

Pender County Planning and Community Development

Planning Division

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Application Information Major Site Development Plan

Case Number: SDP 2024-421

Application Type: Major Site Development Plan

Applicant: Whitebridge Crossing, LLC

Owners: Whitebridge Crossing, LLC

Location: East of US Highway 17, south of Whitebridge Road. Approximately 1.79 miles south of the intersection of NC Highway 210 and US Highway 17.

Property ID #(s): 3281-29-4277-0000

Description: Commercial component of the Whitebridge development including a restaurant, retail plaza, medical office, and a health/fitness club.

Current Zoning: PD, Planned Development

Technical Review Committee Meeting: 08/01/2024

Board of County Commissioners/Planning Board Meeting: N/A

Application Materials

Application Package
Site Plan

APPLICATION PACKAGE

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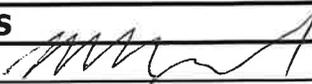
MAJOR AND MINOR SITE DEVELOPMENT APPLICATION

THIS SECTION FOR OFFICE USE					
Date:	Permit Number:	Permit Fee:	Invoice Number:		
*Zoning Approval ONLY: YES / NO		Final Zoning Compliance Approved: YES / NO / N/A			
Type of Site Development Plan:	<input type="checkbox"/> Major	<input type="checkbox"/> Minor			
SECTION 1: GENERAL INFORMATION					
Applicant's Name:	Whitebridge Crossing LLC <i>C/O Mark L. Naynards Sr.</i>	Property Owner's Name:	Whitebridge Crossing LLC <i>C/O Mark L. Naynards Sr.</i>		
Applicant's Address:	332 Military Cutoff Road	Property Owner's Address:	332 Military Cutoff Road		
City, State, & Zip	WILMINGTON, NC 28405	City, State, & Zip	WILMINGTON, NC 28405		
Phone Number:	910-338-3585	Phone Number:	910-338-3585		
Email Address:	corporate@tributecompanies.com	Email Address:	corporate@tributecompanies.com		
Legal relationship of applicant to landowner:					
SECTION 2: PROJECT INFORMATION					
PIN (Property Id #):	3281-29-4277-0000	Total property acreage:	20.38 ACRES		
Zoning:	PD	Acreage to be disturbed:	2 ACRES		
Water Provider:	PENDER COUNTY UTILITIES	Wastewater Provider:	PLURIS HAMPSTEAD, LLC		
Directions to Site:	Located on US 17 approximately	Township:	TOPSAIL		
	1.79 miles south of the intersection of	Road Type:	Public/ <u>Private</u> /Both		
	NC 210 and US 17				
Lot Size: 2 ACRES	Sq Ft of Building: 16,800 TOTAL (3)	Building Height: <35'			
Setbacks	Front: 15'	Side: 15'	Rear: 25'		
NAICS Code/Use:	TBD				
Business Name:	TBD				
Describe activities to be undertaken on project site:	The current proposed commercial site will be used for a 5400 SF restaurant,				
	6000 SF retail plaza, 2700 SF medical office and a 2700 SF health/fitness club.				
Ownership:	Number of Employees:	Number of Members:	Seating Capacity: TBD		
<input checked="" type="checkbox"/> Private <input type="checkbox"/> Public	TBD	TBD			

**If the applicant is not the owner of the property, a notarized letter from the property owner may be required*

**Zoning approval is for the use being proposed ONLY, other department approvals may be required i.e. Fire Marshal, Environmental Health, Permitting, etc...*

SECTION 4: ADDITIONAL COMMENTS	

SECTION 5: SIGNATURES			
Applicant's Signature		Date:	7/12/24
Applicant's Name Printed	Mark L. Maynard Sr.	Date:	7/12/24
Owner's Signature		Date:	
Owner's Name Printed		Date:	
Planning Staff:		Date:	

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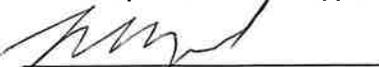
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Major Site Development Plan Submission

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

1. **Pre-submittal Meeting**
Date of Meeting MDC Amendment 8/30/2023
2. **Signed Application**
3. **Payment**
\$250
4. **Paper Plan Sets**
Two (2) 24 x 36, Four (4) 11 x 17
5. **Digital Submission**
For all documents submitted in paper copy, provide a digital version. These may be emailed or uploaded to a share folder. Physical media such as CD or USB drives will not be accepted.
6. **Adjacent Property List**
A list of names and addresses, as obtained from the county tax listings and tax abstract, to the owners of all properties located within 500-feet of the perimeter of the project bounds.
7. **Adjacent Property Envelopes**
The applicant shall provide a set of business envelopes addressed to each of the owners of all properties located within 500-feet of the perimeter of the project bounds and accompanied with the amount of postage required for first class postage. Do not include return address or company branding on envelopes.
8. **Permits**
Include any permits issued on the project including but not limited to: environmental, traffic, utility, or site specific conditions.
9. **Site Plan Requirements**
A prepared site plan in accordance with the Unified Development Ordinance standards Section 6.3, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.
(See Major Site Development Checklist)

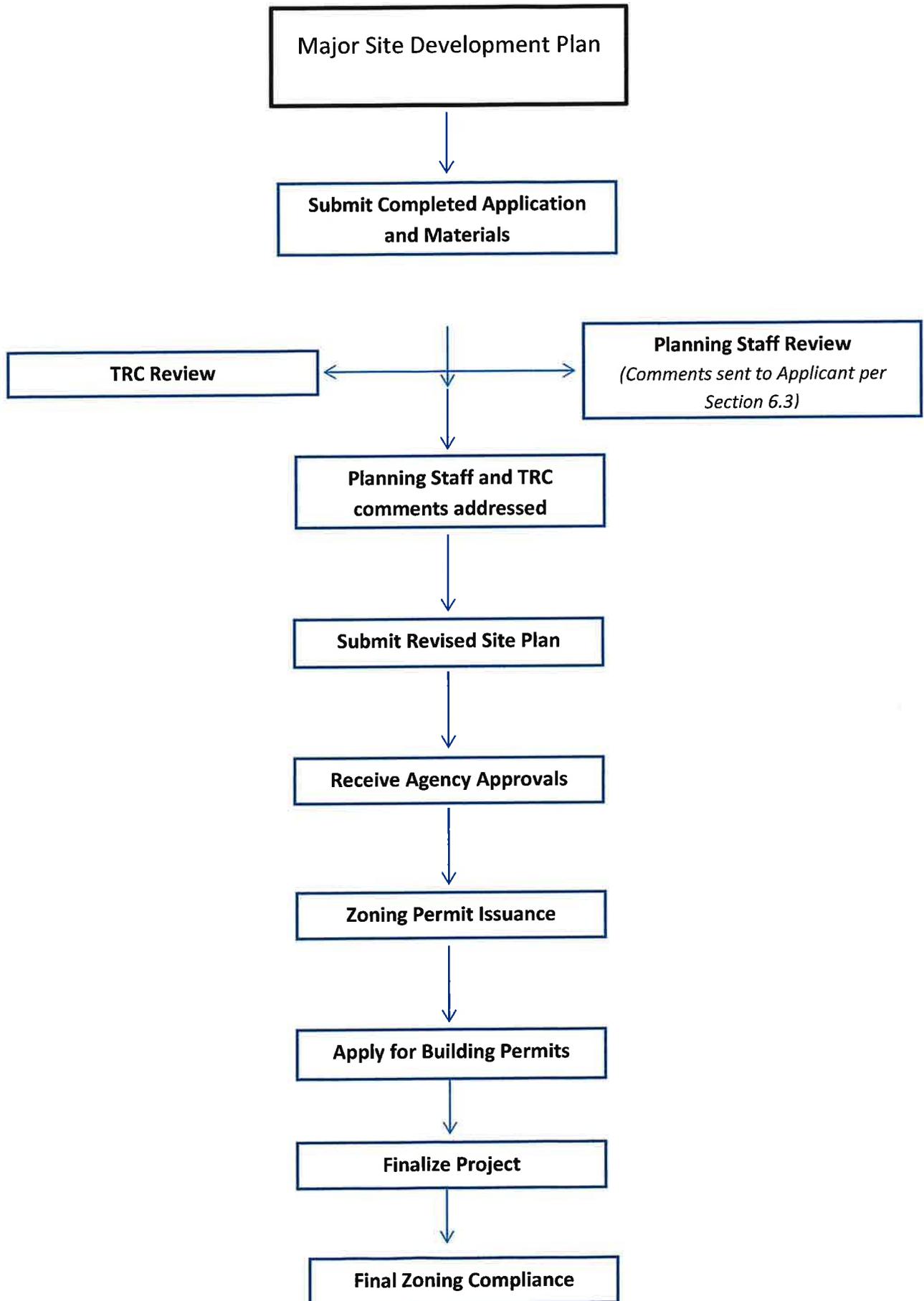
I certify that all information presented in this application is accurate to the best of my knowledge.

Signature of Applicant 

Date 7/2/24

Printed Name Mark L. Mayhards

Staff Initials:	___
Date:	___



Specific requirements can be found in Section 6.3 of the Pender County Unified Development Ordinance

Major Site Development Plan Specific Requirements

1. Major Site Development Application Submittal

- Site Plan (per Section 6.3)
 - Scale
 - North Arrow
 - All property information (zoning, setbacks, PIN #)
 - Adjacent property info (owner, zoning, use, PIN #)
 - References to any previously approved plans
 - Utility providers
 - All existing and proposed structures
 - Buffering (Section 8.2.6) & Landscaping (8.3)
 - Parking (Section 7.10)
 - Lighting
 - Cross Access Connections (Section 7.4.4)
 - AM/PM Peak Hour Trip Calculations (TIA required with 100 AM/PM trips or >1,000 trips per day)
 - Soil Erosion and Sedimentation Control Plan
 - Location of all environmental features
 - Stormwater management features
 - Proposed accesses, easements, streets, and sidewalks
- Permits received

2. TRC Meeting

- Site Plan Review
- Agency comments/requirements

3. Post-TRC Meeting

- Submit site plan with revisions
- Receive agency approvals
- Forward all agency approvals to Planning Staff.

4. Approval of Site Plan

- All TRC comments and agency requirements addressed
- Zoning approval allows for building permit process to begin
- Apply for building permits

5. Final Zoning

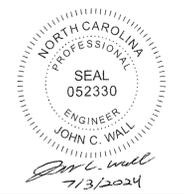
- Site Visit to check the following:
 - Landscaping
 - Buffering
 - Parking

SITE PLAN(S)

WHITEBRIDGE CROSSING COMMERCIAL

TECHNICAL REVIEW COMMITTEE SUBMITTAL PENDER COUNTY, NORTH CAROLINA

JULY 2024



THIS DRAWING PREPARED AT THE
WILMINGTON OFFICE
430 Eastwood Road | Wilmington, NC 28403
TEL: 910.746.1144 FAX: 910.893.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
07/03/2024

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
J. WALL

SCALE
1" = 1000'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

WHITEBRIDGE CROSSING COMMERCIAL
PENDER COUNTY, NORTH CAROLINA

COVER SHEET

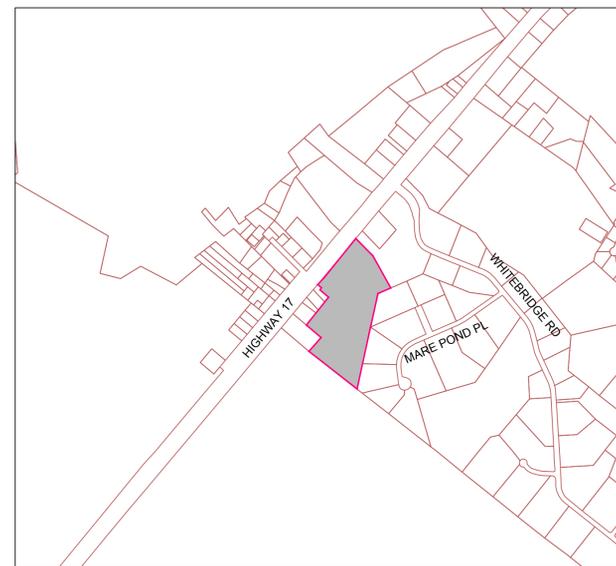
JOB NO.
67799

SHEET NO.
C0.0

PROGRESS DRAWINGS - DO NOT USE FOR CONSTRUCTION

SITE DATA

PROJECT:	WHITEBRIDGE CROSSING COMMERCIAL
ENGINEER:	TIMMONS GROUP 430 EASTWOOD ROAD WILMINGTON, NC 28403 PHONE: 910-746-1174 JOHN WALL, PE EMAIL: JOHN.WALL@TIMMONS.COM
DEVELOPER:	WHITEBRIDGE CROSSING LLC 332 MILITARY CUTOFF RD WILMINGTON, NC 28405 MARK MAYNARD EMAIL: CORPORATE@TRIBUTECOMPANIES.COM
OWNER:	WHITEBRIDGE CROSSING LLC 332 MILITARY CUTOFF RD WILMINGTON, NC 28405 PIN: 3281-29-4277-0000
PROPERTY LOCATION:	HIGHWAY 17 HAMPSTEAD, NC
ZONING:	PD
EXISTING USE:	VACANT LAND
PROPOSED USE:	MULTIFAMILY COMMERCIAL
TOTAL SITE AREA:	20.38 AC.
TOWNSHIP	TOPSAIL
DEED BOOK/ PAGE	4765/2244



VICINITY MAP
1"=1000'

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C1.0	OVERALL EXISTING CONDITIONS
C1.1	SITE SPECIFIC EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	TURN LANE PLAN
C3.0	SITE UTILITY PLAN
C4.0	GRADING AND DRAINAGE PLAN
C4.1	SPOT SHOT PLAN
C5.0	EROSION AND SEDIMENT CONTROL PHASE 1
C5.1	EROSION AND SEDIMENT CONTROL PHASE 2
C6.0	LANDSCAPE AND LIGHTING PLAN
C6.1	LANDSCAPE NOTES AND DETAILS
C7.0	SITE NOTES AND DETAILS
C7.1	SITE NOTES AND DETAILS
C7.2	UTILITY NOTES AND DETAILS
C7.3	UTILITY NOTES AND DETAILS
C7.4	UTILITY NOTES AND DETAILS
C7.5	UTILITY NOTES AND DETAILS
C7.6	UTILITY NOTES AND DETAILS
C7.7	STORM SEWER NOTES AND DETAILS
C7.8	STORM SEWER NOTES AND DETAILS

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT
1-800-632-4949

CONTACT THESE UTILITIES

PENDER COUNTY PLANNING AND COMMUNITY DEVELOPMENT
ATTN: TRAVIS HENLEY
PH: 910-259-1734

PENDER COUNTY UTILITIES (WATER)
ATTN: KENNITH KEEL
PH: 910-259-0212

PIEDMONT NATURAL GAS
ATTN: CARL PAQUET
PH: 910-350-2242

DUKE ENERGY
ATTN: KEVIN LEATHERWOOD
PH: 910-602-4304

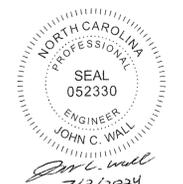
PLURIS HAMPSTEAD, LLC (SEWER)
ATTN: RANDY HOFFER
PH: 910-327-2880

BELL SOUTH
ATTN: STEVE DAYVAULT
PH: 910-341-0741

EMERGENCY DIAL 911 POLICE - FIRE - RESCUE

TIME WARNER CABLE
PH: 910-763-4638





- NOTES:**
- CONTRACTOR TO OBTAIN, REFERENCE, AND UTILIZE ALL AVAILABLE ENVIRONMENTAL REPORTS (PHASE I ESA, ASBESTOS, ETC.) FROM DEVELOPER.
 - CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS FROM LOCAL AND STATE AUTHORITIES TO COMPLETE THE WORK.
 - CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS.
 - INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE ALL EXISTING PROPERTY MARKERS. IF DISTURBED, REPLACEMENT MUST BE BY A CERTIFIED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
 - ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
 - ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS BY THE CONTRACTOR.
 - REMOVE/ DEMOLISH/ ABANDON AFTER EROSION CONTROL MEASURES ARE IN PLACE AN APPROVAL OF THE INSPECTOR. REFER TO EROSION CONTROL PLAN.
 - REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE.ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
 - DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY OWNER NOT LESS THAN ONE WEEK IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING OWNER WRITTEN PERMISSION. (3) COORDINATE ALL UTILITY RELOCATION WITH APPROPRIATE UTILITY PROVIDER
 - ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
 - SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATION AND DEPTHS.
 - THE CONTRACTOR SHALL USE NC ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION. EITHER ONSITE OR IN PUBLIC ROW IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
 - VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ENGINEER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
 - REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
 - CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATIONS, AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
 - ALL WORK SHALL BE PREFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
 - EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
 - CONTRACTOR SHALL NOTIFY APPROPRIATE DEPARTMENTS PRIOR TO BEGINNING ANY WORK WITHIN PUBLIC RIGHT-OF-WAY.
 - ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
 - THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
 - BASIS OF BEARING SHOWN HEREON IS NC GRID NAD 83 (NSRS 207).
 - VERTICAL DATUM SHOWN HERON IS NAVD88.

- NOTES:**
- BOUNDARY AND TOPOGRAPHIC TAKEN FROM SURVEY BY PARAMOUNTE ENGINEERING, INC., DATED AUGUST 23, 2023.
 - THE SUBJECT PROPERTY IS LOCATED IN ZONE X WITH FIRM MAP NUMBER 3720324200K AND AN EFFECTIVE DATE OF FEBRUARY 16, 2007.
 - WETLANDS AND WATERS DELINIATION BY SEGI DATED MARCH 12, 2022 AND FIELD LOCATED BY PARAMOUNTE ENGINEERING, INC., DATED AUGUST 23, 2023.
 - A CORPUS OF ENGINEERS 401 PERMIT MUST BE OBTAINED FOR ANY WORK WITHIN THE WETLANDS WHERE APPLICABLE, PRIOR TO THE START OF ANY WORK.
 - THERE ARE NO SURFACE WATERS, PROTECTED VEGETATED SETBACKS OR PROTECTED RIPARIAN BUFFERS ON THE PROPERTY VIA SEGI CONFIRMATION.

FLOOD PLAIN NOTE:
 ANY LAND DISTURBANCE IN AN AE ZONE REQUIRES A FLOOD PLAIN DEVELOPMENT PERMIT PRIOR TO COMMENCEMENT OF WORK. NO LAND DISTURBANCE ACTIVITY IS PERMITTED IN THE NEA (NON-ENCROACHMENT AREA) WITHOUT A HYDRAULIC/HYDROLOGY NO-IMPACT STUDY COMPLETED BY A LICENSED HYDRAULIC ENGINEER AND SUBMISSION OF A NO-RISE CERTIFICATE BY THE ENGINEER. THE NO-IMPACT STUDY MUST USE THE CURRENT REC-RAS MODELING AND WILL BE REVIEWED BY THE STATE FOR COMPLIANCE.

- GENERAL SITE NOTES**
- COUNTY AND STATE STORMWATER PERMITS MUST BE OBTAINED PRIOR TO ANY CONSTRUCTION OF IMPERVIOUS SURFACE. NO NATURAL DRAINAGE AREAS WILL BE CUT OFF OR DISTURBED BEFORE OBTAINING THE PERMITS.
 - ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH PENDER COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR ACTIVITIES. CALL UTILITY LOCATOR SERVICE BEFORE DIGGING.
 - ALL UTILITIES SHALL BE UNDERGROUND.
 - EACH LOT WILL BE SERVED BY PENDER COUNTY UTILITIES AND PLURIS.
 - PENDER COUNTY EROSION CONTROL PERMIT AND NCDEQ EROSION CONTROL PERMIT WILL BE REQUIRED, AND ALL EROSION CONTROL REGULATIONS WILL BE COMPLIED WITH. CONSTRUCTION DRAWINGS MUST BE FULLY APPROVED PRIOR TO CONSTRUCTION.
 - SIGNAGE SHALL BE APPROVED PRIOR TO INSTALLATION OF ANY SIGNAGE.
 - THERE SHALL BE A NOTE ON THE FINAL PLATS, MASTER COVENANTS, AND DEEDS SHOWING THE LOCATION OF WETLANDS AND NOTING THAT THOSE AREAS MAY NOT BE FILLED, DISTURBED, OR ALTERED IN ANY WAY UNLESS PROPERLY PERMITTED BY THE NC DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES AND/OR THE U.S. ARMY CORPS OF ENGINEERS.
 - PROJECT TO BE BUILT TO PENDER COUNTY UTILITIES STANDARDS FOR WATER AND PLURIS STANDARDS FOR SEWER.
 - ONLY PENDER COUNTY APPROVED MATERIALS ARE TO BE USED WITHIN THE RIGHT OF WAY.
 - A CORPUS OF ENGINEERS 401 PERMIT MUST BE OBTAINED FOR ANY WORK WITHIN THE WETLANDS WHERE APPLICABLE, PRIOR TO THE START OF ANY WORK.
 - BUILDING DIMENSIONS SHOWN ON THE CIVIL ENGINEERING PLANS ARE FOR REFERENCE PURPOSES ONLY, CONTRACTOR SHALL USE THE ARCHITECTURAL AND STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - ALL SIDEWALKS AND HANDICAP ACCESS RAMPS SHALL MEET ADA REQUIREMENTS. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN DESIGN INFORMATION AND ADA REQUIREMENTS PRIOR TO CONSTRUCTION.
 - ADA ACCESSIBLE ROUTE SHALL HAVE A 5.0% MAXIMUM LONGITUDINAL SLOPE AND A 2.0% MAXIMUM CROSS SLOPE (EXCLUDING RAMPS).
 - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL STOP SIGNS, DIRECTIONAL SIGNS AND STRIPING SHOWN ON THE PLANS.
 - CONTRACTOR TO CONTACT THE DESIGN PROFESSIONAL FOR ENTRANCE CLARIFICATIONS, CONSTRUCTION ANOMALIES AND INSTALLATION QUESTIONS.
 - ALL DIMENSIONS ARE FROM THE FACE OF CURB,UNLESS NOTED OTHERWISE.
 - NCDOT STANDARD DETAILS, AS REFERENCED, TO BE CONSTRUCTED WITH THE 2024 ROADWAY STANDARD DRAWINGS.

