANT
TOTAL SITE AREA	0.89 ACRES
TOTAL DISTURBED AREA	0.24 ACRES
ZONING DATA:	
FEMA FLOOD PANEL	3720328200J
WATERSHED:	CAPE FEAR RIVER BASIN
ZONING DISTRICT:	GENERAL BUSINESS
SETBACKS:	
FRONT YARD	25'
SIDE YARD	10'
REAR YARD	10'
LANDSCAPE BUFFER:	
FRONT YARD	15'
SIDE YARD	10'
REAR YARD	10'
PARKING	
PARKING PROVIDED:	8
STANDARD PARKING:	7
ADA PARKING / VAN:	1
PARKING REQUIRED:	12
STANDARD PARKING:	11
ADA PARKING / VAN:	1

- SITE DEVELOPMENT PLAN NOTES**
- SEE "GENERAL NOTES" SHEET FOR SITE GENERAL CONSTRUCTION NOTES, PAVING, STRIPING, GRADING, AND ZONING NOTES.
 - SEE "EXISTING CONDITIONS" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING AND USE.
 - SEE "SITE DETAILS" SHEETS FOR DETAILS REFERENCED ON THE SITE PLANS.
 - ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS LABELED "EOP" ARE MEASURED FROM LIP OF GUTTER TO LIP OF GUTTER.
 - DIMENSIONS TO THE BUILDING ARE MEASURED TO THE EXTERIOR OF THE FOUNDATION WALL UNLESS OTHERWISE SHOWN.
 - BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE. REFER TO RECORDED PLATS AND SURVEYS FOR ADDITIONAL PROPERTY INFORMATION.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

PROPOSED SITE IMPROVEMENTS

↑ ↑ ↑	TRAFFIC ARROWS	— — —	PROPERTY BOUNDARY
□ □ □	SIGNS - MONUMENT / PYLON	- - - - -	EXISTING PROPERTY BOUNDARY
↔ ↔	SIGNS - SINGLE / DOUBLE	— — — — —	EASEMENT
○ ○ ○ ○	SITE LIGHTING	— — — — —	LANDSCAPE BUFFER
● ● ● ●	BOLLARD / WHEEL STOP	— — — — —	WIDTH PER PLAN
⊥ ⊥ ⊥	STOP BAR, "STOP" MARKING & SIGN	— — — — —	BUILDING SETBACK
		— — — — —	WIDTH PER PLAN
		— — — — —	SIDE
		— — — — —	PERMANENT DRAINAGE EASEMENT
		— — — — —	UTILITY EASEMENT

- SITE PLAN KEY NOTES**
- SEE "GENERAL NOTES" SHEET FOR SITE GENERAL NOTES.
 - SEE "OVERALL SITE PLAN" FOR SITE DEVELOPMENT NOTES AND SITE DATA INFORMATION.
 - SEE "SITE DETAIL" SHEETS FOR DETAILS REFERENCED ON THE SITE PLANS.

- SITE IMPROVEMENTS**
- (A) 18" STANDARD CURB AND GUTTER (SEE DETAIL SHEET)
 - (B) PROPOSED 18" TO 24" CURB AND GUTTER TRANSITION OVER 10'
 - (C) PROPOSED CROSS ACCESS EASEMENT (WIDTH PER PLAN)
 - (D) PROPOSED PROPERTY LINE
 - (E) DIRECTIONAL PAVEMENT MARKING ARROW
 - (F) STOP SIGN (SEE DETAIL SHEET)
 - (G) SINGLE WHITE SOLID LINE STOP BAR / 24" WIDE (SEE DETAIL SHEET)
 - (H) ADA ACCESSIBLE RAMP IN SIDEWALK TO CONFORM TO FEDERAL, STATE, AND LOCAL ACCESSIBILITY GUIDELINES. (SEE DETAIL SHEET)
 - (I) PRE-MENU BOARD
 - (J) ORDER POINT
 - (K) PROPOSED CLEARANCE BAR
 - (L) WALL-MOUNTED MENU BOARD
 - (M) PEDESTRIAN CROSSWALK (SEE DETAIL SHEET)
 - (N) MONUMENT SIGN
 - (O) PROPOSED STORM STRUCTURE
 - (P) PROPOSED BUILDING SETBACK
 - (Q) PROPOSED LANDSCAPE BUFFER
 - (R) PROPOSED GARBAGE ENCLOSURE
 - (S) PROPOSED FENCE

SITE LEGEND

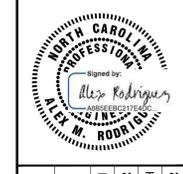
(P1)	STANDARD DUTY PAVEMENT. SEE DETAIL SHEET C904	
(P2)	STANDARD DUTY CONCRETE. SEE DETAIL SHEET C904	
(P3)	CONCRETE SIDEWALK. SEE DETAIL SHEET C903	
	CURB AND GUTTER. SEE DETAIL SHEET C804	
	EXISTING CROSS ACCESS EASEMENT	
	UNDERGROUND STORMWATER DETENTION SYSTEM EASEMENT	
	DEL TACO BUILDING FOOTPRINT. REFER TO ARCH PLANS.	



NO.	REVISIONS	DATE	BY

Kimley **Horn**

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 PHONE: 704-359-5131
 NC LICENSE #P-7602