- EROSION AND SEDIMENT CONTROL GENERAL NOTES**
- THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE.
 - THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY LOCAL AUTHORITIES OR THE ENGINEER.
 - THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING HIS PHASE OF WORK AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY TRACKED SOIL FROM ALL ADJACENT ROADWAYS THAT ARE IMPACTED BY CONSTRUCTION TRAFFIC.
 - CONTRACTOR SHALL ABIDE BY ALL CONDITIONS OF THE GENERAL PERMIT TO DISCHARGE STORMWATER UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
 - THERE SHALL BE NO LAND DISTURBANCE WITHIN THE DELINEATED WETLANDS UNTIL A CORPUS OF ENGINEERS 404 PERMIT HAS BEEN OBTAINED.

- CONSTRUCTION SEQUENCE**
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS. KEEP A COPY OF THE APPROVED PLAN ON-SITE AND POST APPROVAL PLACARD.
 - NOTIFY NCDEQ - LAND QUALITY SECTION, PENDER COUNTY, AND OWNER REPRESENTATIVE AND CONDUCT PRE-CONSTRUCTION CONFERENCE AT LEAST ONE WEEK PRIOR TO STARTING CLEARING OR ANY OTHER CONSTRUCTION.
 - INSTALL GRAVEL CONSTRUCTION ENTRANCES, TEMPORARY SILT FENCES, DIVERSIONS AND OTHER MEASURES AS SHOWN ON DRAWINGS. CLEAR ONLY AS NECESSARY TO INSTALL AND MAINTAIN THESE DEVICES.
 - BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
 - ROUGH GRADE SITE.
 - INSPECT ALL MEASURES AND DEVICES WEEKLY AND AFTER ALL RAINFALL EVENTS. MAKE PROMPT REPAIRS AS NEEDED.
 - STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISHED GRADE WITH VEGETATION, PAVING, TEMPORARY DITCH AND SLOPE LINING, ETC. SEE SLOPE AND SURFACE STABILIZATION NOTES LISTED ON THIS SHEET.
 - WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED; CALL FOR INSPECTION BY NCDEQ.
 - WHEN SITE IS APPROVED BY NCDEQ INSPECTOR, REMOVE SEDIMENT BASINS/CONVERT THEM TO PERMANENT SCMS. FINE GRADE AND STABILIZE AREAS.
 - ONCE REMAINING VEGETATION IS ESTABLISHED, CALL FOR A FINAL INSPECTION BY NCDEQ INSPECTOR TO OBTAIN A CERTIFICATE OF COMPLETION AND REMOVE REMAINING PERIMETER MEASURES.

NCDEQ SELF-INSPECTION PROGRAM

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED.

RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS TOOK EFFECT OCTOBER 1, 2010.

THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE FOCUS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS SHOULD BE CONDUCTED AFTER EACH PHASE OF THE PROJECT, AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

THE SELF-INSPECTION REPORT FORM IS AVAILABLE AS AN EXCEL SPREADSHEET FROM THE LAND QUALITY WEB SITE, [HTTP://PORTAL.NCDENR.ORG/WEB/EROSION](http://portal.ncdenr.org/web/EROSION)

- MAINTENANCE PLAN**
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL MEASURES AS DESIGNED.
 - REMOVE SEDIMENT FROM SEDIMENT SKIMMER BASINS WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. CLEAN OR REPLACE GRAVEL FILTER WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY.
 - REMOVE SEDIMENT FROM BEHIND SILT FENCE WHEN DEPTH REACHES 6-INCHES AT THE FENCE. REPAIR SILT FENCE AS NECESSARY TO MAINTAIN A BARRIER.
 - ALL SEEDED AREAS SHALL BE FERTILIZED, RE-SEEDING AS NECESSARY, AND MULCHED ACCORDING TO PROJECT SPECS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE GROWTH.
 - MAINTAIN SILT/TREE PROTECTION FENCING THROUGHOUT DURATION OF CONSTRUCTION.
 - INSPECT RIPRAP OUTLET PROTECTION STRUCTURES WEEKLY AND AFTER SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.
 - TOP DRESS CONSTRUCTION ENTRANCES WITH CLEAN STONE AS NECESSARY TO MAINTAIN PROPER FUNCTIONING.
 - REFER TO SPECIFIC DEVICE DETAILS FOR ADDITIONAL MAINTENANCE REQUIREMENTS.

GROUND STABILIZATION

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	7 DAYS FOR ALL HQW AREAS
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ALLOWED
SLOPES 3:1 OR FLATTER	7 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ANY OTHER AREAS WITH SLOPES FLATTER THAN 4:1	7 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)
** EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE. (SECTION II.B(2)(B))		
PERMANENT GROUND COVER WILL BE PROVIDED FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR NO MORE THAN 60 CALENDAR DAYS (WHICHEVER IS SHORTER).		

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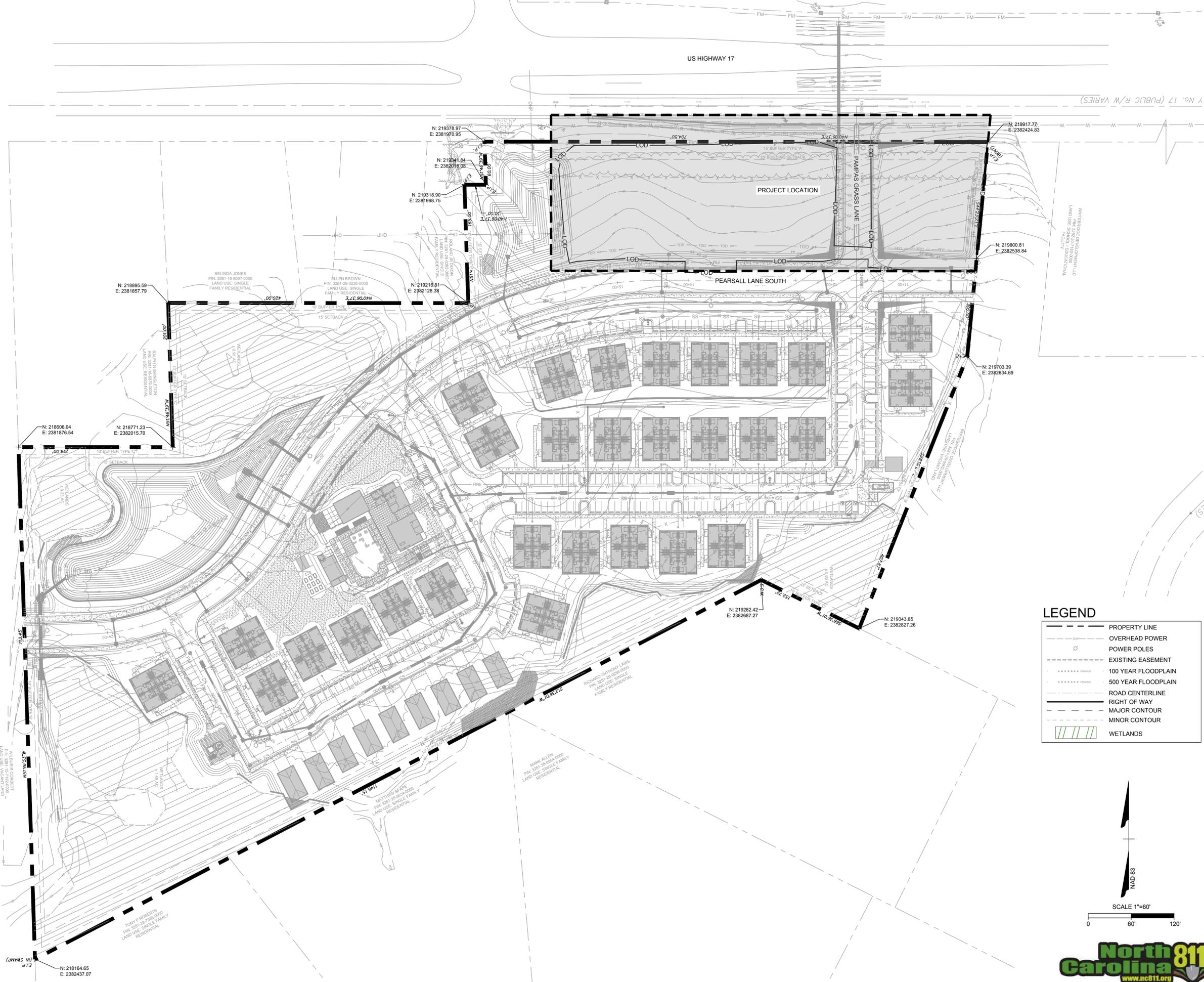
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WHITEBRIDGE CROSSING COMMERCIAL
 PENDER COUNTY, NORTH CAROLINA
GENERAL NOTES

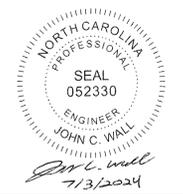
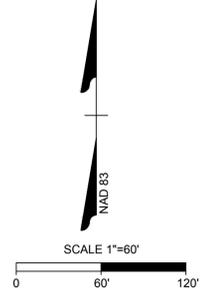
JOB NO. 67799
 SHEET NO. C0.1





LEGEND

- PROPERTY LINE
- OVERHEAD POWER
- POWER POLES
- - - EXISTING EASEMENT
- 100 YEAR FLOODPLAIN
- 500 YEAR FLOODPLAIN
- ROAD CENTERLINE
- RIGHT OF WAY
- MAJOR CONTOUR
- MINOR CONTOUR
- ▨ WETLANDS



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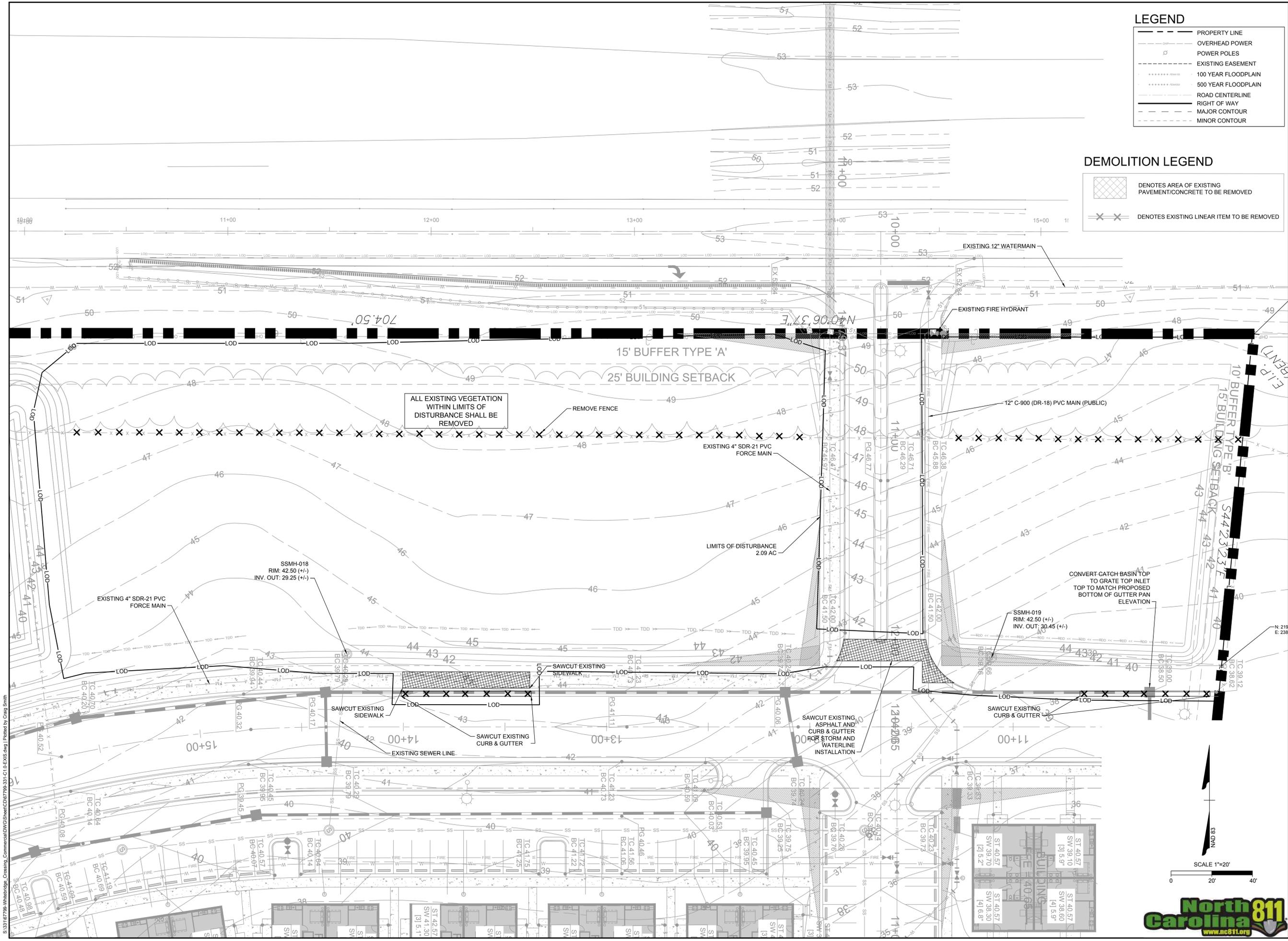
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WHITEBRIDGE CROSSING COMMERCIAL
 PENDER COUNTY, NORTH CAROLINA

OVERALL EXISTING CONDITIONS

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SHEET NO.
 C1.0

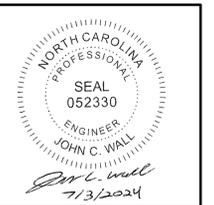


LEGEND

- PROPERTY LINE
- OVERHEAD POWER
- POWER POLES
- EXISTING EASEMENT
- 100 YEAR FLOODPLAIN
- 500 YEAR FLOODPLAIN
- ROAD CENTERLINE
- RIGHT OF WAY
- MAJOR CONTOUR
- MINOR CONTOUR

DEMOLITION LEGEND

- Denotes area of existing pavement/concrete to be removed
- Denotes existing linear item to be removed



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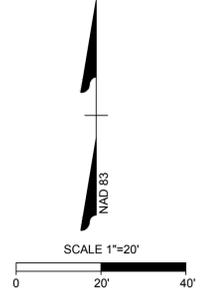
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 PENDER COUNTY, NORTH CAROLINA

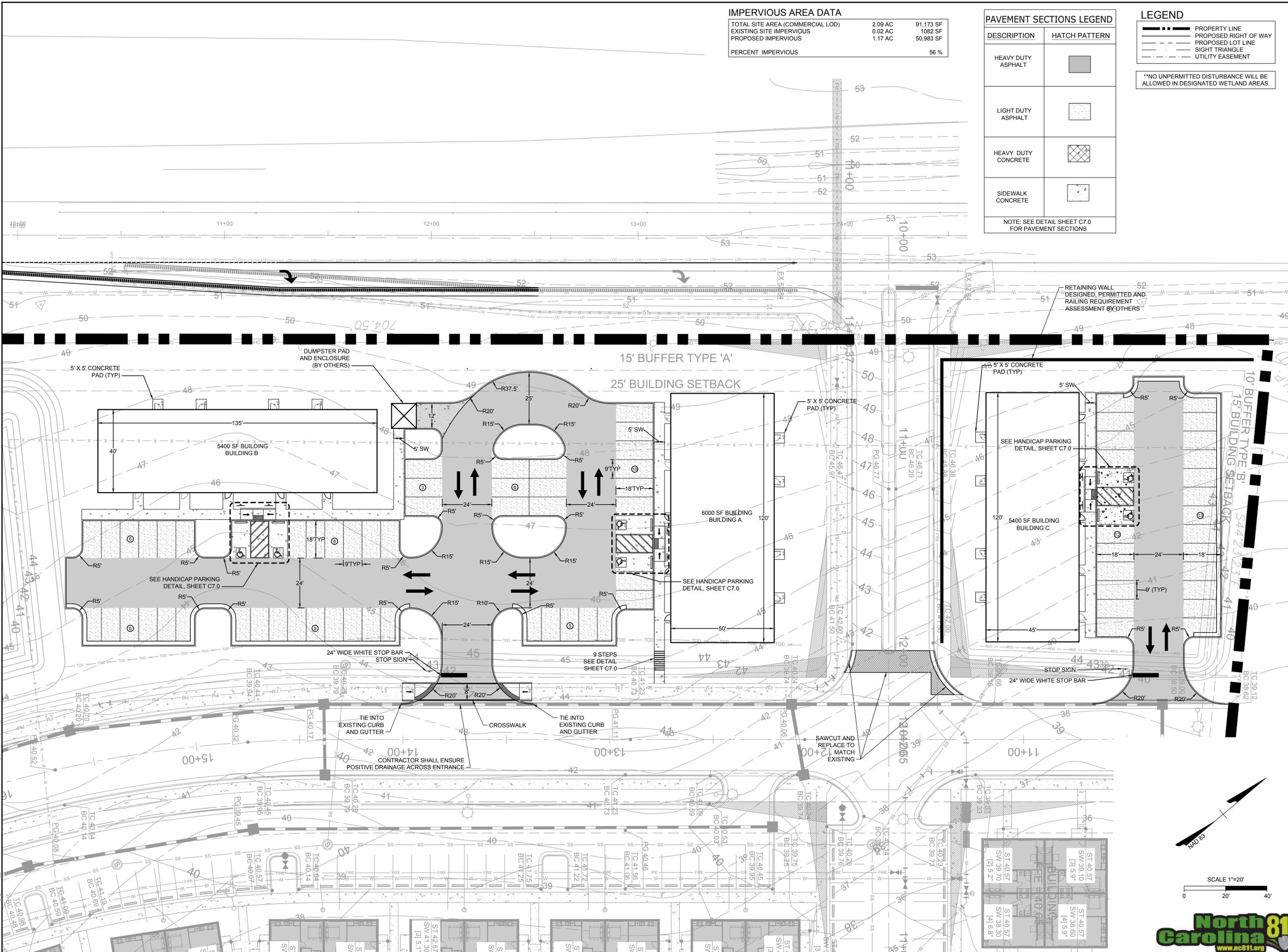
SITE SPECIFIC EXISTING CONDITIONS & DEMOLITION PLAN

JOB NO. 67799
 SHEET NO. C1.1



S:\31167799-Whitebridge_Crossing_Commercial\DWG\Sheet\CD\67799-331-C1-D-EXIST.dwg | Plotted by Craig Smith

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IMPERVIOUS AREA DATA

TOTAL SITE AREA (COMMERCIAL LOD)	2.09 AC	91,173 SF
EXISTING SITE IMPERVIOUS	0.02 AC	1082 SF
PROPOSED IMPERVIOUS	1.17 AC	50,983 SF
PERCENT IMPERVIOUS		56 %

PAVEMENT SECTIONS LEGEND

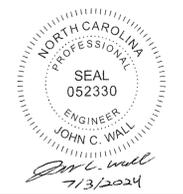
DESCRIPTION	HATCH PATTERN
HEAVY DUTY ASPHALT	[Hatch Pattern]
LIGHT DUTY ASPHALT	[Hatch Pattern]
HEAVY DUTY CONCRETE	[Hatch Pattern]
SIDEWALK CONCRETE	[Hatch Pattern]

NOTE: SEE DETAIL SHEET C7.0 FOR PAVEMENT SECTIONS

LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED RIGHT OF WAY
[Symbol]	PROPOSED LOT LINE
[Symbol]	SIGHT TRIANGLE
[Symbol]	UTILITY EASEMENT

**NO UNPERMITTED DISTURBANCE WILL BE ALLOWED IN DESIGNATED WETLAND AREAS.



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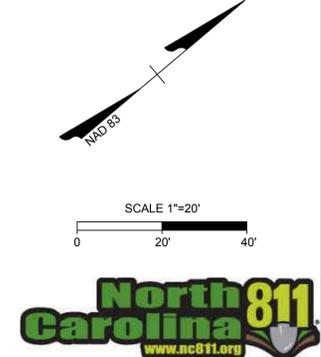
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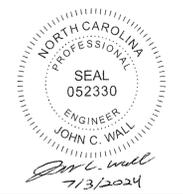
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 PENDER COUNTY, NORTH CAROLINA
SITE PLAN

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 SHEET NO.: C2.0

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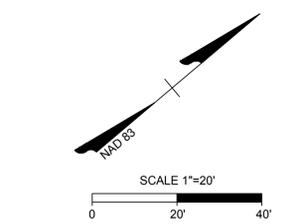
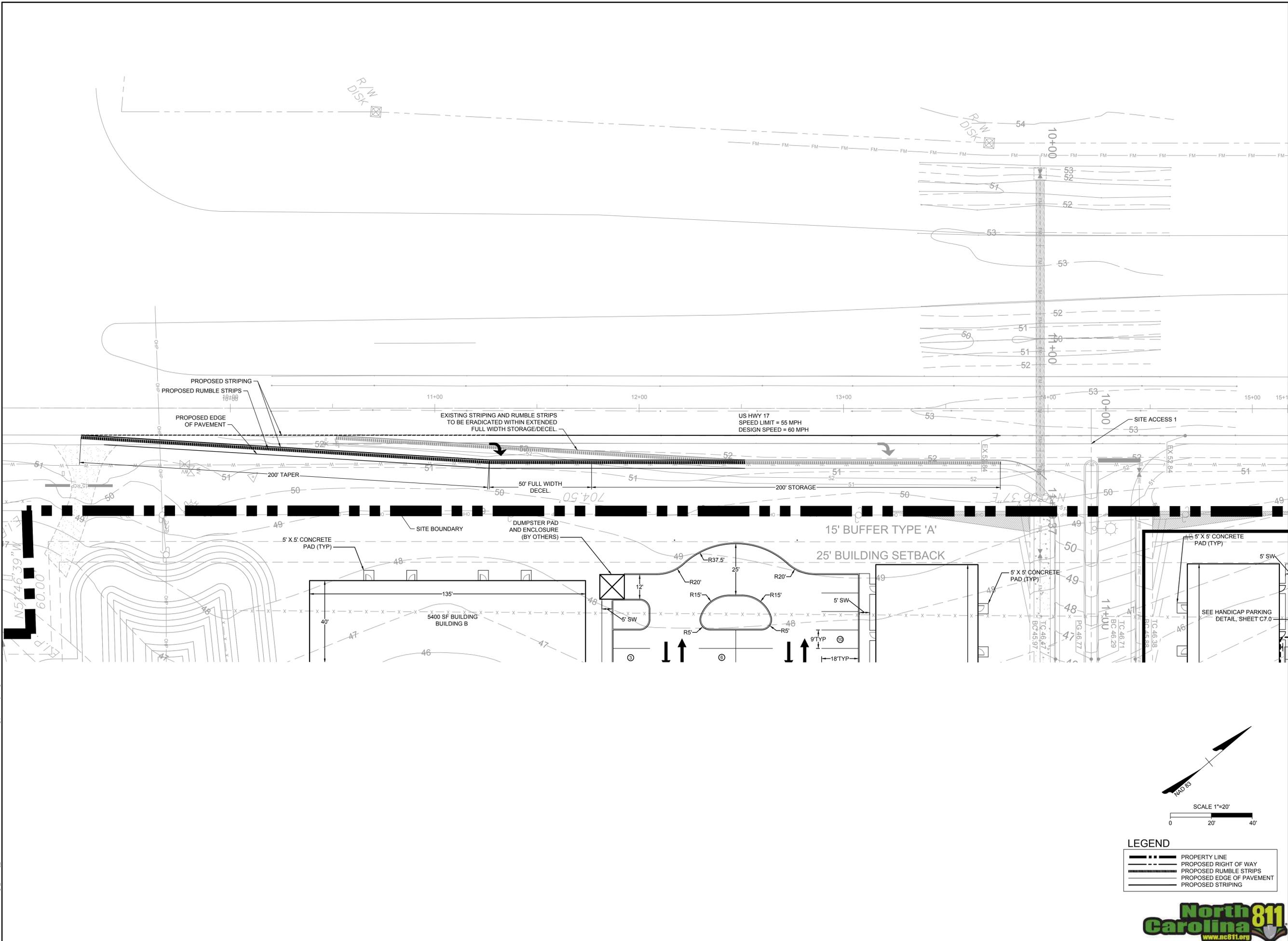
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WHITEBRIDGE CROSSING COMMERCIAL
PENDER COUNTY, NORTH CAROLINA
TURN LANE PLAN

JOB NO.
67799
SHEET NO.
C2.1

REVISION DESCRIPTION
DATE

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- LEGEND**
- PROPERTY LINE
 - - - PROPOSED RIGHT OF WAY
 - ==== PROPOSED RUMBLE STRIPS
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED STRIPING



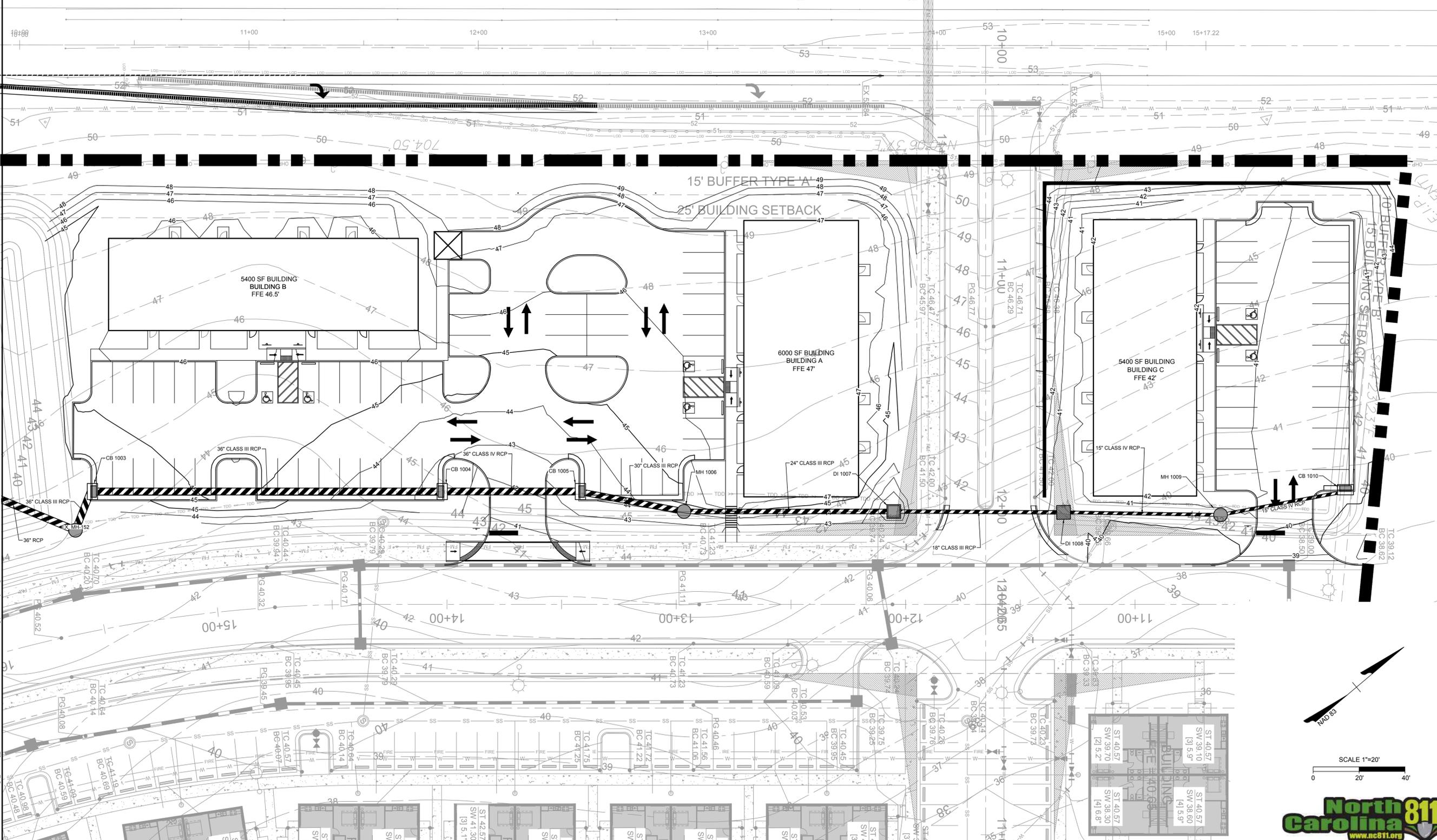
S:\31167799-Whitebridge_Crossing_Commercial\DWG\SHEET\C2.1 SITE\TURN_LANE.dwg | Plotted by Craig Smith

STORM DRAINAGE TABLE (STRM 1000)						
STRUCTURE UP	HEIGHT	TOP	INV IN	INLET PIPE	INV OUT	OUTLET PIPE
CB 1003	8.76'	44.50	35.74'	154 LF 36" CLASS III RCP @ 0.30% (CB 1004)	35.74'	18' LF 36" CLASS III RCP @ 0.32% (EX. MH-152)
CB 1004	6.97'	43.17	36.20'	59 LF 36" CLASS IV RCP @ 0.30% (CB 1005)	36.20'	154' LF 36" CLASS III RCP @ 0.30% (CB 1003)
CB 1005	7.37'	43.75	36.38'	47 LF 30" CLASS III RCP @ 0.30% (MH 1006)	36.38'	59' LF 36" CLASS IV RCP @ 0.30% (CB 1004)
CB 1010	3.12'	40.50			37.38'	55' LF 15" CLASS IV RCP @ 0.30% (MH 1009)
DI 1007	4.21'	41.00	36.79'	74 LF 18" CLASS III RCP @ 0.30% (DI 1008)	36.79'	91' LF 24" CLASS III RCP @ 0.30% (MH 1006)
DI 1008	2.99'	40.00	37.01'	68 LF 15" CLASS IV RCP @ 0.30% (MH 1009)	37.01'	74' LF 18" CLASS III RCP @ 0.30% (DI 1007)
EX. FES-155	8.83'	38.42	35.00'	59 LF 36" RCP @ 1.16% (EX. MH-152)		
EX. MH-152	8.41'	44.09	35.68'	18 LF 36" CLASS III RCP @ 0.32% (CB 1003)	35.68'	59' LF 36" RCP @ 1.16% (EX. FES-155)
MH 1006	7.63'	44.15	36.52'	91 LF 24" CLASS III RCP @ 0.30% (DI 1007)	36.52'	47' LF 30" CLASS III RCP @ 0.30% (CB 1005)
MH 1009	3.29'	40.50	37.21'	55 LF 15" CLASS IV RCP @ 0.30% (CB 1010)	37.21'	68' LF 15" CLASS IV RCP @ 0.30% (DI 1008)

LEGEND

- PROPERTY LINE
- - - PROPOSED RIGHT OF WAY
- - - PROPOSED LOT LINE
- - - SIGHT TRIANGLE
- - - UTILITY EASEMENT
- - - CENTER OF CREEK
- ▨▨▨▨▨ EXISTING WETLANDS

NORTH CAROLINA
PROFESSIONAL
SEAL
052330
ENGINEER
JOHN C. WALL
7/3/2024



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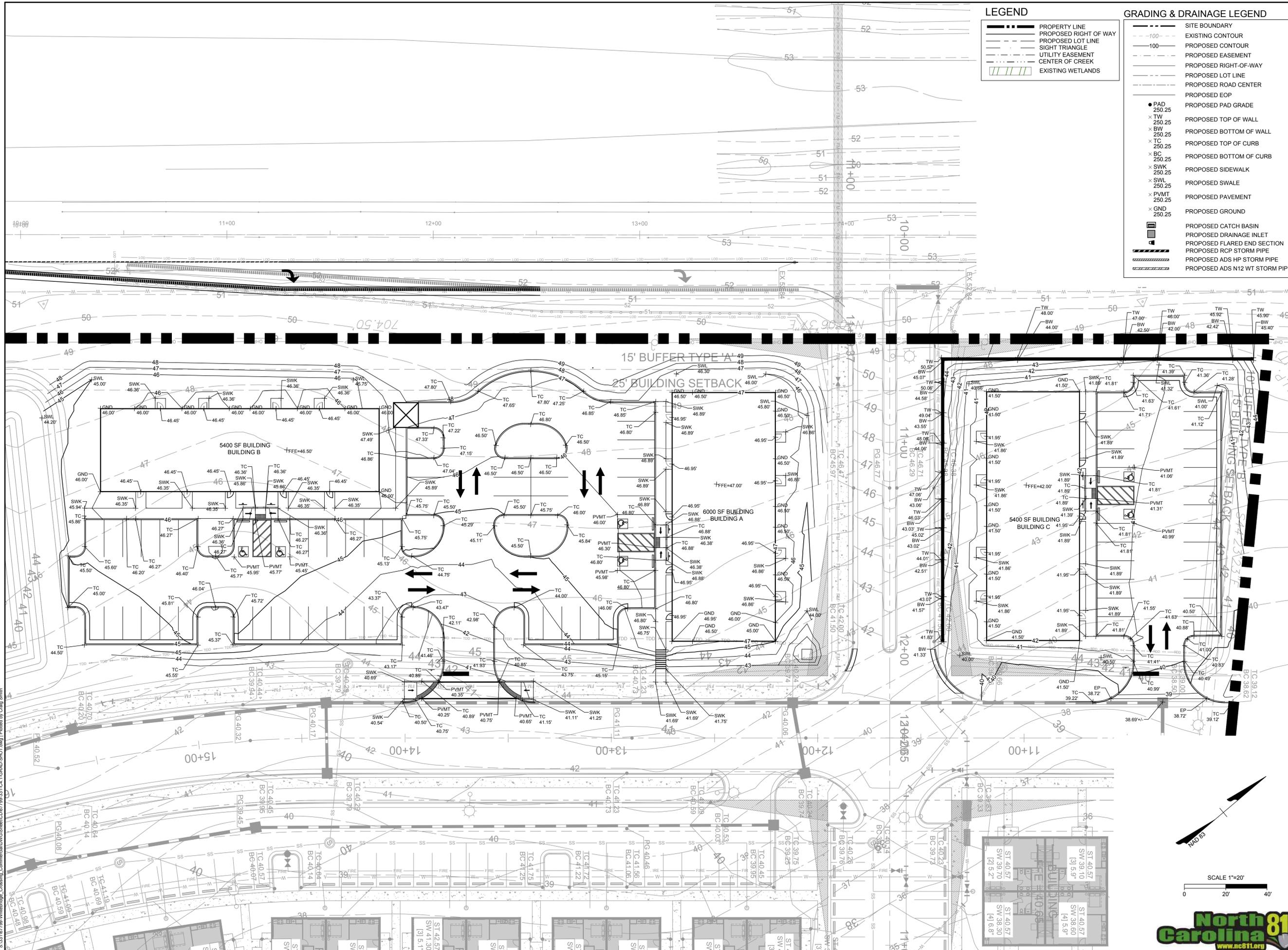
WHITEBRIDGE CROSSING COMMERCIAL
PENDER COUNTY, NORTH CAROLINA

GRADING AND DRAINAGE PLAN

JOB NO.	67799
SHEET NO.	C4.0

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LEGEND

- PROPERTY LINE
- PROPOSED RIGHT OF WAY
- PROPOSED LOT LINE
- SIGHT TRIANGLE
- UTILITY EASEMENT
- CENTER OF CREEK
- Existing Wetlands

GRADING & DRAINAGE LEGEND

- SITE BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED EASEMENT
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PROPOSED ROAD CENTER
- PROPOSED EOP
- PROPOSED PAD GRADE
- PROPOSED TOP OF WALL
- PROPOSED BOTTOM OF WALL
- PROPOSED TOP OF CURB
- PROPOSED BOTTOM OF CURB
- PROPOSED SIDEWALK
- PROPOSED SWALE
- PROPOSED PAVEMENT
- PROPOSED GROUND
- PROPOSED CATCH BASIN
- PROPOSED DRAINAGE INLET
- PROPOSED FLARED END SECTION
- PROPOSED RCP STORM PIPE
- PROPOSED ADS HP STORM PIPE
- PROPOSED ADS N12 WT STORM PIPE



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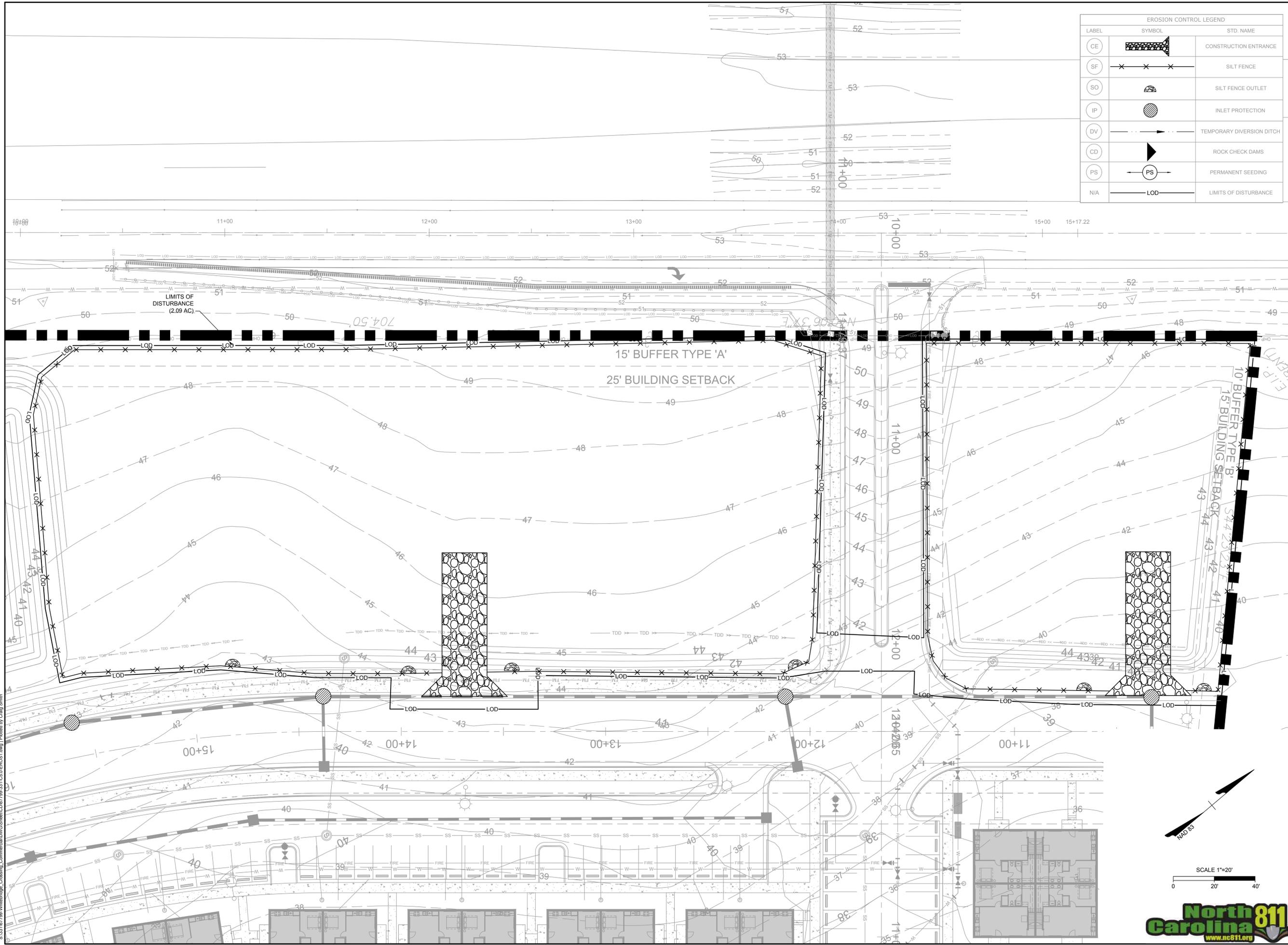
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 PENDER COUNTY, NORTH CAROLINA
 SPOT SHOT PLAN

JOB NO.
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SHEET NO.
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North Carolina 811
 www.nc811.org

PROGRESS DRAWINGS - DO NOT USE FOR CONSTRUCTION



EROSION CONTROL LEGEND		
LABEL	SYMBOL	STD. NAME
CE		CONSTRUCTION ENTRANCE
SF		SILT FENCE
SO		SILT FENCE OUTLET
IP		INLET PROTECTION
DV		TEMPORARY DIVERSION DITCH
CD		ROCK CHECK DAMS
PS		PERMANENT SEEDING
N/A		LIMITS OF DISTURBANCE