KH PROJECT	117152115
DATE	01/20/2025
SCALE	AS SHOWN
DESIGNED BY	AMR
DRAWN BY	JDH
CHECKED BY	AMR

SITE PLAN

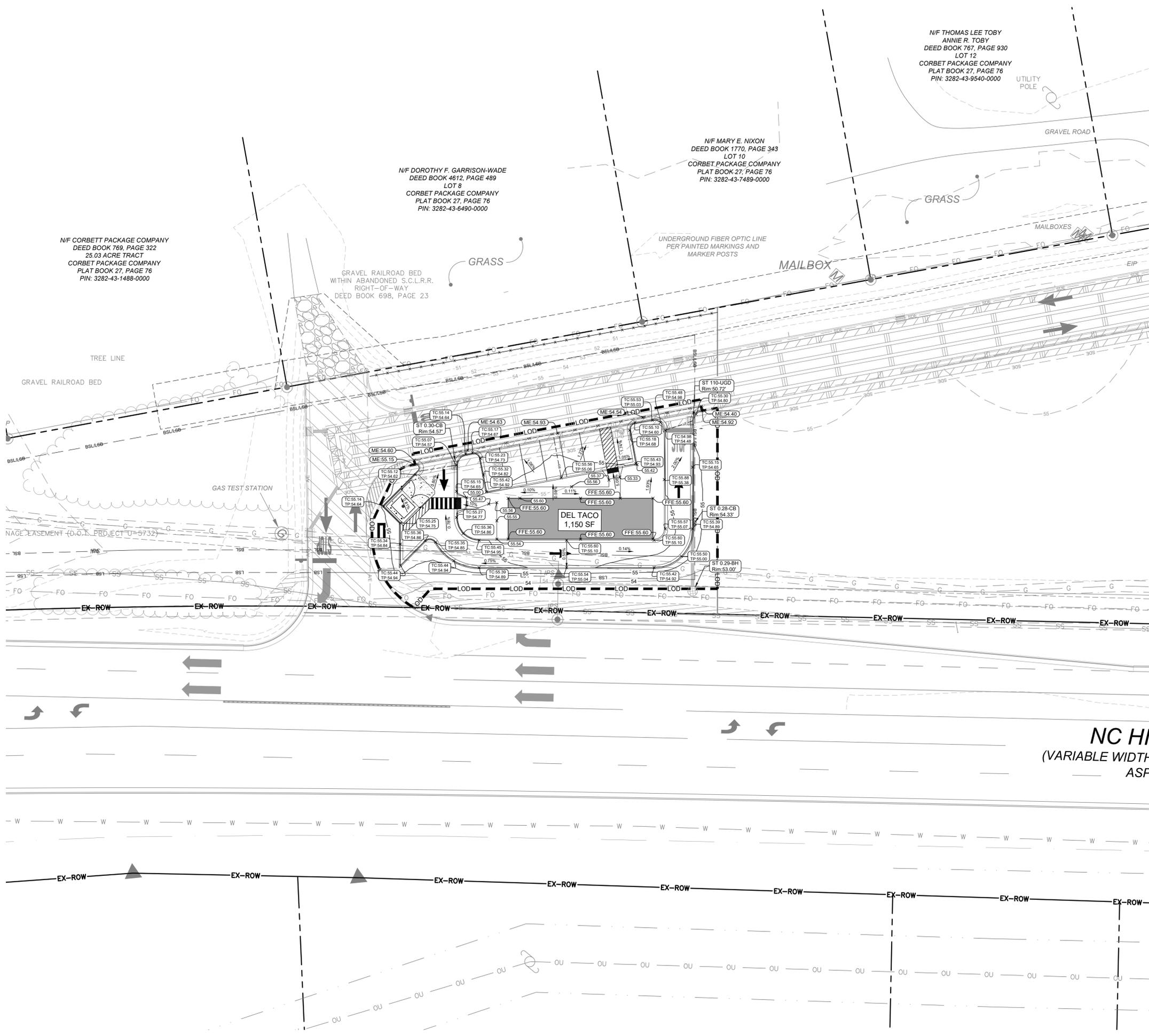
LITTLE HAMPSTEAD - DEL TACO PREPARED FOR IMPECCABLE DEVELOPMENT

HAMPSTEAD NC

SHEET NUMBER **C301**



Plotted By: Rodriguez, Alex M. Sheet: Set: LITTLE HAMPSTEAD DEL TACO Layout: C401-GRDNG DRNG CA January 17, 2025 11:20:48am K:\CHL_P\117152\Impeccable_Development\013_Little Hampstead Infrastructure\02-DWG\Plan\Sheets\L-Del Taco\C401 - GRDNG DRNG CA.dwg

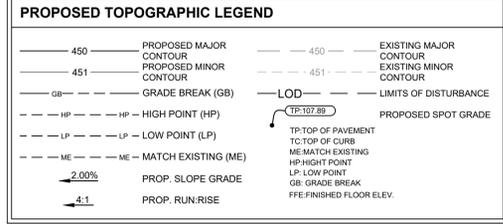
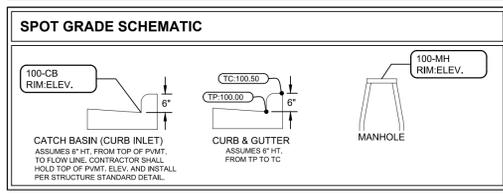


- GRADING NOTES:**
- REFER TO THE GENERAL NOTES SHEET FOR NOTES PERTAINING TO PAVING, GRADING, ACCESSIBILITY, AND STORM DRAINAGE.
 - EXISTING AND PROPOSED GRADE CONTOURS INTERVALS SHOWN AT 1 FOOT.
 - ALL SPOT ELEVATIONS WITH FC: REPRESENTS THE FACE OF CURB AT THE GUTTER LINE. (ADD 0.50' FOR TOP OF CURB.)
 - ALL SPOT ELEVATIONS WITH TC: REPRESENTS THE TOP OF CURB ELEVATION. (SUBTRACT 0.50' FOR PAVEMENT OR ELEVATION OF GUTTER AT CURB LINE.)
 - RIM: ELEVATIONS OF CATCH BASINS (CURB INLETS) EQUALS THE FLOW LINE OF THE GUTTER PAN. RIM ELEVATIONS OF DROP INLETS, MANHOLES, AND CLEANOUTS EQUALS THE CENTER OF GRATE OR LID ELEVATION.
 - ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT.
 - MANHOLES WITHIN NON PAVED AREAS SHALL BE 6" ABOVE ADJACENT GRADES. UNLESS OTHERWISE SHOWN.
 - CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES.
 - DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.
- ADA COMPLIANCE:**
- CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
 - PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH OF THE CURB RAMP, NOT INCLUDING FLARES.
 - ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
 - ANY COMPONENTS OF THE PROJECT SERVING MULTIFAMILY DWELLINGS IN BUILDINGS THAT HAVE 4 OR MORE UNITS PER DWELLING SHALL ALSO CONFORM TO THE FAIR HOUSING ACT (FHA), AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
 - BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
 - CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ACCESSIBLE SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.

ALERT TO CONTRACTOR: CONFIRM WITH GEOTECH REPORT

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE WATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.

- STORM WATER EASEMENTS**
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
 - POST-CONSTRUCTION CONTROL MAINTENANCE EASEMENT (PCCE) WILL ALLOW THE CITY THE ACCESS TO INSPECT, MONITOR, MAINTAIN, REPAIR OR RECONSTRUCT THE BMP FACILITIES.