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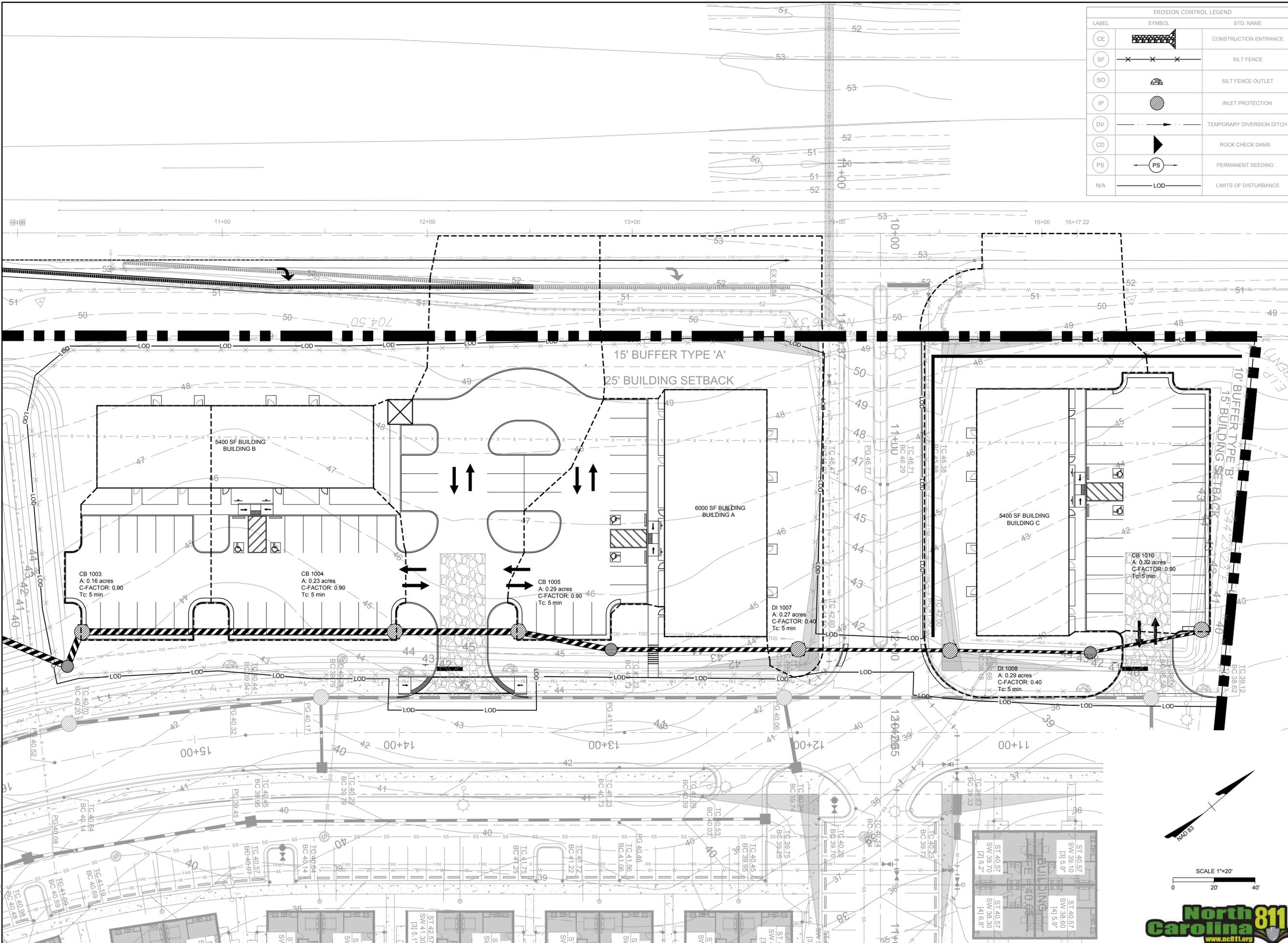
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 PENDER COUNTY, NORTH CAROLINA
EROSION AND SEDIMENT CONTROL PHASE 1

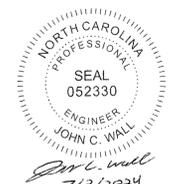
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EROSION CONTROL LEGEND		
LABEL	SYMBOL	STD. NAME
CE		CONSTRUCTION ENTRANCE
SF		SILT FENCE
SO		SILT FENCE OUTLET
IP		INLET PROTECTION
DV		TEMPORARY DIVERSION DITCH
CD		ROCK CHECK DAMS
PS		PERMANENT SEEDING
N/A		LIMITS OF DISTURBANCE



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EROSION AND SEDIMENT CONTROL PHASE 2

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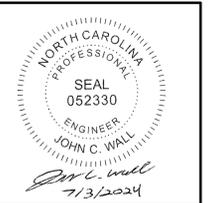
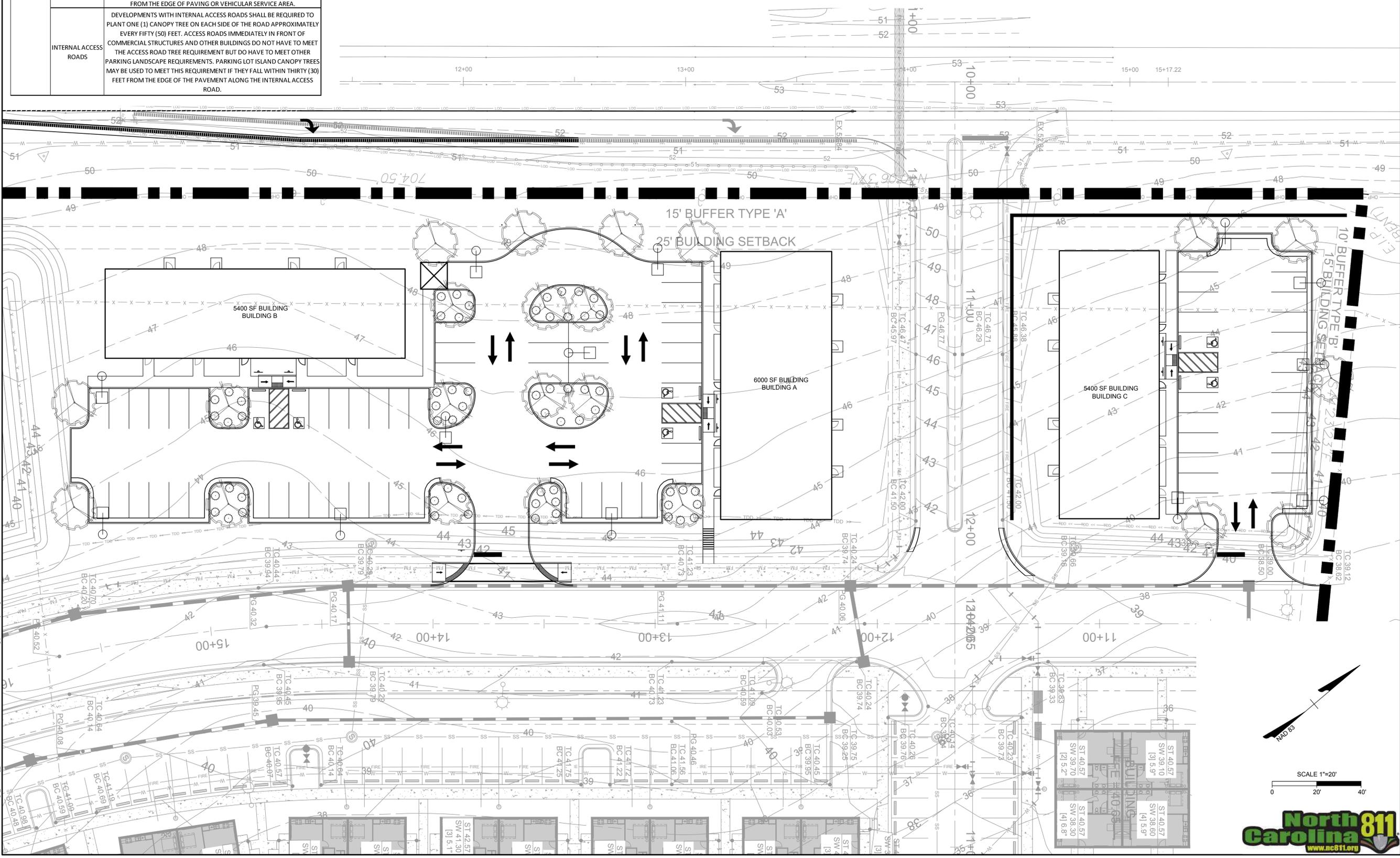
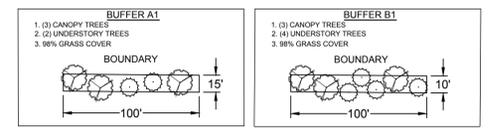
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PENDER COUNTY LANDSCAPE REQUIREMENTS IN PARKING AREAS AND OTHER SITE AREAS		
ORDINANCE	LOCATION	REQUIREMENT
SEC.8.3.2	SINGLE ROW TERMINAL ISLAND	MIN (1) CANOPY TREE MAX 2' HIGH SCREENING SHRUBS SHALL BE UTILIZED THE ENTIRE LENGTH OF THE LANDSCAPE ISLAND, OR AS LIMITED BY SIGHT DISTANCES
	DOUBLE ROW TERMINAL ISLAND	MIN (2) CANOPY TREES MAX 2' HIGH SCREENING SHRUBS SHALL BE UTILIZED THE ENTIRE LENGTH OF THE LANDSCAPE ISLAND, OR AS LIMITED BY SIGHT DISTANCES
	PERIMETER	CANOPY TREES SHALL BE PLANTED AN AVERAGE OF FIFTY (50) FOOT CENTERS AROUND THE TOTAL PERIMETER OF THE PARKING LOT AND ALL VEHICULAR SERVICE AREAS. CLUSTERING MAY BE UTILIZED BUT SPACING SHALL NOT EXCEED ONE HUNDRED AND FIFTY (150) FOOT SPACING. THE CANOPY TREES SHALL BE PLANTED BETWEEN EIGHT FEET (8) AND THIRTY (30) FEET FROM THE EDGE OF PAVEMENT. CANOPY TREES WITHIN THE LANDSCAPE BUFFERS MAY BE USED IF THEY FALL WITHIN THIRTY (30) FEET FROM THE EDGE OF PAVING OR VEHICULAR SERVICE AREA.
	INTERNAL ACCESS ROADS	DEVELOPMENTS WITH INTERNAL ACCESS ROADS SHALL BE REQUIRED TO PLANT ONE (1) CANOPY TREE ON EACH SIDE OF THE ROAD APPROXIMATELY EVERY FIFTY (50) FEET. ACCESS ROADS IMMEDIATELY IN FRONT OF COMMERCIAL STRUCTURES AND OTHER BUILDINGS DO NOT HAVE TO MEET THE ACCESS ROAD TREE REQUIREMENT BUT DO HAVE TO MEET OTHER PARKING LANDSCAPE REQUIREMENTS. PARKING LOT ISLAND CANOPY TREES MAY BE USED TO MEET THIS REQUIREMENT IF THEY FALL WITHIN THIRTY (30) FEET FROM THE EDGE OF THE PAVEMENT ALONG THE INTERNAL ACCESS ROAD.

PENDER COUNTY BUFFER REQUIREMENTS FOR PLANNED DEVELOPMENTS			
ORDINANCE	REQUIREMENT	LOCATION	PROPOSED OPTION
SEC.8.2.7	BUFFER A	ALONG ALL BOUNDARIES ADJACENT TO A STREET	A-1) 15 FOOT WIDE STRIP WITH 3 CANOPY TREES, 2 UNDERSTORY TREES AND A GRASS COVER OF AT LEAST 98% COVERAGE (EXCEPT WITHIN 4 FEET OF THE BASE OF ANY TREE), PER 100 LINEAR FEET
	BUFFER C	ALONG ALL BOUNDARIES ADJACENT TO SINGLE FAMILY RESIDENTIAL USES OR RESIDENTIAL LOTS WITH A PARCEL SIZE OF LESS THAN 1 ACRE AND WHEN A SINGLE FAMILY STRUCTURE IS WITHIN 50' OF THE BOUNDARY OF THE DEVELOPMENT	N/A
	BUFFER B	ALONG ALL OTHER BOUNDARIES	B-1) 10 FOOT WIDE STRIP WITH 3 CANOPY TREES, 4 UNDERSTORY TREES AND A GRASS COVER OF AT LEAST 98% COVERAGE (EXCEPT WITHIN 4 FEET OF THE BASE OF ANY TREE), PER 100 LINEAR FEET

PLANTING LEGEND				
CANOPY TREES				
SYM	CODE	COMMON NAME	CONT	QTY
	UP	LACEBARK ELEM	SPADED	22
SCREENING SHRUBS				
	IN	DWARF YAUPON HOLY	24" HT	61

LIGHTING LEGEND	
	CONCEPTUAL LED STREET LIGHTS (LED 150W ROADWAY LIGHT) ALUMINUM POLE - HEIGHT 25'



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WHITEBRIDGE CROSSING COMMERCIAL
 PENDER COUNTY, NORTH CAROLINA

LANDSCAPE AND LIGHTING PLAN

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 SHEET NO. C6.0

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GENERAL NOTES

PRE-CONSTRUCTION

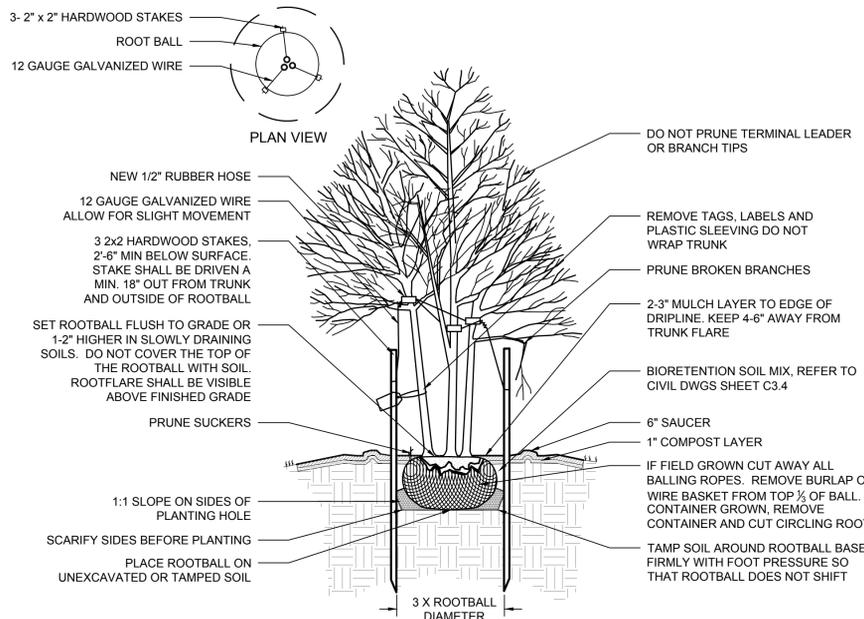
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING "MISS UTILITY" AT 1.800.632.4949 FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
- PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE ARCHITECTS, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS

CONSTRUCTION/INSTALLATION

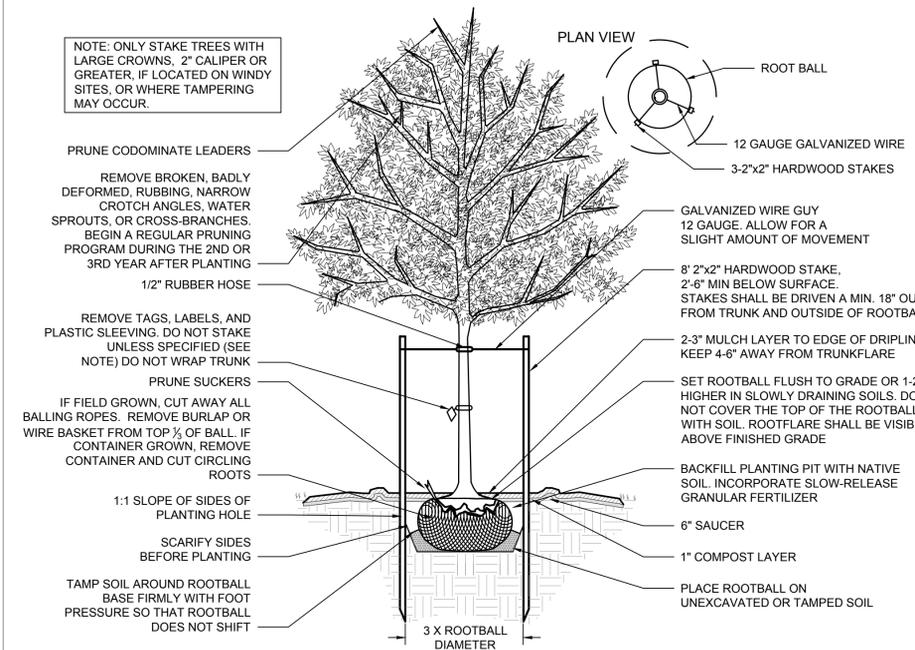
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK"
- LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

INSPECTIONS/GUARANTEE

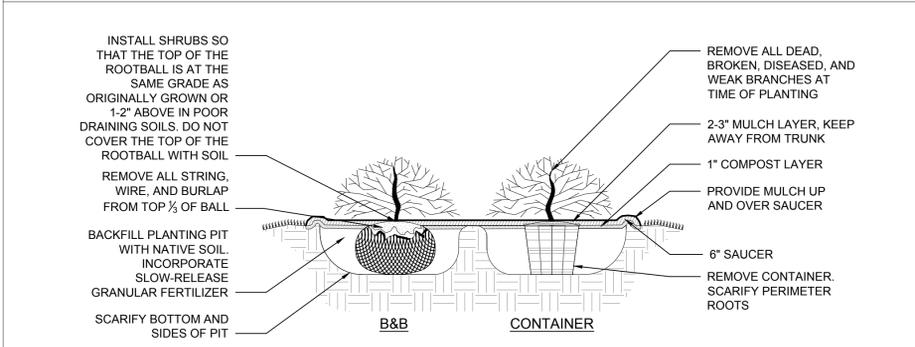
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE LANDSCAPE ARCHITECT.
- ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.



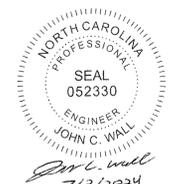
1 MULTI-STEM TREE PLANTING
NOT TO SCALE



2 DECIDUOUS TREE - STAKING SPECIFIED
NOT TO SCALE



3 SHRUB PLANTING
NOT TO SCALE



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YOUR VISION ACHIEVED THROUGH OURS.

DATE: 07/03/2024
DRAWN BY: 331
DESIGNED BY: 331
CHECKED BY: J. WALL
SCALE: 1" = 20'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
WHITEBRIDGE CROSSING COMMERCIAL
PENDER COUNTY, NORTH CAROLINA
LANDSCAPE NOTES AND DETAILS

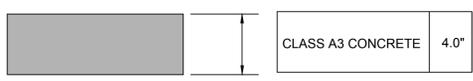
JOB NO. 67799
SHEET NO. C6.1



PROGRESS DRAWINGS - DO NOT USE FOR CONSTRUCTION

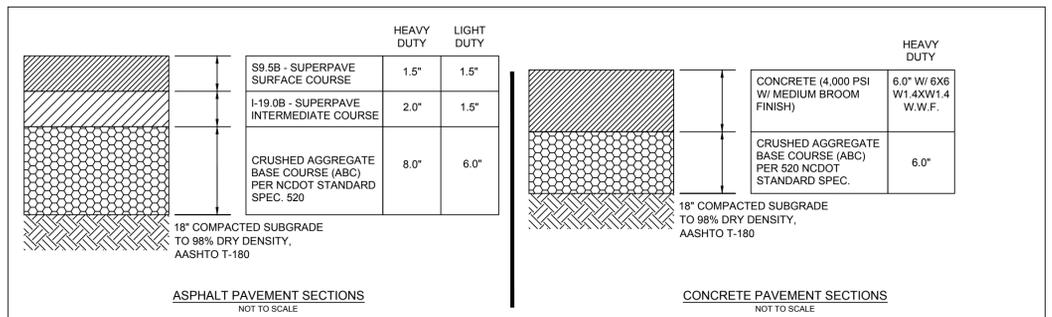
- SIDEWALK RAMPS AND DEPRESSED CURB NOTES:**
- ALL STREET CURBS IN NORTH CAROLINA BEING CONSTRUCTED OR RECONSTRUCTED FOR MAINTENANCE PROCEDURES, TRAFFIC OPERATIONS, REPAIRS, CORRECTION OF UTILITIES OR ALTERED FOR ANY REASON AFTER SEPTEMBER 1973 SHALL PROVIDE WHEELCHAIR RAMPS FOR THE PHYSICALLY HANDICAPPED AT ALL INTERSECTIONS WHERE BOTH CURB AND GUTTER AND SIDEWALKS ARE PROVIDED AND AT OTHER MAJOR POINTS OF PEDESTRIAN FLOW.
 - ADA ACCESSIBLE ROUTE SHALL HAVE A 5.0% MAXIMUM LONGITUDINAL SLOPE AND A 2.0% MAXIMUM CROSS SLOPE (EXCLUDING RAMPS). THE SLOPE OF RAMPS SHALL NOT EXCEED 12:1.
 - THE WIDTH OF THE RAMPS SHALL BE GREATER THAN OR EQUAL TO 4'.
 - ALL CURB CUTS AT SIDEWALKS SHALL HAVE DETECTABLE WARNING SURFACE.
 - CLASS "A" CONCRETE WITH THE SURFACE HAVING A ROUGH, NON-SKID TYPE FINISH SHALL BE USED.
 - 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE RAMP JOINS ANY RIGID PAVEMENT OR STRUCTURE.

- PAVEMENT SECTION NOTES:**
- PREPARING, GRADING, SHAPING, AND COMPACTION OF SUBGRADE SOILS SHOULD BE PERFORMED IN ACCORDANCE WITH DIVISION 5, SECTION 501 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (2018). PREPARING, GRADING, SHAPING, AND COMPACTION OF AGGREGATE BASE COURSE (ABC) STONE SHOULD BE PERFORMED IN ACCORDANCE WITH DIVISION 5, SECTION 520 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (2018). PLACEMENT AND COMPACTION OF THE BITUMINOUS CONCRETE SHOULD BE PERFORMED IN ACCORDANCE WITH DIVISION 6, SECTION 600 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (2018). PROPER SUBGRADE COMPACTION, ADHERENCE TO THE NCDOT SPECIFICATIONS, AND COMPLIANCE WITH PROJECT PLANS AND SPECIFICATIONS ARE CRITICAL TO THE PERFORMANCE OF THE CONSTRUCTED PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.



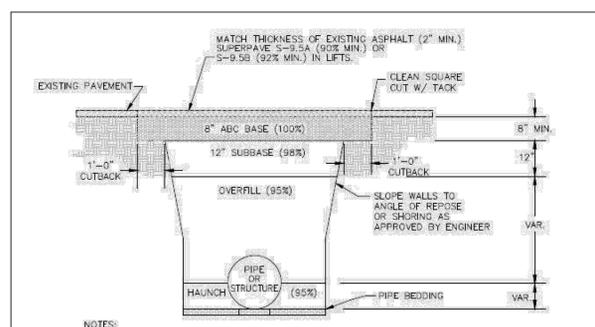
TYPICAL SIDEWALK CROSS SECTION
NOT TO SCALE

- NOTES:**
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 - SANITARY SEWER CLEANOUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK.
 - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAINED WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
 - MINIMUM REPLACEMENT FOR REPAIRS IS A 5'x5' PANEL.
 - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
 - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12".
 - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1.
 - MINIMUM GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST ONE DIRECTION. MAXIMUM CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 5%.



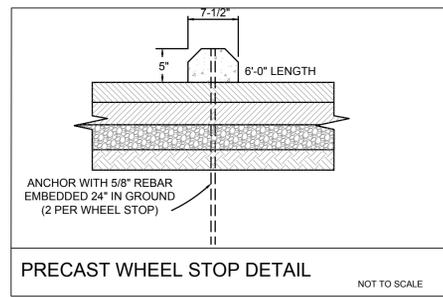
- NOTES:**
- PLEASE REFER TO GEOTECH REPORT FOR PAVEMENT AND SUBGRADE RECOMMENDATIONS PRIOR TO RELYING ON THESE SPECIFICATIONS.
 - PREPARING, GRADING, SHAPING, AND COMPACTION OF SUBGRADE SOILS SHOULD BE PERFORMED IN ACCORDANCE WITH DIVISION 5, SECTION 501 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (2018). PREPARING, GRADING, SHAPING, AND COMPACTION OF AGGREGATE BASE COURSE (ABC) STONE SHOULD BE PERFORMED IN ACCORDANCE WITH DIVISION 5, SECTION 520 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (2018). PLACEMENT AND COMPACTION OF THE BITUMINOUS CONCRETE SHOULD BE PERFORMED IN ACCORDANCE WITH DIVISION 6, SECTION 600 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (2018). PROPER SUBGRADE COMPACTION, ADHERENCE TO THE NCDOT SPECIFICATIONS, AND COMPLIANCE WITH PROJECT PLANS AND SPECIFICATIONS ARE CRITICAL TO THE PERFORMANCE OF THE CONSTRUCTED PAVEMENT.
 - CONTRACTOR MAY CHOOSE TO INSTALL INTERMEDIATE COURSES OF PAVEMENT TO STABILIZE THE SITE DURING CONSTRUCTION AT NO ADDITIONAL COST. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ADEQUATE THICKNESS REQUIRED FOR INTERMEDIATE PAVING. INCREASES IN THE DESIGN PAVEMENT SECTION TO FACILITATE INTERMEDIATE PAVING SHALL BE PROVIDED AT NO ADDITIONAL COST.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.
 - PAVEMENT SECTION WITHIN RIGHT-OF-WAY SHALL MATCH EXISTING PAVEMENT SECTION.
 - REFER TO GEOTECHNICAL REPORT FOR PAVEMENT RECOMMENDATIONS.

PAVEMENT SECTIONS DETAIL
NOT TO SCALE

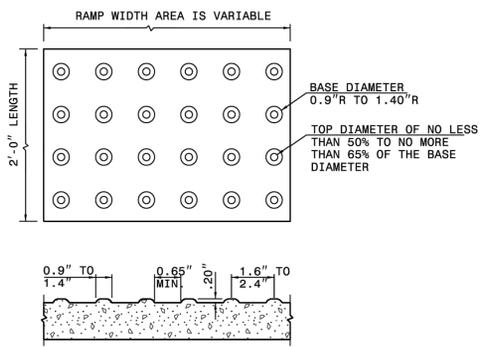


- NOTES:**
- CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
 - FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, COMBOS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
 - SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
 - SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK). HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
 - ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
 - COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS; AND ASTM D-698-C FOR ABC STONE; AND BY NUCLEAR GAUGE OR CORE SAMPLE FOR ASPHALT.
 - OUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF UNDISTURBED SOIL.

OPEN CUT REPAIR DETAIL
NOT TO SCALE



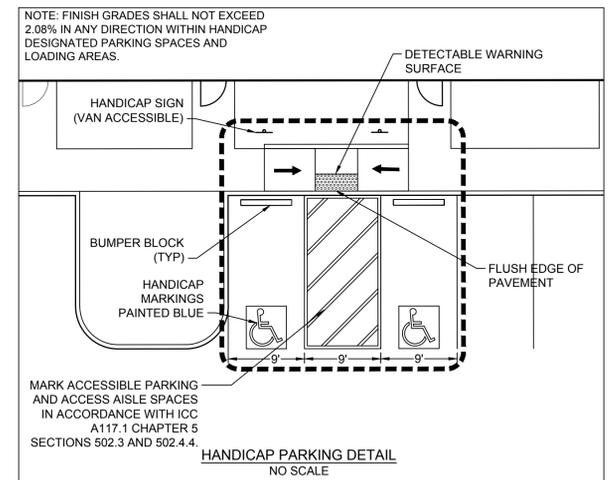
PRECAST WHEEL STOP DETAIL
NOT TO SCALE



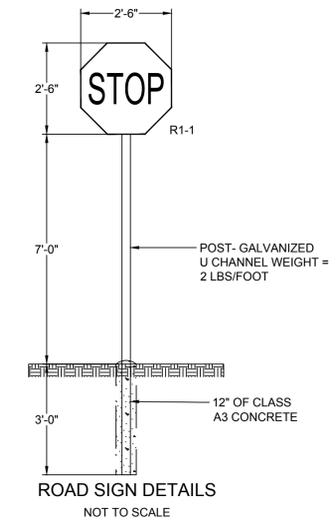
DETECTABLE WARNING DOMES



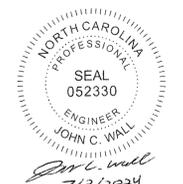
PARKING SIGNS FOR THE DISABLED
NO SCALE



HANDICAP PARKING DETAIL
NO SCALE



ROAD SIGN DETAILS
NOT TO SCALE



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J. WALL

SCALE
NONE

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

WHITEBRIDGE CROSSING COMMERCIAL
PENDER COUNTY, NORTH CAROLINA

SITE NOTES AND DETAILS

JOB NO.
67799

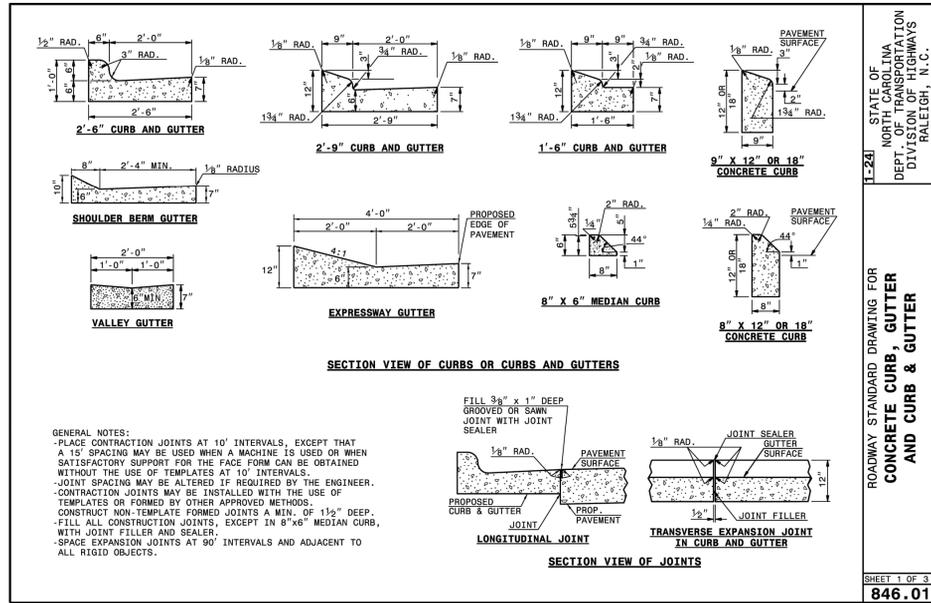
SHEET NO.
C7.0



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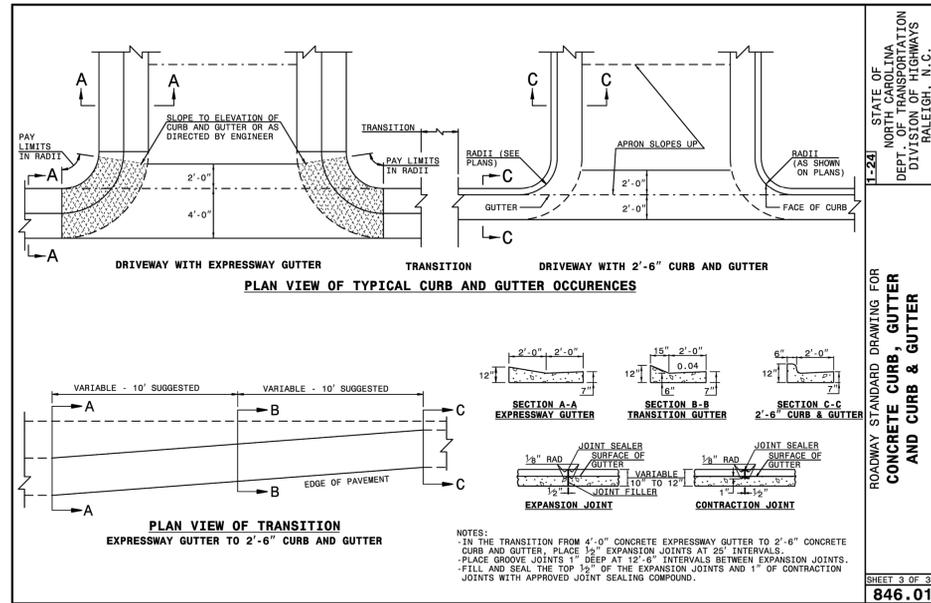
S:\31167759-Whitebridge_Crossing_Commercial\DWG\Sheet\CD67759-331-C7-D\NTD1.dwg | Plotted by Craig Smith



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
**CONCRETE CURB, GUTTER
AND CURB & GUTTER**

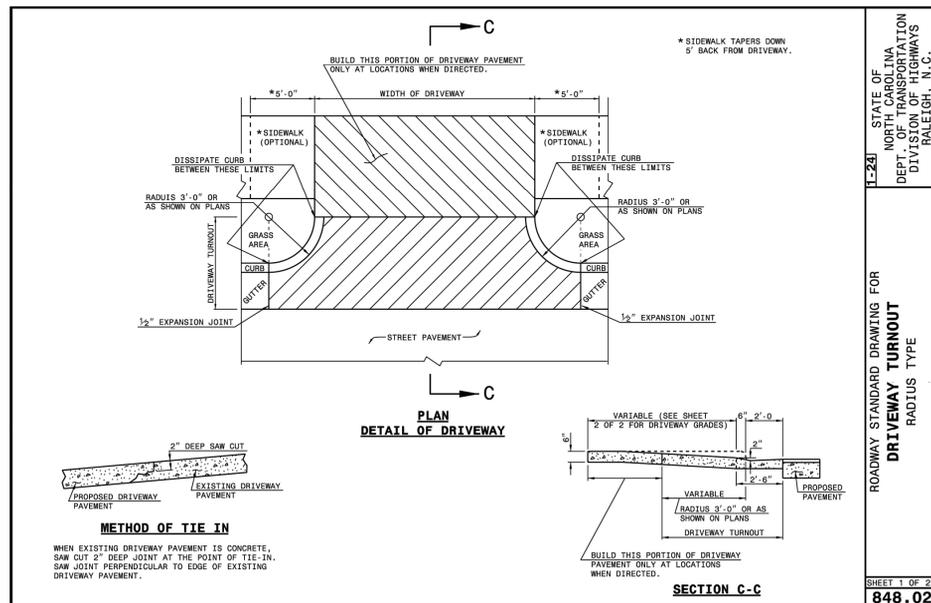
SHEET 1 OF 3
846.01



STATE OF NORTH CAROLINA
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DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
**CONCRETE CURB, GUTTER
AND CURB & GUTTER**

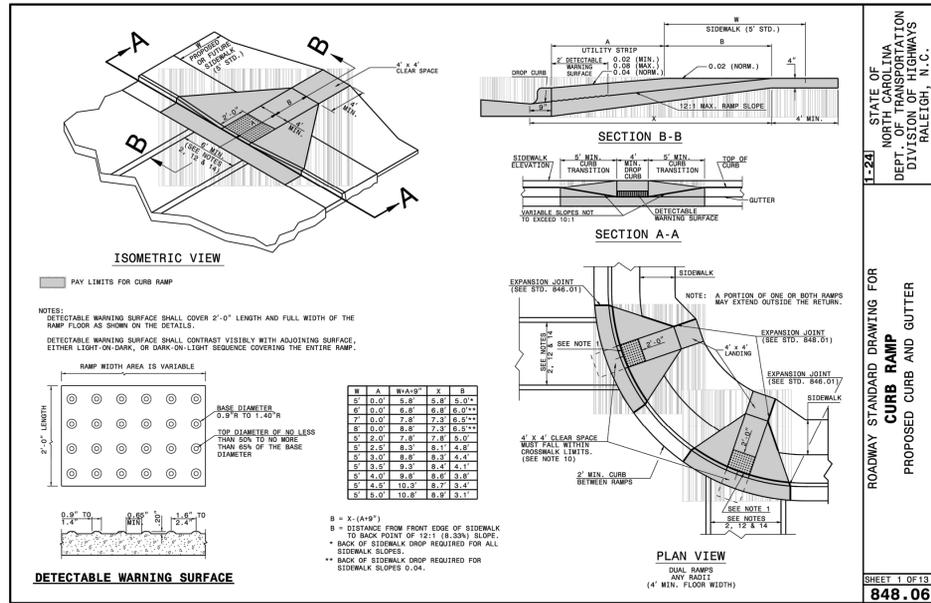
SHEET 3 OF 3
846.01



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
**DRIVEWAY TURNOUT
RADIUS TYPE**

SHEET 1 OF 2
846.02

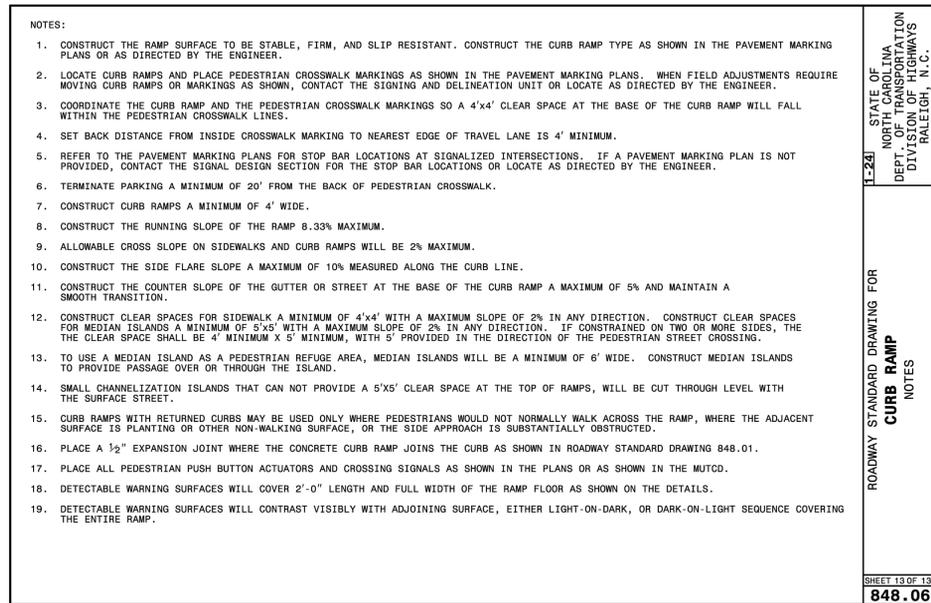


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DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CURB RAMP

PROPOSED CURB AND GUTTER

SHEET 1 OF 13
848.06

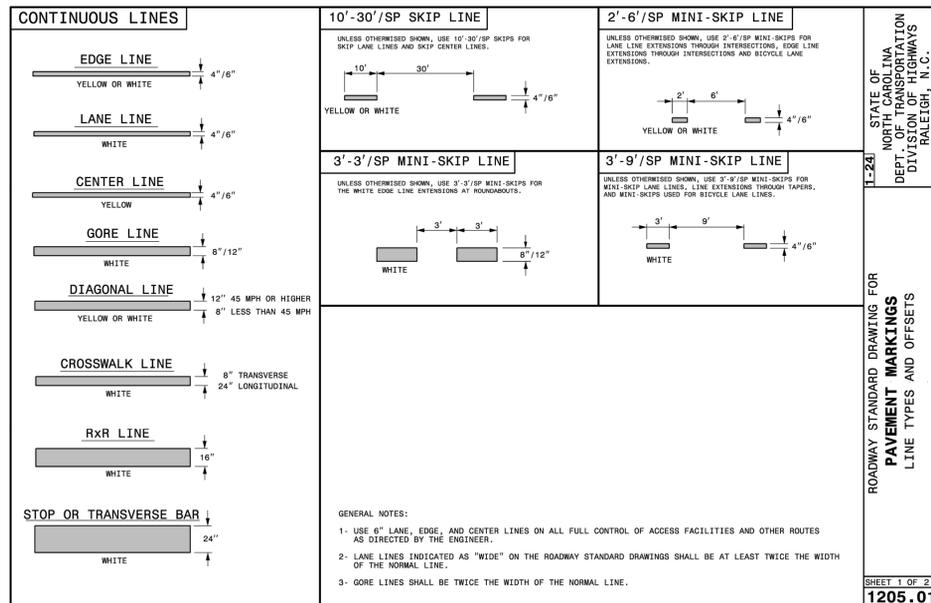


STATE OF NORTH CAROLINA
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DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CURB RAMP

NOTES

SHEET 13 OF 13
848.06

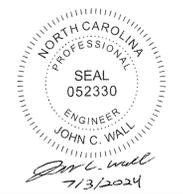


STATE OF NORTH CAROLINA
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ROADWAY STANDARD DRAWING FOR
PAVEMENT MARKINGS

LINE TYPES AND OFFSETS

SHEET 1 OF 2
1205.01



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DESIGNED BY
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CHECKED BY
J. WALL

SCALE
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NORTH CAROLINA LICENSE NO. C-1652

WHITEBRIDGE CROSSING COMMERCIAL
PENDER COUNTY, NORTH CAROLINA

SITE NOTES AND DETAILS

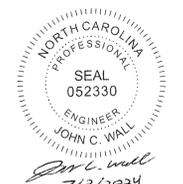
JOB NO.
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SHEET NO.
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WHITEBRIDGE CROSSING COMMERCIAL
 PENDER COUNTY, NORTH CAROLINA

UTILITY NOTES AND DETAILS

JOB NO.
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SHEET NO.
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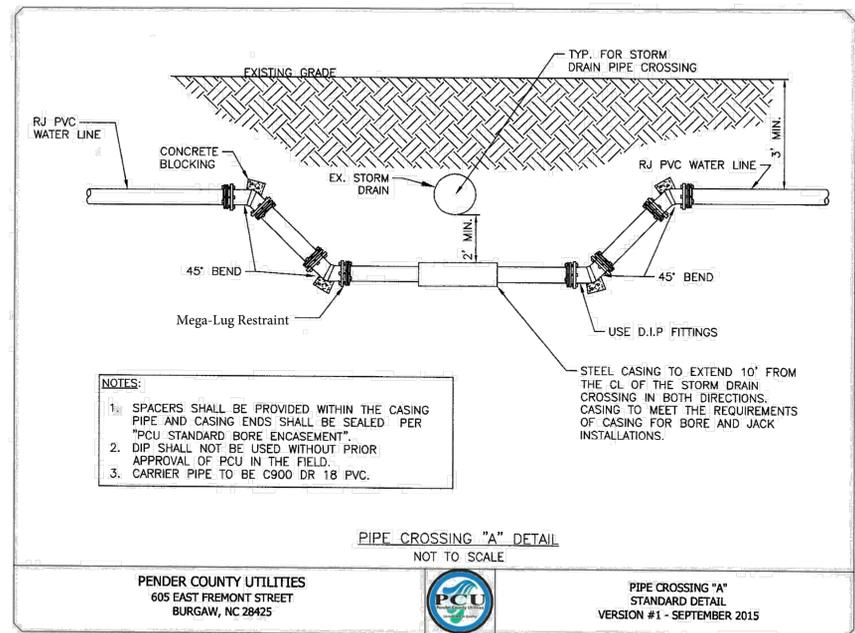
PCU STANDARD NOTES

1. A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE BEGINNING WORK. THE MEETING MUST BE SCHEDULED WITH PENDER COUNTY UTILITIES (PCU) AT LEAST ONE WEEK IN ADVANCE. ATTENDEES MUST INCLUDE PCU, THE UTILITY CONTRACTOR'S SUPERINTENDENT, THE SUPPLIER, AND THE CONSULTING ENGINEER.
2. ALL MATERIALS USED SHALL CONFORM TO PENDER COUNTY UTILITIES REQUIREMENTS. NON-CONFORMING MATERIAL WILL NOT BE ACCEPTED FOR FINAL CERTIFICATION.
3. ALL PIPE SHALL BE C900 CR18 PVC, UNLESS OTHERWISE NOTED (SEE PCU STANDARD DETAIL). PCU MUST APPROVE THE USE OF DIP IN THE FIELD BEFORE INSTALLATION. PIPE SHOULD NEVER BE UNDER THE ROADWAY, PARKING LOT, OR SIDEWALKS. PENDER COUNTY UTILITIES DOES NOT ALLOW SIZE-ON-SIZE TAPS.
4. PCU STANDARD WATERLINE PIPE RESTRAINING METHOD IS MEGA LUGS. AT A MINIMUM ALL FITTINGS, VALVES, ETC. MUST BE RESTRAINED (SEE PCU STANDARD DETAIL).
5. PCU MUST INSPECT CASING INSTALLATIONS PRIOR TO BACKFILL. PCU MUST WITNESS PRESSURE TESTS, AND WITHDRAWAL OF BACTERIOLOGICAL SMPLES. CONTACT PENDER COUNTY UTILITIES INSPECTOR TO SCHEDULE.
6. CLOSE-OUT DOCUMENTS WHICH MUST BE RECEIVED PRIOR TO PCU SIGNING THE NCDEQ PWSS APPLICANT CERTIFICATION INCLUDE: BACTERIOLOGICAL TESTS, PRESSURE TESTS, DEED OF DEDICATION, AFFIDAVIT/RELEASE OF LIENS, WARRANTY, AND RECORDS DRAWINGS (PDF & GIO REFERENCED CAD).
7. AN 18-MONTH WARRANTY PERIOD APPLIES TO ALL WATERLINE CONSTRUCTION. THIS WARRANTY PERIOD DOES NOT BEGIN UNTIL FINAL APPROVAL OF THE SYSTEM HAS BEEN RECEIVED FROM NCDEQ PWSS.