NC HI (VARIABLE WIDTH) ASF

GRAPHIC SCALE IN FEET
0 10 20 40

811
Know what's below. Call before you dig.

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NO.	REVISIONS	DATE

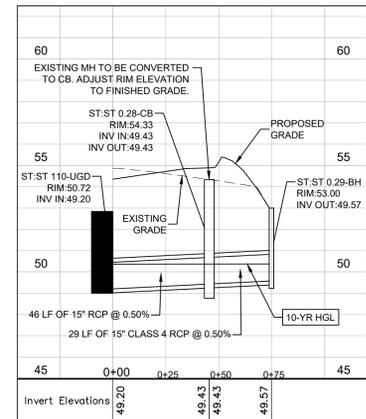
Little Hampstead - DEL TACO PREPARED FOR IMPECCABLE DEVELOPMENT

GRADING AND DRAINAGE PLAN

KH PROJECT: 117152115
DATE: 01/20/2025
SCALE: AS SHOWN
DESIGNED BY: AMR
DRAWN BY: JDH
CHECKED BY: AMR

SHEET NUMBER C401

Plotted By: Rodriguez, Alex M. Sheet Set: LITTLE HAMPSTEAD DEL TACO Layout: C405 STORM PROFILES January 17, 2025 11:21:24am K:\CHL_PRA\17152 Impeccable Development\013 Little Hampstead Infrastructure\02 - DWG\PlanSheets\1-D-Data Taco\C405 - STRM PROF.dwg



1-0 ST 0.29 TO UGD
H. Scale: 1"=40' | V. Scale: 1"=4'

PROPOSED STORM WATER PROFILE LEGEND

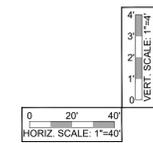
---	EXISTING GRADE	---	ENERGY GRADE LINE
---	PROPOSED GRADE	---	HYDRAULIC GRADE LINE

ABBREVIATIONS

MH	MANHOLE	CO	CLEANOUT
CB	CATCH BASIN	"-D"	DOUBLE CATCH BASIN
RIM:	CB:	BOTTOM OF CURB AT GUTTER LINE	
RIM:	MH, CO:	CENTER OF GRATE OR LID	
INV:	PIPE INVERT ELEVATION		

STORM DRAINAGE ABBREVIATIONS:

(SEE LATEST NCDOT STDS. MANUAL AND DETAIL SHEETS)	
CB	CATCH BASIN (NCDOT STDS. 840.00, .01, .02, .46, .66)
	US FOUNDRY 5181 FRAME & HOOD AND US FOUNDRY 6003 GRATE
MH	MANHOLE (NCDOT STDS. 840.00, .31, .32, .46, .54, .66)
CO	CLEAN-OUT (SEE DETAIL SHEET)
INV:	PIPE INVERT ELEVATION
RIM:	CB: TOP OF CURB.
	MH, CO: CENTER OF GRATE OR LID



LITTLE HAMPSTEAD - DEL TACO PREPARED FOR IMPECCABLE DEVELOPMENT
HAMPSTEAD NC

STORM PROFILES

Kimley **Horn**

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Alex Rodriguez
ALEX M. RODRIGUEZ
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 12/31/2025

KH PROJECT	117152115
DATE	01/20/2025
SCALE	AS SHOWN
DESIGNED BY	AMR
DRAWN BY	JDH
CHECKED BY	AMR

No.	REVISIONS	DATE	BY

Plotted By: Rodriguez, Alex M. Sheet: S11.LITTLE HAMPSTEAD DEL TACO Layout: C901 NCG01 STANDARDS January 17, 2025 11:23:23am K:\CH\PRJ\117152\Impaccable Development\013.Little Hampstead Infrastructure\02 - DWG\Plan\Sheet\1-0-Del_Taco\2505 - ESCP.DTL\$DWG

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION
Required Ground Stabilization Timeframes

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none">Temporary grass seed covered with straw or other mulches and tackifiersHydroseedingRoller erosion control products with or without temporary grass seedAppropriately applied straw or other mulchPlastic sheeting	<ul style="list-style-type: none">Permanent grass seed covered with straw or other mulches and tackifiersGeotextile fabrics such as permanent soil reinforcement mattingHydroseedingShrubs or other permanent plantings covered with mulchUniform and evenly distributed ground cover sufficient to restrain erosionStructural methods such as concrete, asphalt or retaining wallsRoller erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS
1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
4. Provide ponding area for containment of treated Stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

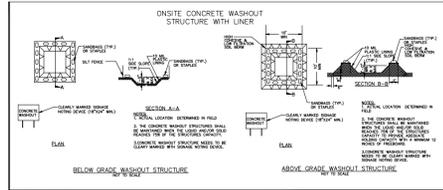
EQUIPMENT AND VEHICLE MAINTENANCE
1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE
1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS
1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT
1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS
1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES
1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
4. Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE
1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING
SECTION A: SELF-INSPECTION
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurements for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the discharge outfall inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future sediments.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING
SECTION B: RECORDKEEPING
1. E&SC Plan Documentation
The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation
In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

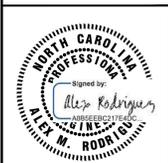
- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING
SECTION C: REPORTING
1. Occurrences that must be reported
Permittees shall report the following occurrences:
(a) Visible sediment deposition in a stream or wetland.
(b) Oil spills if:
• They are 25 gallons or more,
• They are less than 25 gallons but cannot be cleaned up within 24 hours,
• They cause sheen on surface waters (regardless of volume), or
• They are within 100 feet of surface waters (regardless of volume).
(a) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
(b) Anticipated bypasses and unanticipated bypasses.
(c) Noncompliance with the conditions of this permit that may endanger health or the environment.
2. Reporting Timeframes and Other Requirements
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none">A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(n)(3)]	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(i)(9)]	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that contains a description of the noncompliance, and its causes, the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6)].Division staff may waive the requirement for a written report on a case-by-case basis.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19

Project information and standards reference. Includes: KHI PROJECT 117152115, DATE 01/20/2025, SCALE AS SHOWN, DESIGNED BY AMR, DRAWN BY JDH, CHECKED BY AMR. Reference to NCG01 STANDARDS and LITTLE HAMPSTEAD - DEL TACO PREPARED FOR IMPECCABLE DEVELOPMENT. SHEET NUMBER C901.



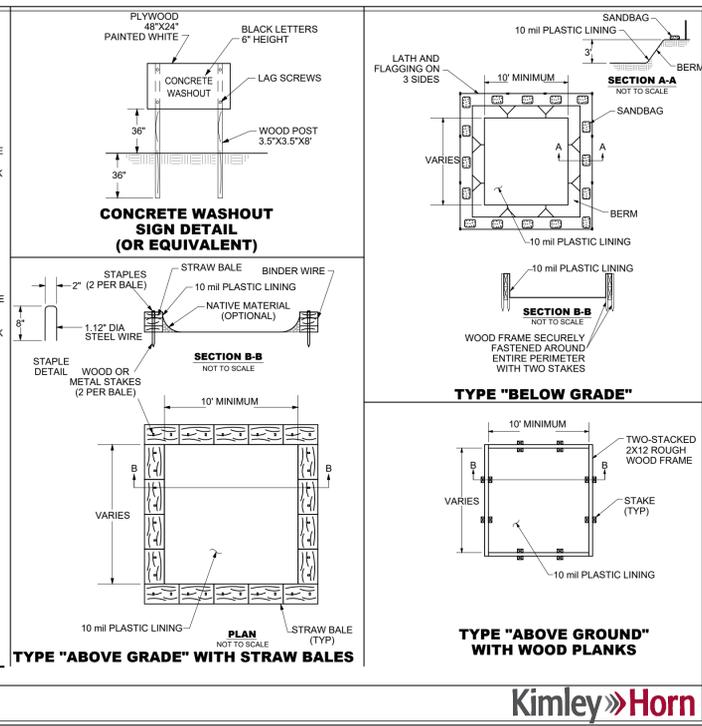
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OBJECTIVE:
THE BEST MANAGEMENT PRACTICE OBJECTIVES FOR CONCRETE WASHOUT ARE TO:
(A) COLLECT AND RETAIN ALL THE CONCRETE WASHOUT WATER AND SOLIDS IN LEAK PROOF CONTAINERS, SO THAT THIS CAUSTIC MATERIAL DOES NOT REACH THE SOIL SURFACE AND THEN MIGRATE TO SURFACE WATERS OR INTO THE GROUND WATER. AND
(B) RECYCLE 100 PERCENT OF THE COLLECTED CONCRETE WASHOUT WATER AND SOLIDS.

WASHOUT CONTAINERS:
DIFFERENT TYPES OF WASHOUT CONTAINERS ARE AVAILABLE FOR COLLECTING, RETAINING, AND RECYCLING THE WASHWATER AND SOLIDS FROM WASHING DOWN MIXED TRUCK CHUTES AND PUMP TRUCK HOPPERS AT CONSTRUCTION SITES.
 • HAY BALE AND PLASTIC WASHOUT PIT
 • VINYL WASHOUT CONTAINER
 • METAL WASHOUT CONTAINER

SITING WASHOUT FACILITIES:
CONCRETE WASHOUT FACILITIES, SUCH AS WASHOUT PITS AND VINYL OR METAL WASHOUT CONTAINERS, SHOULD BE PLACED IN LOCATIONS THAT PROVIDE CONVENIENT ACCESS TO CONCRETE TRUCKS, PREFERABLY NEAR THE AREA WHERE CONCRETE IS BEING POURED. HOWEVER THEY SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES, OR WATERBODIES. APPROPRIATE GRAVEL OR ROCK SHOULD COVER APPROACHES TO CONCRETE WASHOUT FACILITIES WHEN THEY ARE LOCATED ON UNDEVELOPED PROPERTY. ON LARGE SITES WITH EXTENSIVE CONCRETE WORK, WASHOUTS SHOULD BE PLACED AT MULTIPLE LOCATIONS FOR EASE OF USE BY READY MIXED TRUCK DRIVERS. IF THE WASHOUT FACILITY IS NOT WITHIN VIEW FROM THE POUR LOCATION, SIGNAGE WILL BE NEEDED TO DIRECT THE TRUCK DRIVERS.

NOTES:
1. CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
2. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
3. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.



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KH PROJECT	117152115
DATE	01/20/2025
SCALE	AS SHOWN
DESIGNED BY	AMR
DRAWN BY	JDH
CHECKED BY	AMR

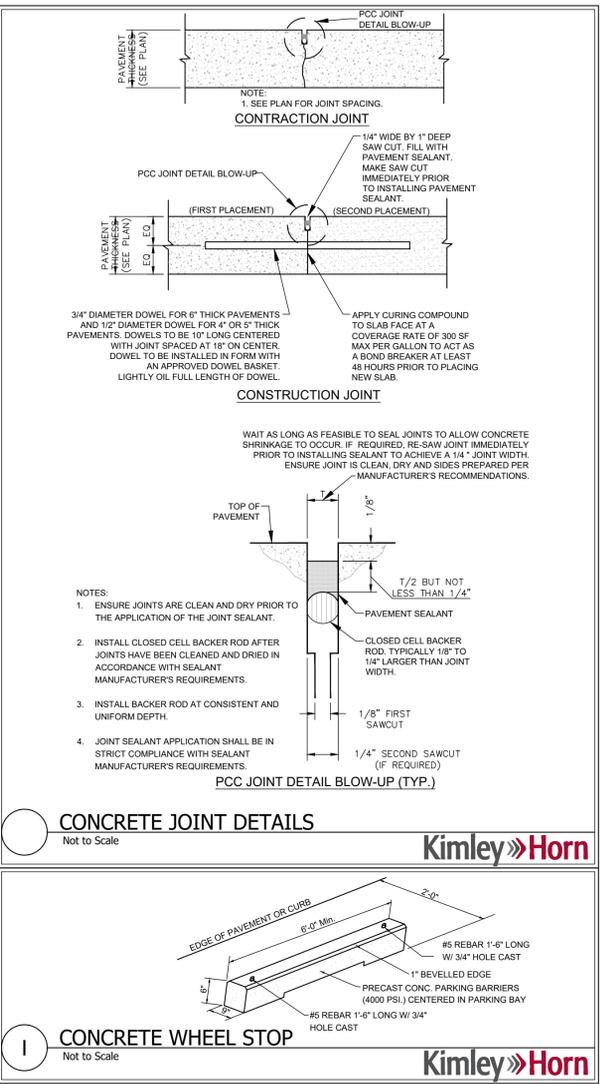
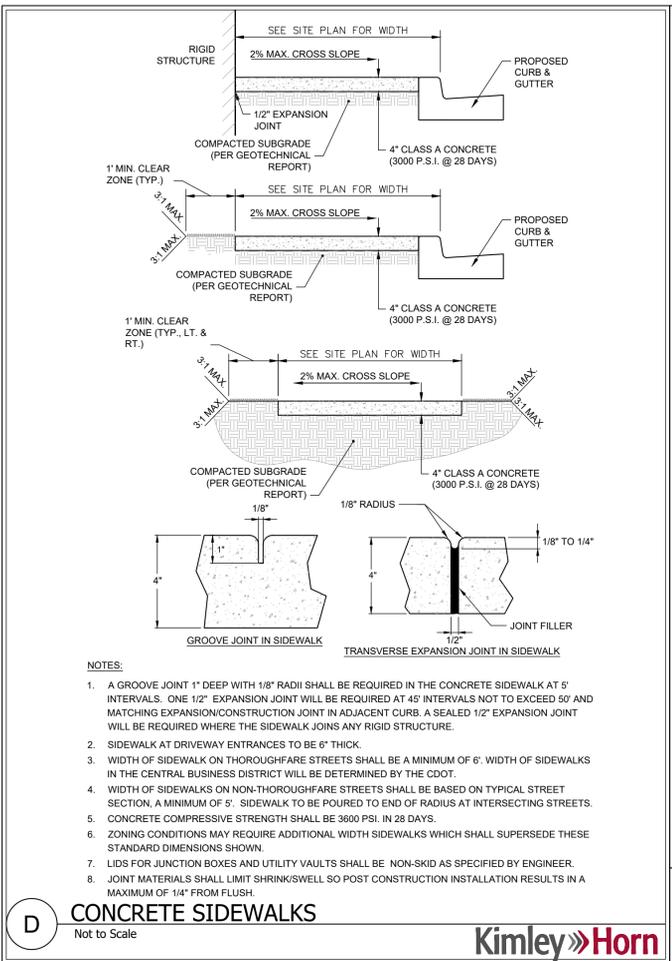
LITTLE HAMPSTEAD - DEL TACO PREPARED FOR IMPECCABLE DEVELOPMENT