PENDER COUNTY UTILITIES
 605 E FREMONT STREET
 PO BOX 995, BURGAW, NC 28425



STANDARD NOTES
 PCU WATER SYSTEMS
 VERSION #4 - OCTOBER 2023



PENDER COUNTY UTILITIES
 605 EAST FREMONT STREET
 BURGAW, NC 28425



PIPE CROSSING "A"
 STANDARD DETAIL
 VERSION #1 - SEPTEMBER 2015

PIPE DIAMETER (INCHES)	D. I. P.				P. V. C.			
	90°	45°	22.5°	11.25°	90°	45°	22.5°	11.25°
3"	30'	15'	10'	0'	40'	30'	10'	0'
4"	35'	15'	10'	0'	50'	30'	10'	0'
6"	60'	25'	10'	0'	80'	30'	20'	10'
8"	65'	30'	15'	10'	90'	40'	20'	10'
10"	80'	35'	20'	10'	110'	50'	25'	15'
12"	95'	40'	20'	10'	130'	60'	30'	15'
16"	120'	50'	25'	15'	160'	70'	35'	20'
20"	150'	60'	30'	15'	200'	80'	40'	20'
24"	180'	70'	35'	20'	210'	90'	45'	25'
30"	190'	80'	40'	20'	250'	100'	50'	25'
36"	220'	95'	45'	25'	0'	0'	0'	0'
42"	245'	105'	50'	25'	0'	0'	0'	0'
48"	260'	120'	60'	30'	0'	0'	0'	0'

Restrained lengths for valves, dead ends and branches from tees shall be the same as for 90° (degree) bends

PIPE DIAMETER (INCHES)	3"	4"	6"	8"	10"	12"	16"	20"	24"	30"
3"	0	0	0	0	0	0	0	0	0	0
4"	40'	0	0	0	0	0	0	0	0	0
6"	60'	45'	0	0	0	0	0	0	0	0
8"	75'	70'	40'	0	0	0	0	0	0	0
10"	95'	90'	70'	40'	0	0	0	0	0	0
12"	120'	115'	100'	75'	40'	0	0	0	0	0
16"	160'	155'	140'	125'	100'	70'	0	0	0	0
20"	200'	195'	180'	170'	150'	120'	75'	0	0	0
24"	180'	155'	150'	140'	135'	120'	90'	50'	0	0
30"	195'	190'	185'	180'	170'	160'	120'	105'	70'	0
36"	225'	220'	215'	210'	205'	195'	180'	165'	125'	70'
42"	245'	240'	235'	230'	225'	220'	205'	190'	165'	105'
48"	265'	260'	245'	240'	235'	230'	215'	195'	175'	125'

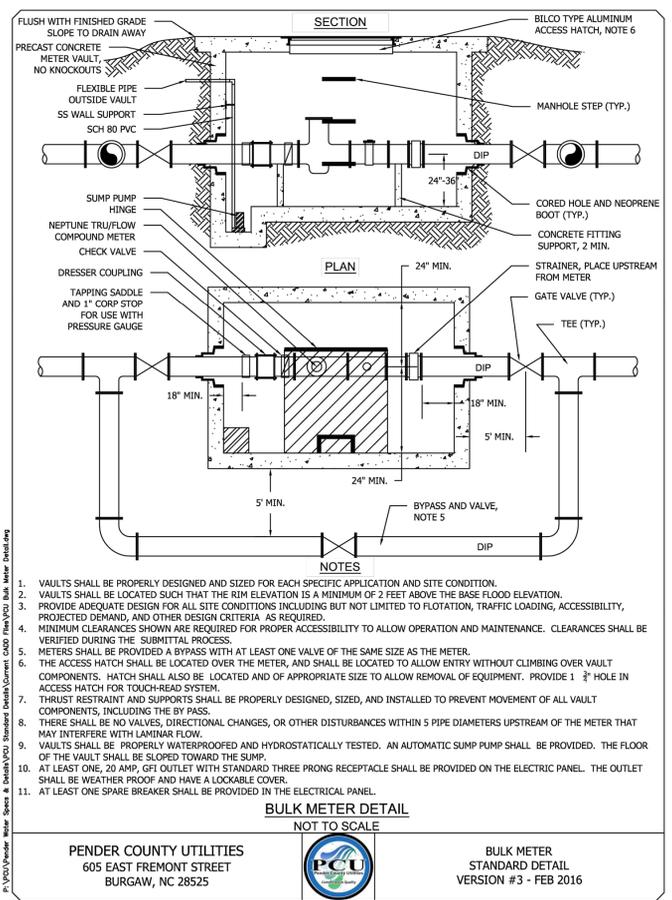
Length of restrained joint for larger diameter pipe

- NOTES:
1. PENDER COUNTY STANDARD RESTRAINT METHOD IS MEGA LUGS, UNLESS SPECIFICALLY APPROVED BY PCU IN WRITING.
 2. ALL FITTINGS AND JOINTS SHALL BE RESTRAINED JOINT.
 3. "L" ABOVE IS GIVEN IN FEET FROM FITTING JOINT.

PENDER COUNTY UTILITIES
 605 E FREMONT STREET
 PO BOX 995, BURGAW, NC 28425



RESTRAINED JOINT TABLE
 STANDARD DETAIL
 VERSION #2 - OCTOBER 2023



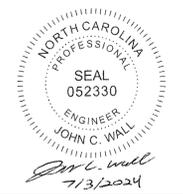
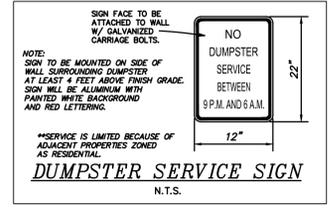
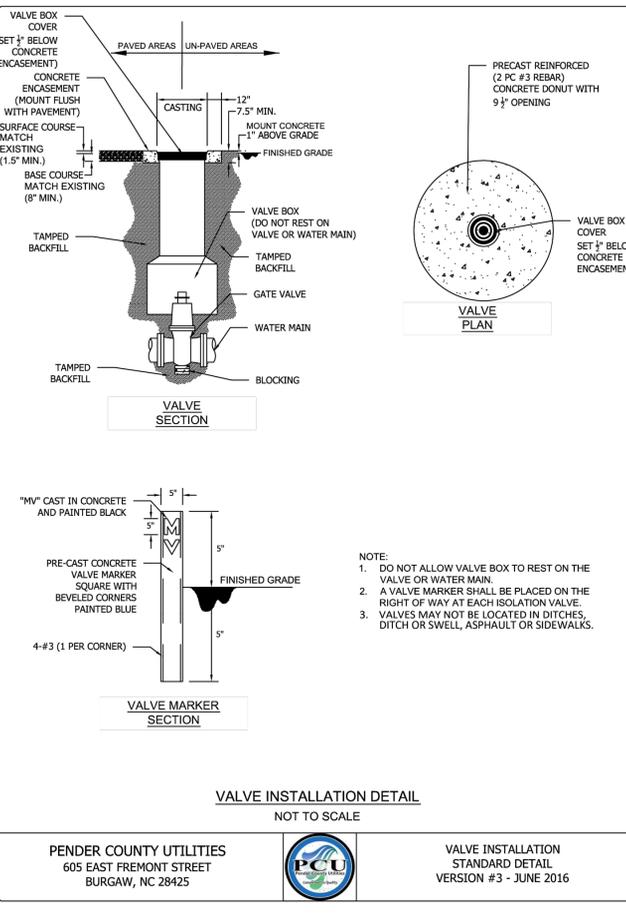
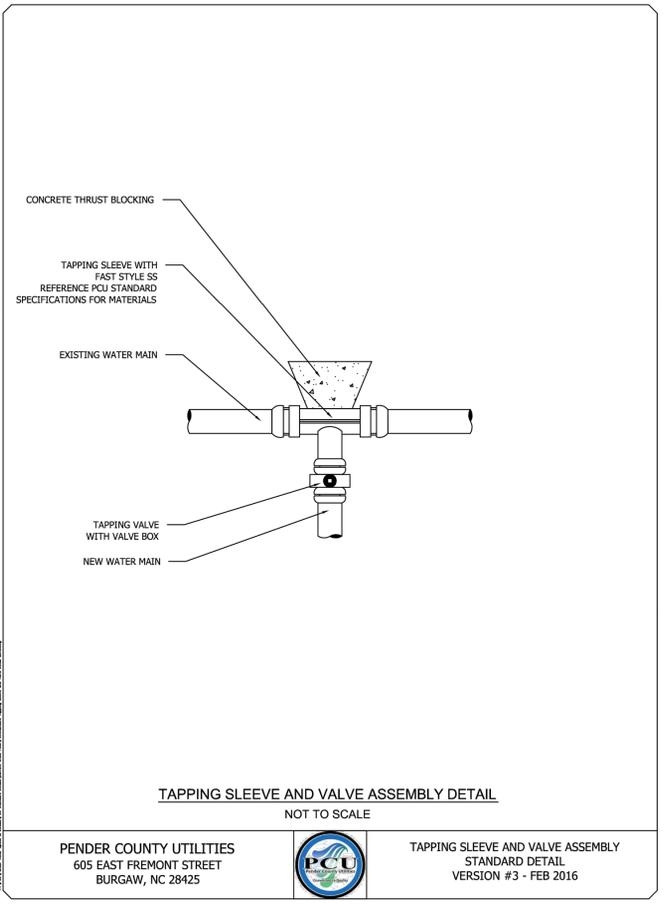
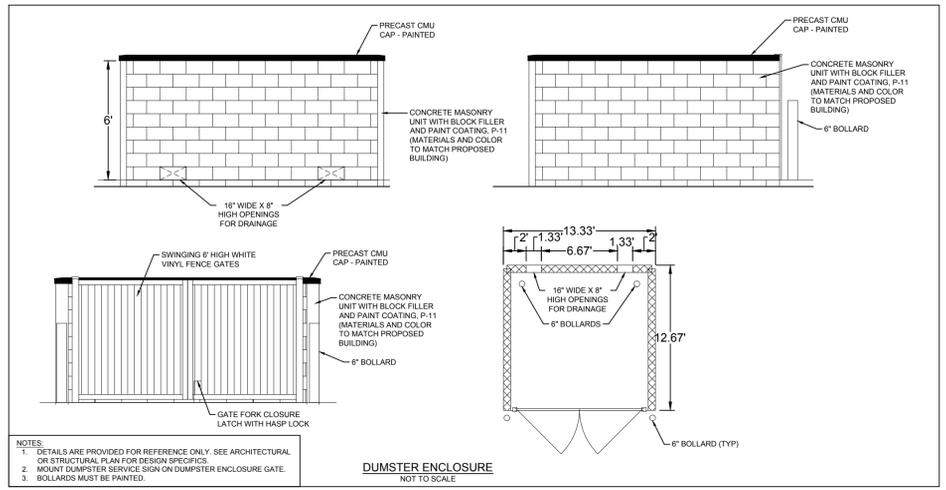
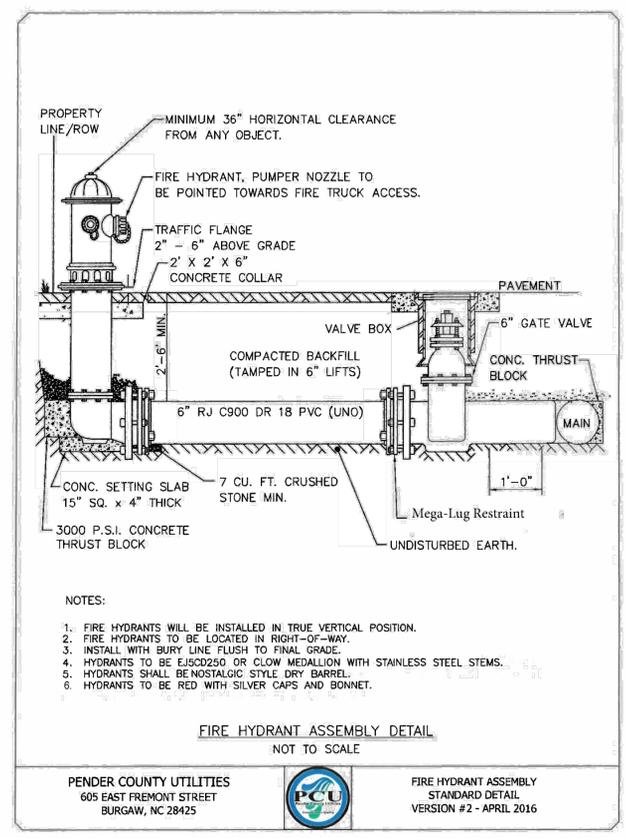
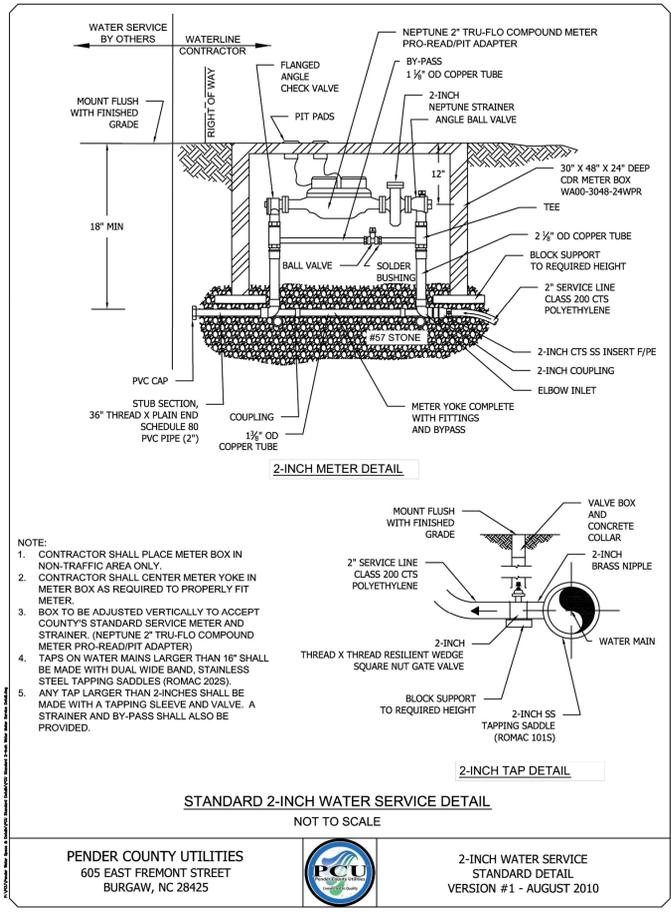
PENDER COUNTY UTILITIES
 605 EAST FREMONT STREET
 BURGAW, NC 28525



BULK METER
 STANDARD DETAIL
 VERSION #3 - FEB 2016



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DATE
07/03/2024

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
J. WALL

SCALE
NONE

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

WHITEBRIDGE CROSSING COMMERCIAL
PENDER COUNTY, NORTH CAROLINA

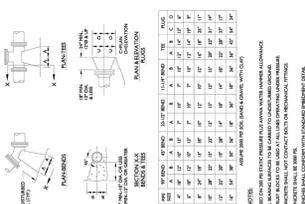
UTILITY NOTES AND DETAILS

JOB NO.
67799

SHEET NO.
C7.3



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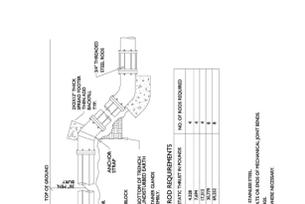
PSD NO. 1 - THRUST BLOCKING DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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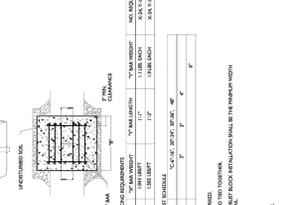
PSD NO. 2 - STREAMWETLAND CROSSING DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
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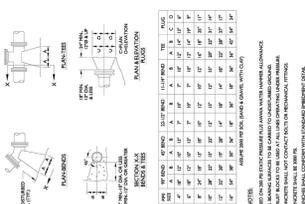
PSD NO. 3 - VERTICAL BEND DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



PSD NO. 4 - THRUST COLLAR DETAIL
NOT TO SCALE

NOTES:
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2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



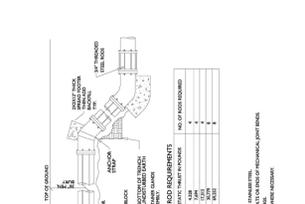
PSD NO. 5 - PIPE CASING DETAIL
NOT TO SCALE

NOTES:
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2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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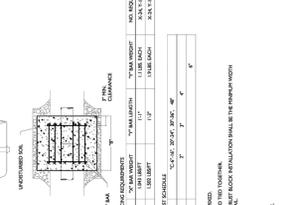
PSD NO. 6 - STREAMWETLAND CROSSING DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
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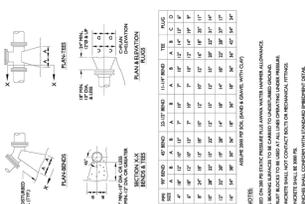
PSD NO. 7 - SORE DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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PSD NO. 8 - ANTI SEEP COLLAR DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



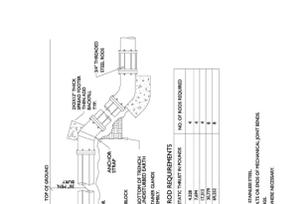
PSD NO. 9 - PIPE TRENCH AND BEDDING DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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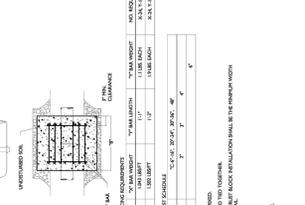
PSD NO. 10 - GRAVEL DRIVEWAY REPAIR DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
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3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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PSD NO. 11 - ASPHALT PAVING REPAIR DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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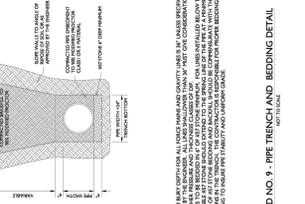


PSD NO. 12 - CAST IRON VALVE BOX DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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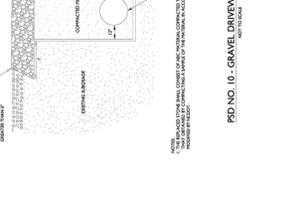
STANDARD DETAILS SHEET A

PLURIS, LLC



PSD NO. 13 - HEAVY DUTY CAST IRON VALVE BOX DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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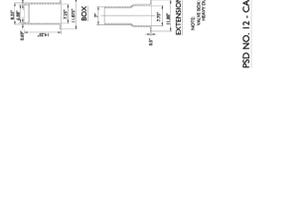
PSD NO. 14 - VALVE BOX INSTALLATION AND EXTENSION DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



PSD NO. 15 - GATE VALVE DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



PSD NO. 16 - ASPHALT PAVING REPAIR DETAIL
NOT TO SCALE

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

STANDARD DETAILS SHEET B

PLURIS, LLC

TIMMONS GROUP

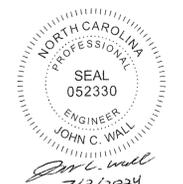
NORTH CAROLINA LICENSE NO. C-1652

WHITEBRIDGE CROSSING COMMERCIAL
PENDER COUNTY, NORTH CAROLINA

UTILITY NOTES AND DETAILS

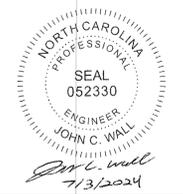
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JOB NO.	67799	DATE	07/03/2024	DRAWN BY	331	DESIGNED BY	331	CHECKED BY	J. WALL	SCALE	NONE
SHEET NO.	C7.4	REVISION DESCRIPTION									

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DATE	REVISION DESCRIPTION
07/03/2024	

DRAWN BY
331

DESIGNED BY
331

CHECKED BY
J. WALL

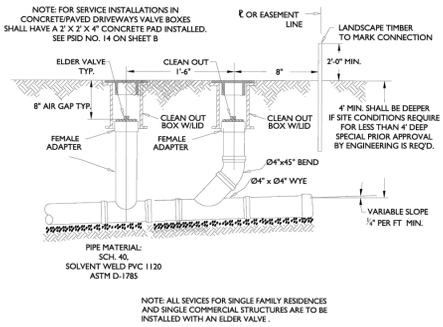
SCALE
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TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652

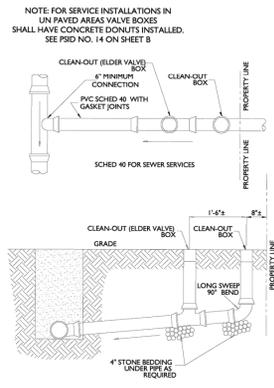
WHITEBRIDGE CROSSING COMMERCIAL
 PENDER COUNTY, NORTH CAROLINA
 UTILITY NOTES AND DETAILS

JOB NO.
67799
 SHEET NO.
C7.5

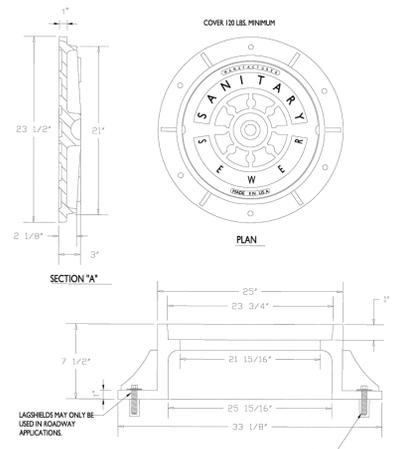
PROGRESS DRAWINGS - DO NOT USE FOR CONSTRUCTION



PSD NO. 17A - STANDARD SERVICE CLEAN OUT DETAIL FOR PAVED AREAS/ CONCRETE DRIVES
 NOT TO SCALE

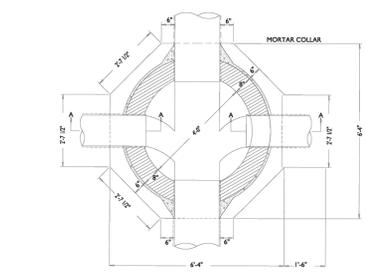


PSD NO. 17 - STANDARD SERVICE DETAIL (UNPAVED AREAS)
 NOT TO SCALE

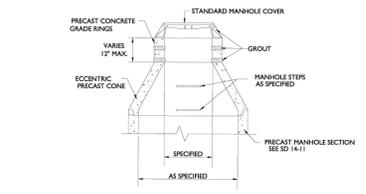


- NOTES:
1. ALL MANHOLE FRAMES SHALL BE GOOD QUALITY HEAVY DUTY CASTING
 2. FRAME SHALL BE A MINIMUM WEIGHT OF 182 LBS.
 3. COVER SHALL WEIGH A MIN. OF 120 LBS.
 4. MANHOLES WITH PAVED SURFACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAIL.
 5. CONICAL SHALL BE USED BETWEEN RING AND CONE
- 5/8" X 7' LAGSHELD IN HOLE DILLED INTO CONE OR RING WITH ANCHOR SUNK TO DESIGN DEPTH, AND 5/8" X 7' HOT DIPPED GALVANIZED LAGSHELD AND WASHER.

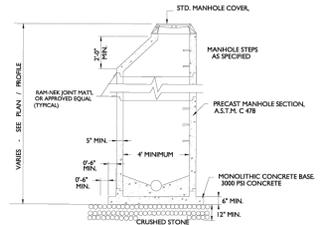
PSD NO. 18 - STANDARD MANHOLE RING AND COVER DETAIL
 NOT TO SCALE



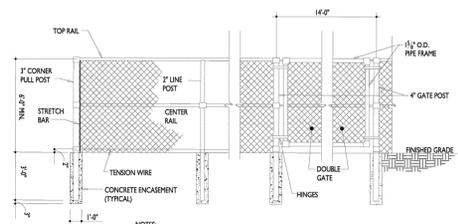
PSD NO. 19 - SANITARY SEWER MANHOLE PLAN VIEW DETAIL
 NOT TO SCALE



PSD NO. 20 - SANITARY SEWER PRECAST RING EXTENSION DETAIL
 NOT TO SCALE

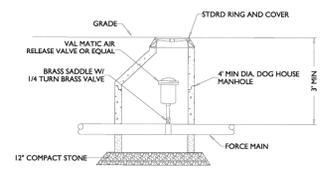


PSD NO. 21 - SANITARY SEWER PRECAST MANHOLE DETAIL
 NOT TO SCALE



- NOTES:
1. DOUBLE GATE SHALL HAVE A LOCKING MECHANISM DROP ROD, AND TRUSS ROD.
 2. ALL FENCE COMPONENT MATERIALS SHALL BE EITHER HOT DIPPED GALVANIZED STEEL WITH FRAMCOY SLATS.

PSD NO. 23 - LIFT STATION FENCING DETAIL
 NOT TO SCALE



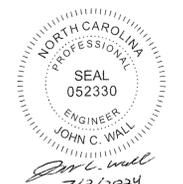
- NOTE:
- AIR RELEASE VALVES TO BE LOCATED AT HIGH POINTS OF THE FORCE MAIN WHERE GRADE DIFFERENCES EXCEED 10' IN ELEVATION.

PSD NO. 24 - AIR RELEASE MANHOLE DETAIL
 NOT TO SCALE

STANDARD DETAILS SHEET C



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DATE: 07/03/2024
DRAWN BY: 331
DESIGNED BY: 331
CHECKED BY: J. WALL
SCALE: NONE

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
WHITEBRIDGE CROSSING COMMERCIAL
PENDER COUNTY, NORTH CAROLINA
UTILITY NOTES AND DETAILS

JOB NO. 67799
SHEET NO. C7.6

PROGRESS DRAWINGS - DO NOT USE FOR CONSTRUCTION

Fire Flow Estimate Form
International Fire Code Method of Calculating NFF (Needed Fire Flow)

Engineer: Timmons Group Date: 07/03/2024
Project Name and Address: Whitebridge Crossing Commercial Building A Calc By: Craig Smith

Type of Construction - Based on 2015 Edition of the International Building Code
Type V

Number of Stories: 1

Total Ground Floor Area - Including Projections (Canopies, Loading Docks, Etc): 6000 SF
Total Area of Other Floors - Including Basements: 0
Total Building Area in Square Feet: 6000 SF

FIRE AREA CONSIDERED: 6000 SF

Note: In order to apply the reduction in area for a building, a fire resistive rated FIRE WALL without openings shall be provided. WITHOUT OPENINGS refers to no penetrations being permitted (i.e. - doors, duct penetrations, pipe penetrations. (B104.2)

Fire Resistive Rating of FIRE WALL: (Hours)
Area In Square Feet Between FIRE WALL or Either Side
Required Fire Flow from International Fire Code - Table B105.1: 2000 GPM
Fire Flow Duration in Hours from International Fire Code - Table B105.1: 2 HOURS

NEEDED FIRE FLOW: (Based on Total Adjusted Square Foot Area)
Automatic Sprinklers (YES NO Reduction Factor (75% max) 0 % x
(NFF) 2,000 = 0 GPM

TOTAL GPM: 2000

NOTE: MINIMUM REQUIRED FIRE FLOW NOT LESS THAN 1500 GPM AT MINIMUM 20 PSI RESIDUAL PRESSURE

FIRE HYDRANTS AND SPACING:
REQUIRED MINIMUM NUMBER OF FIRE HYDRANTS (IFC Table C105.1): 2
AVERAGE SPACING BETWEEN FIRE HYDRANTS (IFC Table C105.1): 450

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT.
SIGNATURE: *John C. Wall* P.E.
(SIGNATURE REQUIRED)
Reference: 2015 Edition International Fire Code, Appendix B, C, and D

Fire Flow Estimate Form
International Fire Code Method of Calculating NFF (Needed Fire Flow)

Engineer: Timmons Group Date: 07/03/2024
Project Name and Address: Whitebridge Crossing Commercial Building B Calc By: Craig Smith

Type of Construction - Based on 2015 Edition of the International Building Code
Type V

Number of Stories: 1

Total Ground Floor Area - Including Projections (Canopies, Loading Docks, Etc): 5,400 SF
Total Area of Other Floors - Including Basements: 0
Total Building Area in Square Feet: 5,400 SF

FIRE AREA CONSIDERED: 5,400 SF

Note: In order to apply the reduction in area for a building, a fire resistive rated FIRE WALL without openings shall be provided. WITHOUT OPENINGS refers to no penetrations being permitted (i.e. - doors, duct penetrations, pipe penetrations. (B104.2)

Fire Resistive Rating of FIRE WALL: (Hours)
Area In Square Feet Between FIRE WALL or Either Side
Required Fire Flow from International Fire Code - Table B105.1: 2,000 GPM
Fire Flow Duration in Hours from International Fire Code - Table B105.1: 2 HOURS

NEEDED FIRE FLOW: (Based on Total Adjusted Square Foot Area)
Automatic Sprinklers (YES NO Reduction Factor (75% max) 75 % x
(NFF) 2,000 = 1,500 GPM

TOTAL GPM: 1,500

NOTE: MINIMUM REQUIRED FIRE FLOW NOT LESS THAN 1500 GPM AT MINIMUM 20 PSI RESIDUAL PRESSURE

FIRE HYDRANTS AND SPACING:
REQUIRED MINIMUM NUMBER OF FIRE HYDRANTS (IFC Table C105.1): 1
AVERAGE SPACING BETWEEN FIRE HYDRANTS (IFC Table C105.1): 500

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT.
SIGNATURE: *John C. Wall* P.E.
(SIGNATURE REQUIRED)
Reference: 2015 Edition International Fire Code, Appendix B, C, and D

Fire Flow Estimate Form
International Fire Code Method of Calculating NFF (Needed Fire Flow)

Engineer: Timmons Group Date: 07/03/2024
Project Name and Address: Whitebridge Crossing Commercial Building C Calc By: Craig Smith

Type of Construction - Based on 2015 Edition of the International Building Code
Type V

Number of Stories: 1

Total Ground Floor Area - Including Projections (Canopies, Loading Docks, Etc): 5,400 SF
Total Area of Other Floors - Including Basements: 0
Total Building Area in Square Feet: 5,400 SF

FIRE AREA CONSIDERED: 5,400 SF

Note: In order to apply the reduction in area for a building, a fire resistive rated FIRE WALL without openings shall be provided. WITHOUT OPENINGS refers to no penetrations being permitted (i.e. - doors, duct penetrations, pipe penetrations. (B104.2)

Fire Resistive Rating of FIRE WALL: (Hours)
Area In Square Feet Between FIRE WALL or Either Side
Required Fire Flow from International Fire Code - Table B105.1: 2,000 GPM
Fire Flow Duration in Hours from International Fire Code - Table B105.1: 2 HOURS

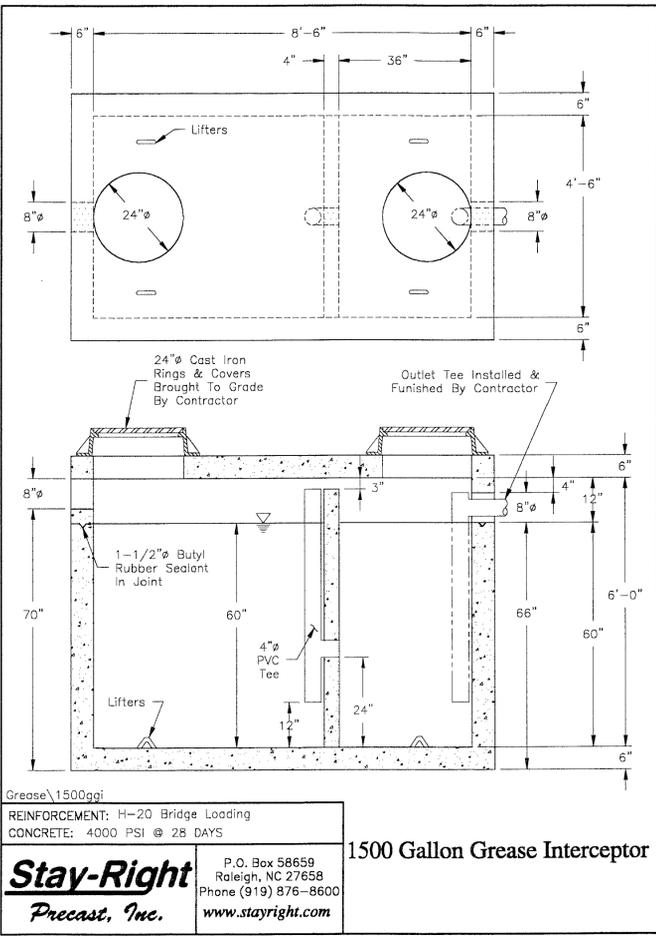
NEEDED FIRE FLOW: (Based on Total Adjusted Square Foot Area)
Automatic Sprinklers (YES NO Reduction Factor (75% max) 0 % x
(NFF) 2,000 = 0 GPM

TOTAL GPM: 2000

NOTE: MINIMUM REQUIRED FIRE FLOW NOT LESS THAN 1500 GPM AT MINIMUM 20 PSI RESIDUAL PRESSURE

FIRE HYDRANTS AND SPACING:
REQUIRED MINIMUM NUMBER OF FIRE HYDRANTS (IFC Table C105.1): 2
AVERAGE SPACING BETWEEN FIRE HYDRANTS (IFC Table C105.1): 450

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT.
SIGNATURE: *John C. Wall* P.E.
(SIGNATURE REQUIRED)
Reference: 2015 Edition International Fire Code, Appendix B, C, and D



Stay-Right
Precast, Inc.
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Phone (919) 876-8600
www.stayright.com

1500 Gallon Grease Interceptor

ATTACHMENT A
WATER METER SIZING FORM
(Rev 06/08/18)

Business Name	RETAIL PLAZA (BUILDING A)	Address of Building	US HIGHWAY 17
Development Name	WHITEBRIDGE CROSSING COMMERCIAL	Co. Project No:	GPIN:
Apartment (Y/N)	No	If Y, Number of Units	0
Service Type:	Water and Sewer	Service Installed by:	Contractor
I certify the information on this form is true and correct			
Applicant name (Print)	JOHN WALL	Phone #	(910)746-1174
(Signature)		Email	JOHN.WALL@TIMMONS.COM

Fixture	Fixture Value 60 psi	No. of Fixtures	Fixture Value
Bathtub	8	X	= 0.0
Bedpan Washer	10	X	= 0.0
Bidet	2	X	= 0.0
Dental Unit	2	X	= 0.0
Drinking Fountain - Public	2	X	= 4.0
Kitchen Sink	1.8	X	= 0.0
Lavatory (bathroom sink)	1.5	X	= 12.0
Showerhead (shower only)	2	X	= 0.0
Service Sink	4	X	= 0.0
Toilet - Flush Valve	24	X	= 0.0
Toilet - Tank Type	6	X	= 48.0
Urinal - Wall Flush Valve	10	X	= 40.0
Wash Sink (each set of faucets)	4	X	= 0.0
Dishwasher (residential)	2	X	= 0.0
Washing Machine (residential)	6	X	= 0.0
Hose (50 ft Wash Down)	12	X	= 0.0
5/8 in. 3/4 in.	16	X	= 0.0
Other (Description)			= 0.0
Other (Description)			= 0.0
Other (Description)			= 0.0
Combined Fixture Value Total (rounded to nearest whole number)			100

1. Domestic Demand based on Fixture Value (see Attachment C)	55.0 gpm
2. Fixed Demand (includes all demands except domestic and irrigation)	gpm
3. Irrigation Demand (From Engineer)	gpm
4. Total Demand (rounded)	55 gpm
5. Actual Meter Size based on Total Demand (verification by Co. Staff - Use Water Meter Sizing Table Attachment B)	1 1/2 inch
6. Owner Requested upsizes of the meter (cannot get Virtual Meter Credit)	N/A inch

COUNTY USE ONLY

Actual Meter Size	Virtual Meter Size	1 1/2 inch
Sized by	Date:	
Treatment Plant		
If service is an upgrade, enter existing service no.		

ATTACHMENT A
WATER METER SIZING FORM
(Rev 06/08/18)

Business Name	RESTAURANT (BUILDING B)	Address of Building	US HIGHWAY 17
Development Name	WHITEBRIDGE CROSSING COMMERCIAL	Co. Project No:	GPIN:
Apartment (Y/N)	No	If Y, Number of Units	0
Service Type:	Water and Sewer	Service Installed by:	Contractor
I certify the information on this form is true and correct			
Applicant name (Print)	JOHN WALL	Phone #	(910)746-1174
(Signature)		Email	JOHN.WALL@TIMMONS.COM

Fixture	Fixture Value 60 psi	No. of Fixtures	Fixture Value
Bathtub	8	X	= 0.0
Bedpan Washer	10	X	= 0.0
Bidet	2	X	= 0.0
Dental Unit	2	X	= 0.0
Drinking Fountain - Public	2	X	= 4.0
Kitchen Sink	1.8	X	= 10.8
Lavatory (bathroom sink)	1.5	X	= 6.0
Showerhead (shower only)	2	X	= 0.0
Service Sink	4	X	= 16.0
Toilet - Flush Valve	24	X	= 0.0
Toilet - Tank Type	6	X	= 36.0
Urinal - Wall Flush Valve	10	X	= 30.0
Wash Sink (each set of faucets)	4	X	= 8.0
Dishwasher (residential)	2	X	= 0.0
Washing Machine (residential)	6	X	= 0.0
Hose (50 ft Wash Down)	12	X	= 0.0
5/8 in. 3/4 in.	16	X	= 0.0
Other (Description)			= 0.0
Other (Description)			= 0.0
Other (Description)			= 0.0
Combined Fixture Value Total (rounded to nearest whole number):			114

1. Domestic Demand based on Fixture Value (see Attachment C)	55.0 gpm
2. Fixed Demand (includes all demands except domestic and irrigation)	gpm
3. Irrigation Demand (From Engineer)	gpm
4. Total Demand (rounded)	55 gpm
5. Actual Meter Size based on Total Demand (verification by Co. Staff - Use Water Meter Sizing Table Attachment B)	1 1/2 inch
6. Owner Requested upsizes of the meter (cannot get Virtual Meter Credit)	N/A inch

COUNTY USE ONLY

Actual Meter Size	Virtual Meter Size	1 1/2 inch
Sized by	Date:	
Treatment Plant		
If service is an upgrade, enter existing service no.		