EROSION CONTROL DETAILS

HAMPSTEAD NC

SHEET NUMBER
C903

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PROFESSIONAL ENGINEER

North Carolina
ALEX M. RODRIGUEZ
6186

KH PROJECT	117152115
DATE	01/20/2025
SCALE	AS SHOWN
DESIGNED BY	AMR
DRAWN BY	JDH
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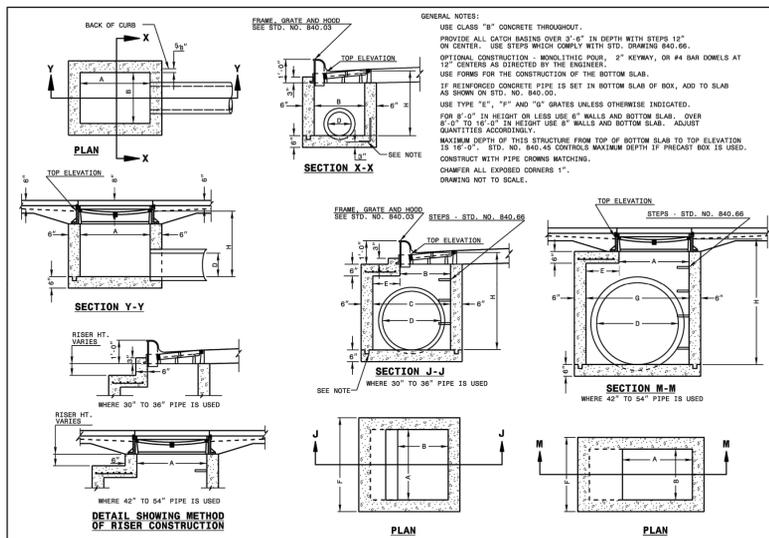
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HAMPSTEAD NC

SHEET NUMBER
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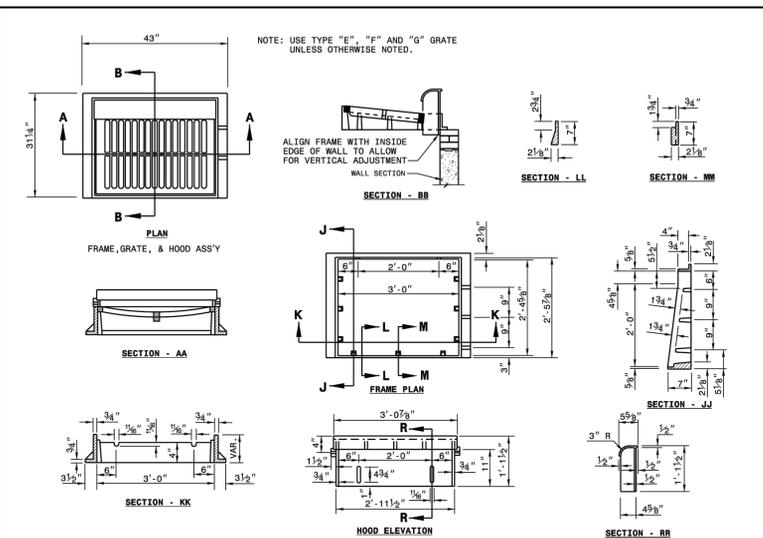




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ROADWAY STANDARD DRAWING FOR
CONCRETE CATCH BASIN
 12" THRU 54" PIPE

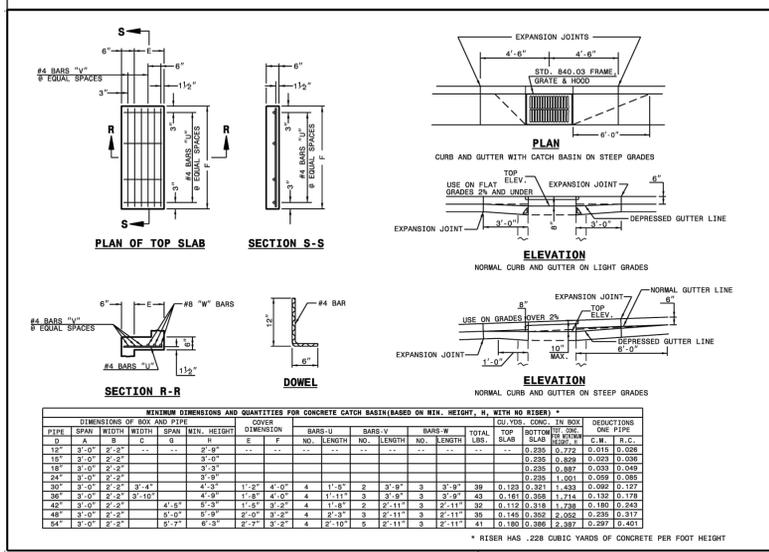
SHEET 1 OF 2
840.02



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ROADWAY STANDARD DRAWING FOR
FRAME, GRATES, AND HOOD
 FOR USE ON STANDARD CATCH BASIN

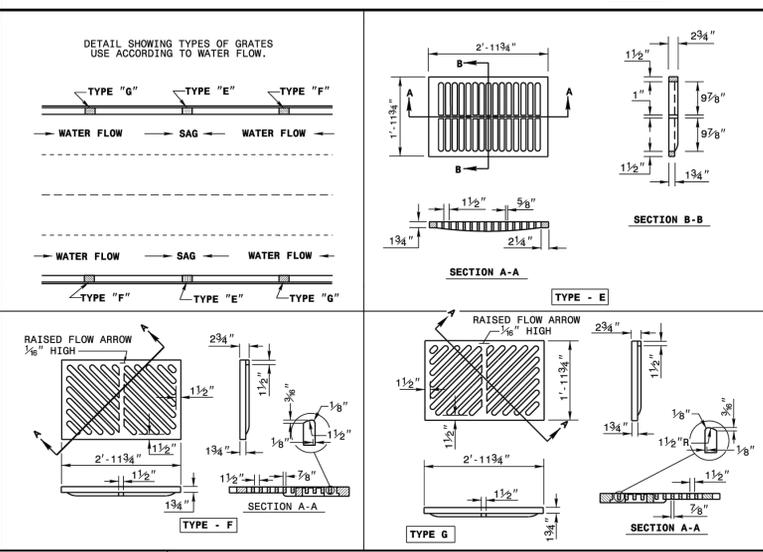
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ROADWAY STANDARD DRAWING FOR
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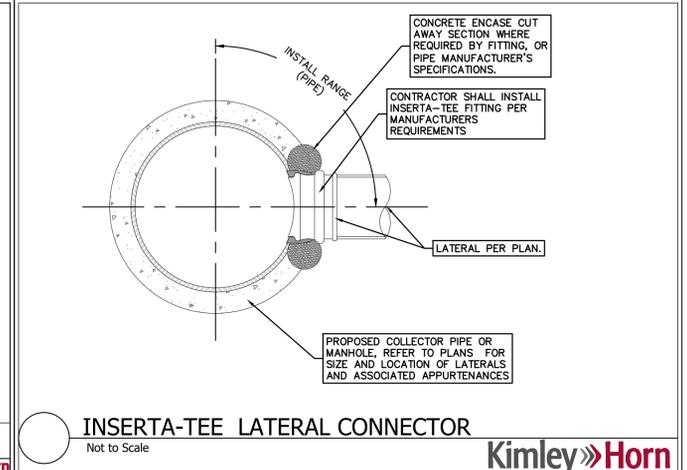
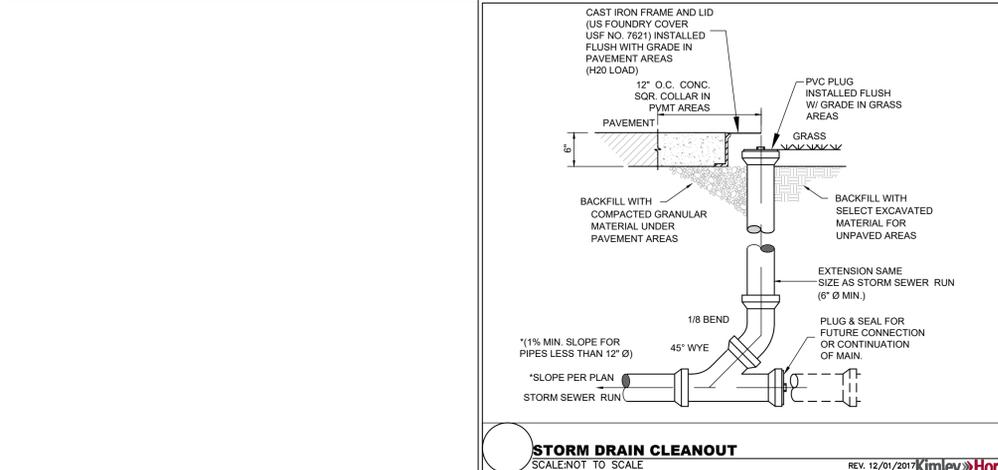
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ROADWAY STANDARD DRAWING FOR
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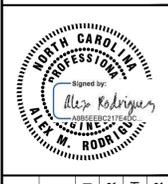
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DRAWN BY	JDH
CHECKED BY	AMR

STORM DETAILS

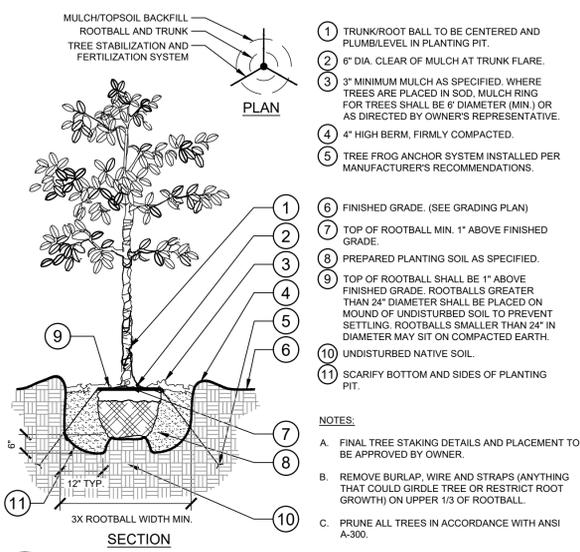
LITTLE HAMPSTEAD - DEL TACO
 PREPARED FOR
IMPECCABLE DEVELOPMENT

HAMPSTEAD

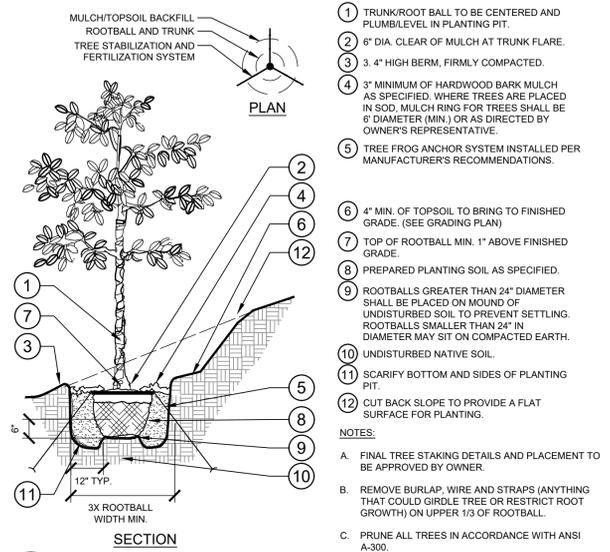
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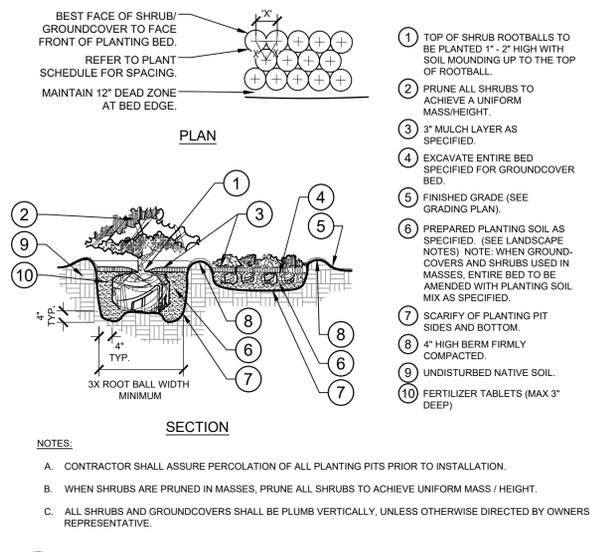
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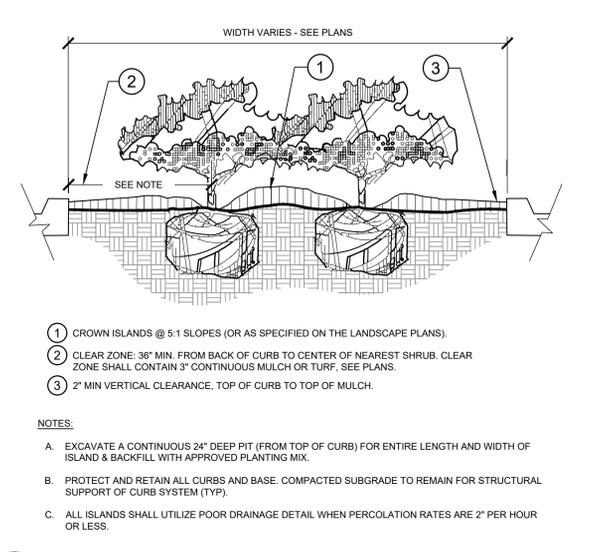
1 TREE PLANTING SECTION / PLAN NTS