ATTACHMENT A
WATER METER SIZING FORM
(Rev 06/08/18)

Business Name	MEDICAL OFFICE/FITNESS CLUB (BUILDING C)	Address of Building	US HIGHWAY 17
Development Name	WHITEBRIDGE CROSSING COMMERCIAL	Co. Project No:	GPIN:
Apartment (Y/N)	No	If Y, Number of Units	0
Service Type:	Water and Sewer	Service Installed by:	Contractor
I certify the information on this form is true and correct			
Applicant name (Print)	JOHN WALL	Phone #	(910)746-1174
(Signature)		Email	JOHN.WALL@TIMMONS.COM

Fixture	Fixture Value 60 psi	No. of Fixtures	Fixture Value
Bathtub	8	X	= 0.0
Bedpan Washer	10	X	= 0.0
Bidet	2	X	= 0.0
Dental Unit	2	X	= 0.0
Drinking Fountain - Public	2	X	= 6.0
Kitchen Sink	1.8	X	= 3.6
Lavatory (bathroom sink)	1.5	X	= 9.0
Showerhead (shower only)	2	X	= 12.0
Service Sink	4	X	= 8.0
Toilet - Flush Valve	24	X	= 0.0
Toilet - Tank Type	6	X	= 36.0
Urinal - Wall Flush Valve	10	X	= 20.0
Wash Sink (each set of faucets)	4	X	= 44.0
Dishwasher (residential)	2	X	= 0.0
Washing Machine (residential)	6	X	= 0.0
Hose (50 ft Wash Down)	12	X	= 0.0
5/8 in. 3/4 in.	16	X	= 0.0
Other (Description)			= 0.0
Other (Description)			= 0.0
Other (Description)			= 0.0
Combined Fixture Value Total (rounded to nearest whole number)			150

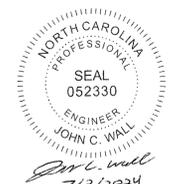
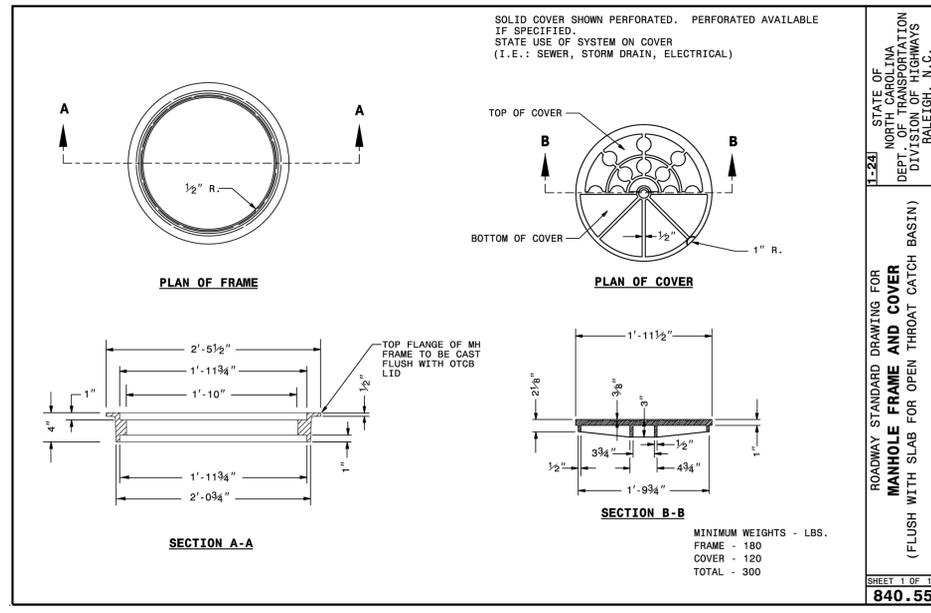
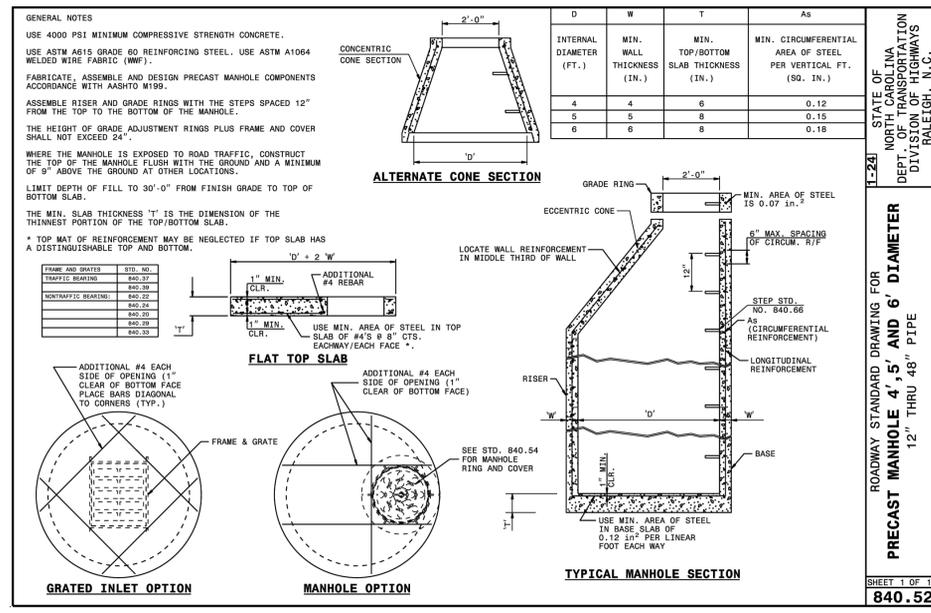
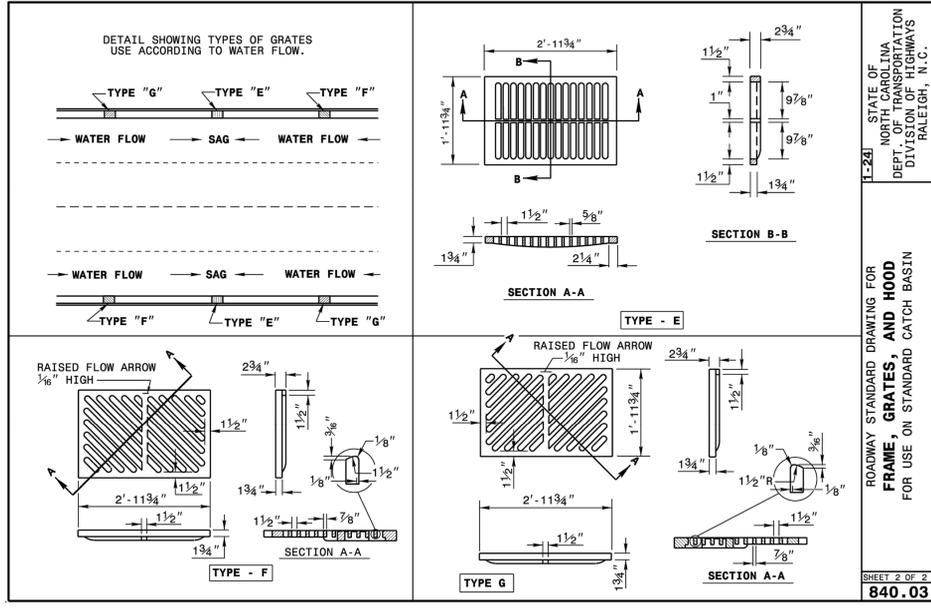
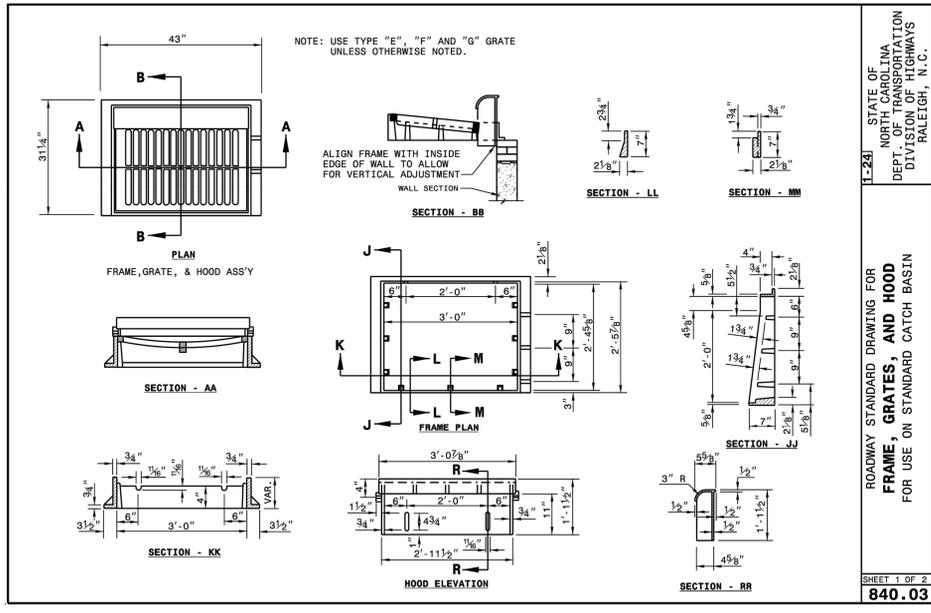
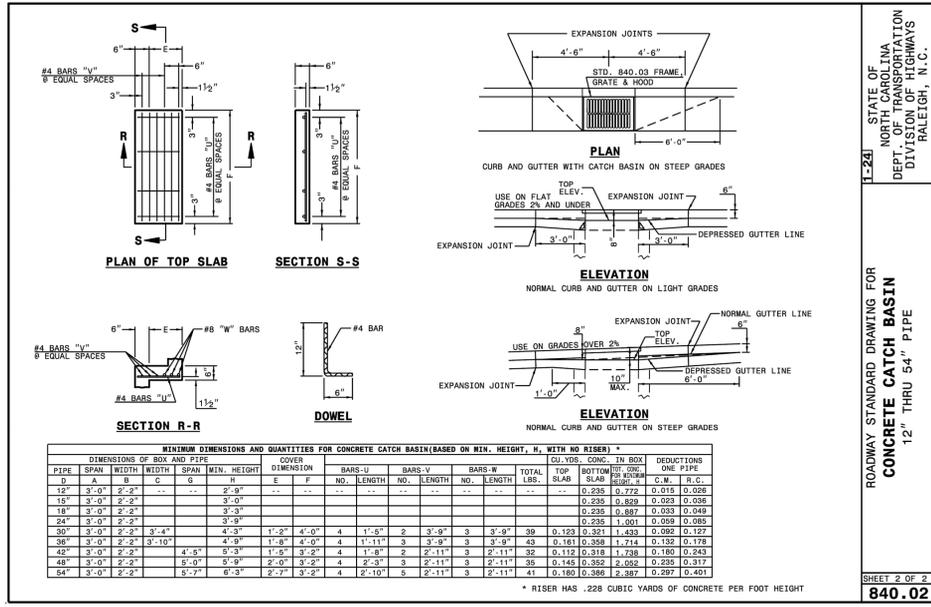
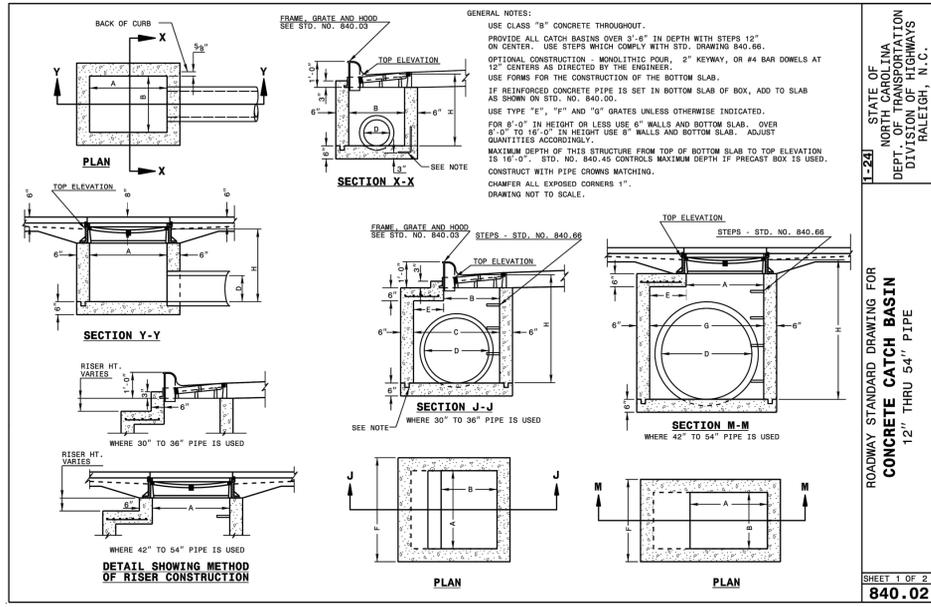
1. Domestic Demand based on Fixture Value (see Attachment C)	55.0 gpm
2. Fixed Demand (includes all demands except domestic and irrigation)	gpm
3. Irrigation Demand (From Engineer)	gpm
4. Total Demand (rounded)	55 gpm
5. Actual Meter Size based on Total Demand (verification by Co. Staff - Use Water Meter Sizing Table Attachment B)	1 1/2 inch
6. Owner Requested upsizes of the meter (cannot get Virtual Meter Credit)	N/A inch

COUNTY USE ONLY

Actual Meter Size	Virtual Meter Size	1 1/2 inch
Sized by	Date:	
Treatment Plant		
If service is an upgrade, enter existing service no.		



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THIS DRAWING PREPARED AT THE
WILMINGTON OFFICE
 430 Essexwood Road | Wilmington, NC 28403
 TEL 910.740.1144 FAX 910.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

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 331
 DESIGNED BY
 331
 CHECKED BY
 J. WALL
 SCALE
 NONE

DATE
 07/03/2024
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 331
 DESIGNED BY
 331
 CHECKED BY
 J. WALL
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 J. WALL
 SCALE
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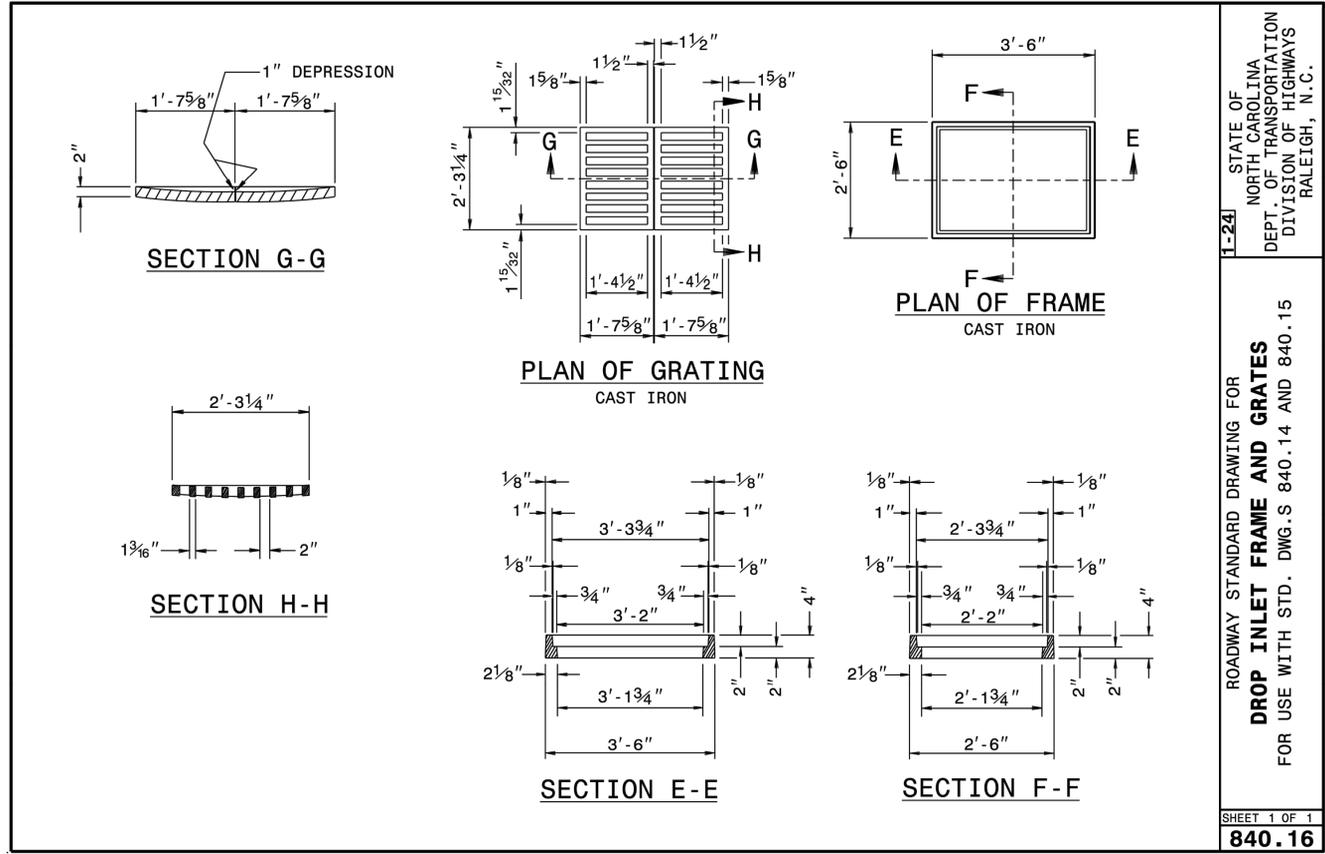
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 C7.7



TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
WHITEBRIDGE CROSSING COMMERCIAL
 PENDER COUNTY, NORTH CAROLINA
STORM SEWER NOTES AND DETAILS

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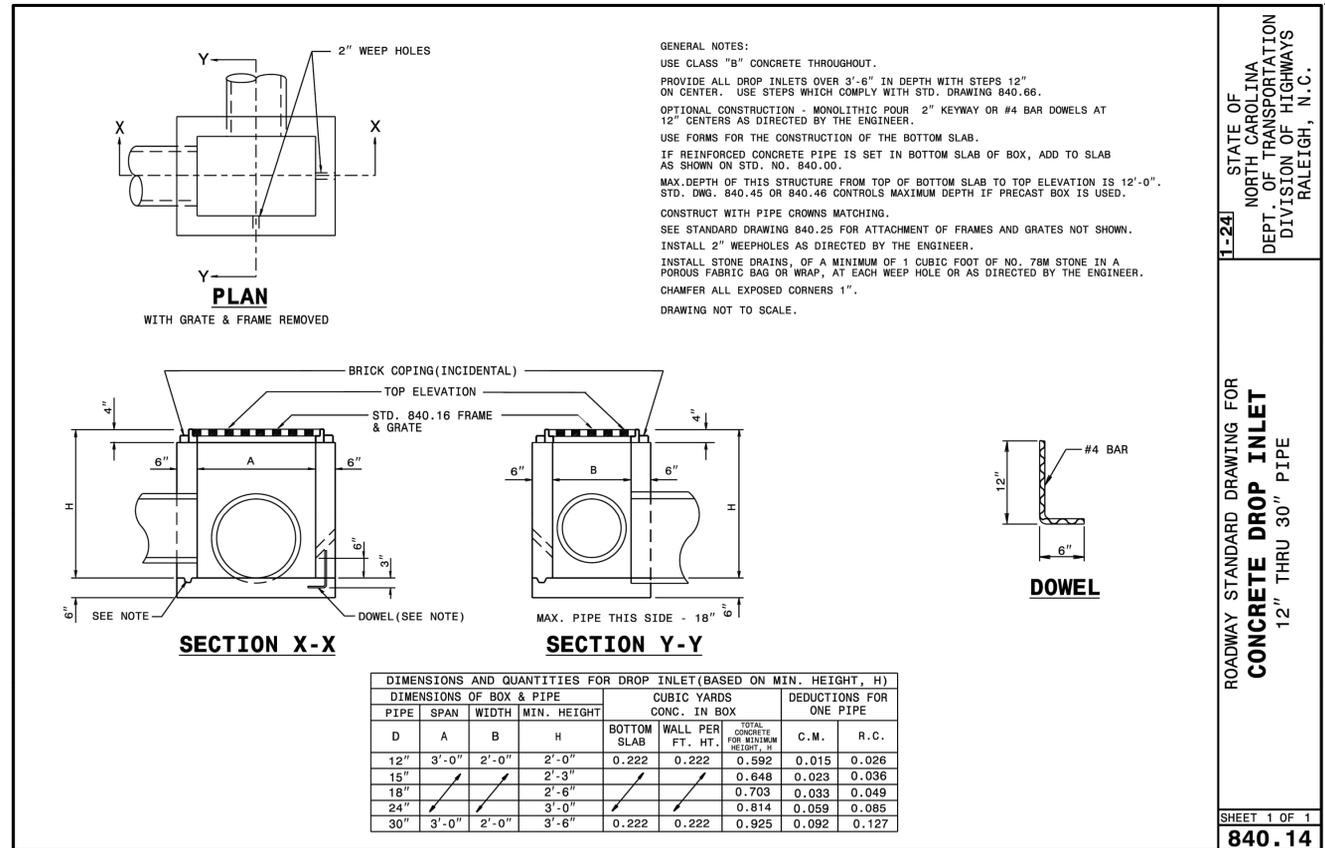
S:\31167799-Whitebridge_Crossing_Commercial\DWG\Sheet\CD67799-331-C7-0-N.TD1.dwg | Plotted by Craig Smith



1-24 STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
DROP INLET FRAME AND GRATES
FOR USE WITH STD. DWG. S 840.14 AND 840.15

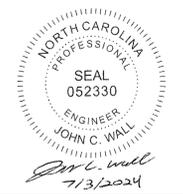
SHEET 1 OF 1
840.16



1-24 STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE DROP INLET
12" THRU 30" PIPE

SHEET 1 OF 1
840.14



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WILMINGTON OFFICE
430 Esawood Road | Wilmington, NC 28403
TEL: 910.746.1144 FAX: 910.893.6124 www.timmons.com

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DATE: 07/03/2024
DRAWN BY: 331
DESIGNED BY: 331
CHECKED BY: J. WALL
SCALE: NONE

REVISION DESCRIPTION

JOB NO. 67799
SHEET NO. C7.8



WHITEBRIDGE CROSSING COMMERCIAL
PENDER COUNTY, NORTH CAROLINA
STORM SEWER NOTES AND DETAILS

PROGRESS DRAWINGS - DO NOT USE FOR CONSTRUCTION