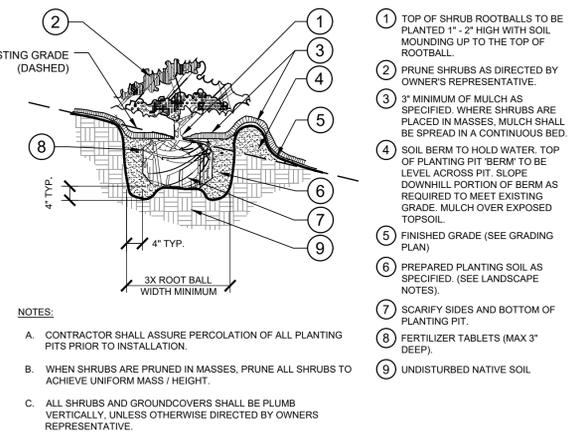
2 TREE PLANTING ON A SLOPE SECTION / PLAN NTS



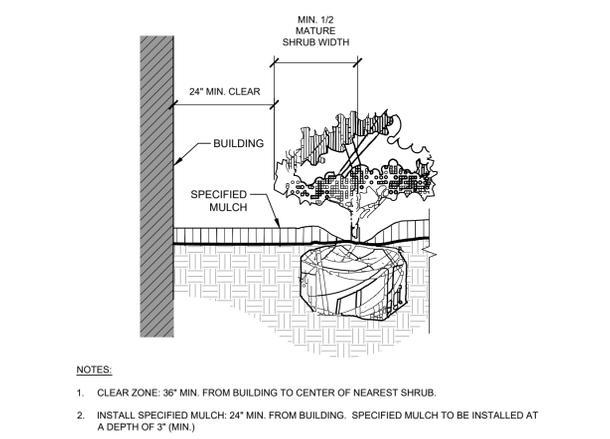
3 SHRUB/GROUNDCOVER PLANTING SECTION / PLAN NTS



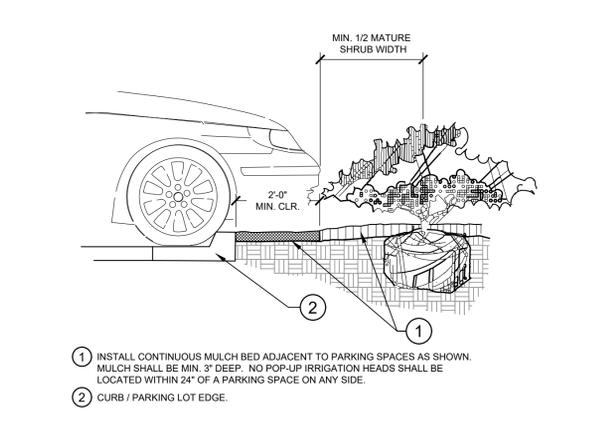
4 PLANTED PARKING LOT ISLANDS/MEDIANS SECTION NTS



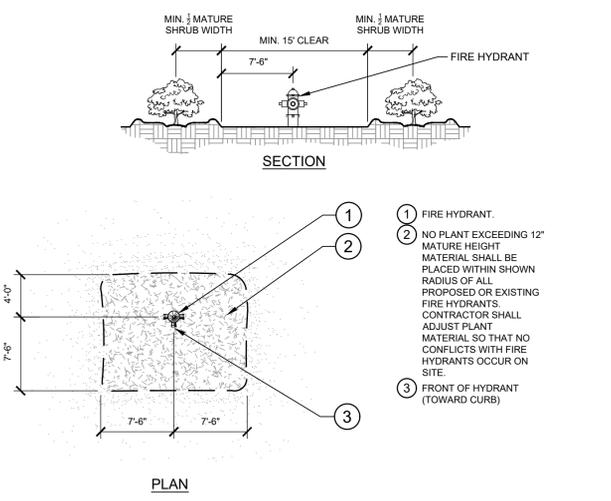
5 SHRUB/GROUNDCOVER PLANTING ON A SLOPE SECTION NTS



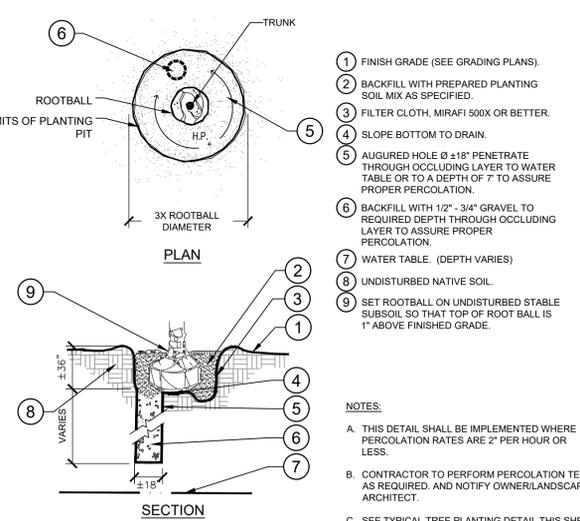
6 PLANTINGS ADJACENT TO BUILDINGS SECTION NTS



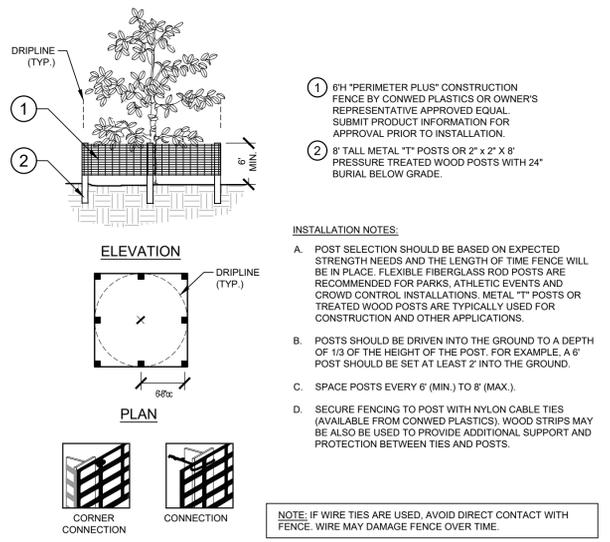
7 PARKING SPACE/CURB PLANTING SECTION NTS



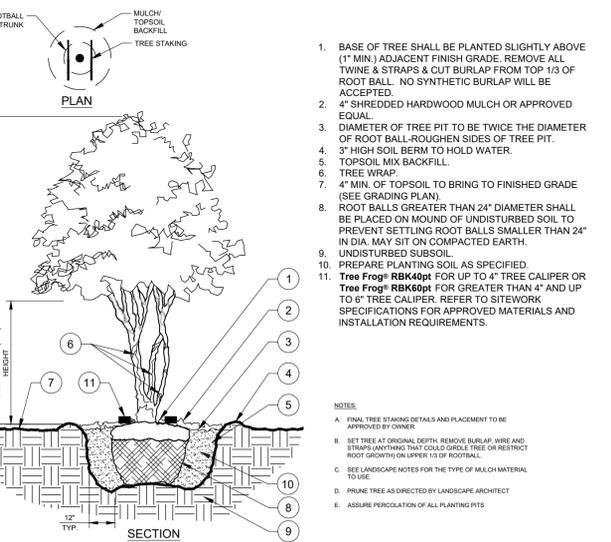
8 SHRUB PLANTING AT FIRE HYDRANT SECTION / PLAN NTS



9 POOR DRAINAGE CONDITION SECTION / PLAN NTS



10 TREE PROTECTION FENCING ELEVATION / PLAN NTS



11 MULTI-TRUNK TREE PLANTING SECTION/PLAN NTS

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PROFESSIONAL SEAL

North Carolina Professional Seal for Alex Rodriguez, PE, No. 6186

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LANDSCAPE DETAILS

LITTLE HAMPSTEAD - DEL TACO PREPARED FOR IMPECCABLE DEVELOPMENT

811
Know what's below. Call before you dig.

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L150

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

- 1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS SPECIFIED HEREIN.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

- 1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN UNLESS THE WORK REQUIRES NOTHING MORE THAN A DIRECT APPLICATION OF DOT DESIGN STANDARDS, INDEX 600. IF A DIRECT APPLICATION OF INDEX 600 IS PROPOSED, THE CONTRACTOR SHALL SUBMIT IN WRITING A STATEMENT INDICATING THE STANDARD INDEX AND PAGE NUMBER NO LESS THAN 10 BUSINESS DAYS PRIOR TO START OF CONSTRUCTION. WHEN A DIRECT APPLICATION OF DOT STANDARD INDEX 600 IS NOT ACCEPTABLE A PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER WHO HAS SUCCESSFULLY COMPLETED ADVANCED TRAINING IN MAINTENANCE OF TRAFFIC, AS DEFINED BY DOT FOR APPROVAL BY THE COUNTY ENGINEER'S REPRESENTATIVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR, REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERE TO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

C. PROTECTION OF EXISTING PLANT MATERIALS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF THREE HUNDRED DOLLARS (\$300) PER CALIPER INCH OR AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

D. MATERIALS

- 1. GENERAL
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER, UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.
MATERIAL SAMPLE SIZE
MULCH ONE (1) CUBIC FOOT
TOPSOIL MIX ONE (1) CUBIC FOOT
PLANTS ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
2. PLANT MATERIALS
a. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL PLANTS SHALL BE DETERMINED BY THE STATE DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
b. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
c. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- 1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A PH BETWEEN 5.5 AND 7.0.
b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
2. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

F. WATER

- 1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

- 1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANTS CROWN (BASE). MULCH SHALL BE "FLORIMULCH," EUCALYPTUS MULCH, OR SIMILAR SUSTAINABLY HARVESTED MULCH UNLESS SPECIFIED OTHERWISE.
2. PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT (6" MINIMUM) PLANTED UNDER THIS CONTRACT.

I. DIGGING AND HANDLING

- 1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
2. BALLED AND BURLAPPED (BB&L) AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS

CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

- 3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
4. PROTECTION OF PALMS: ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.

- 5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
J. CONTAINER GROWN STOCK
1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPORTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL REMAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
4. RPG= "ROOTS PLUS GROWER" CONTAINER PRODUCTS SHALL BE USED WHERE SPECIFIED.

K. COLLECTED STOCK

- WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.
L. NATIVE STOCK
PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPORTING TO THE NURSERY ROW.

M. MATERIALS LIST

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
N. FINE GRADING
1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

O. PLANTING PROCEDURES

- 1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL STATE OFFICIAL (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ONSITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.
8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.
10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
13. TREES SHALL BE PRUNED AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUIKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOW ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
16. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER, (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

P. LAWN SODDING

- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.

- 2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
4. SODDING
a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
b. THE SOD SHALL BE CERTIFIED TO MEET STATE REQUIREMENTS & SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
c. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS, ADJACENT TO BUILDINGS. A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
6. LAWN MAINTENANCE
a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
b. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
7. CLEANUP
UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
R. PLANT MATERIAL MAINTENANCE
ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
S. FINAL INSPECTION AND ACCEPTANCE OF WORK
FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
T. WARRANTY
1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITINGS OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

Table with columns for REVISIONS, No., and DATE. Includes revision symbols and a grid for tracking changes.

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Table with project details: KH PROJECT 117152115, DATE, SCALE AS SHOWN, DESIGNED BY, DRAWN BY, CHECKED BY.

LANDSCAPE NOTES

LITTLE HAMPSTEAD - DEL TACO PREPARED FOR IMPECCABLE DEVELOPMENT



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