

Pender County Planning and Community Development

Planning Division

805 S. Walker Street
PO Box 1519
Burgaw, NC 28425



Phone: 910-259-1202
Fax: 910-259-1295
www.pendercountync.gov

Lanes Ferry Phase 2 Application Information Major Subdivision – preliminary plat

Case Number: SUBMAJ 2024-114

Application Type: Preliminary Plat

Applicant: River Rock Farm, LLC

Owners: River Rock Farm, LLC

Location: Along NC HWY 210, to the right of the intersection of NC Hwy 210 and Moore Town Road. Parcel is on the eastbound side of NC HWY 210

Property ID #(s): 3255-11-7659-0000

Description: Residential subdivision application for 850 single family dwelling units on an approximately 310 acre tract with associated stormwater management ponds and private neighborhood amenities

Current Zoning: PD, Planned Development

Technical Review Committee Meeting: August 1, 024

Board of County Commissioners/Planning Board Meeting: TBD

Application Materials

Application Package
Site Plan

APPLICATION PACKAGE

APPLICATION FOR SUBDIVISION

THIS SECTION FOR OFFICE USE

Application No.	SUB	Date	
Application Fee	\$	Invoice Number:	
Master Plan Hearing Date		Preliminary Plat Hearing Date	

SECTION 1: APPLICANT INFORMATION

Applicant's Name:	River Rock Farm, LLC	Owner's Name:	same
Applicant's Address:	2511 S Canterbury Road	Owner's Address:	
City, State, & Zip	Wilmington, NC 28403	City, State, & Zip	
Phone Number:	910-791-6707 (rep. Paramounte Engineering)	Phone Number:	
Email Address:	jcirello@paramounte-eng.com	Email Address:	

Legal relationship of applicant to landowner: Owner

SECTION 2: PROJECT INFORMATION

Preliminary Plat	<input type="checkbox"/> Residential <i>RP, PD, RM, MH District</i>	<input checked="" type="checkbox"/> Mixed Use <i>PD</i>
Subdivision Type	<input checked="" type="checkbox"/> Major (11 lots or more)	<input type="checkbox"/> Minor (10 lots or less)
Property Identification Number (PIN):	3255-11-7659-0000	
Zoning Classification:	PD	Total property acreage: ± 323.17 ac
Number of Lots:	Phase 2 - 850 Lots	Acreage to be disturbed: ± 269.73 ac
Water Provider:	Pender County Utilities	Wastewater Provider: Wastewater Plant in Ph1

Additional Information:

SECTION 3: SIGNATURES

Applicant's Signature	<i>Christian H. Trask, Jr.</i>	Date:	7/3/24
Applicant's Printed Name:	<i>Christian H. Trask, Jr.</i>	Date:	7/3/24
Owner's Signature	<i>Christian H. Trask, Jr. - Manager River Rock Farm LLC</i>	Date:	7/3/24
Owner's Printed Name:	<i>CHRISTIAN H. TRASK, JR.</i>	Date:	7/3/24

NOTICE TO APPLICANT

1. Applicant or agent authorized in writing must attend the public hearing.
2. Once the public hearing has been advertised, the case will be heard unless the applicant withdraws the application or unless the Planning Board or other authorized person agrees to table or delay the hearing.
3. All fees are non-refundable
4. A complete application packet must be submitted prior to the deadline in order to be placed on the next Planning Board Agenda

Office Use Only

<input type="checkbox"/>	Subdivision Fees: \$500 + \$10/lot-unit for the first 100 lots/units; \$5/lot-unit thereafter (Major Subdivision) \$150 + \$10 per lot (Minor Subdivision)	Total Fee Calculation: \$
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Attachments Included with Application: (Please include # of copies)

CD /other digital version	<input type="checkbox"/> Y <input type="checkbox"/> N	Plan Sets	# of large	# of 11X17	Other documents/Reports	<input type="checkbox"/> Y <input type="checkbox"/> N
Payment Method:	Cash : <input type="checkbox"/> \$ _____	Credit Card: <input type="checkbox"/> Master Card <input type="checkbox"/> Visa		Check: <input type="checkbox"/> Check # _____		
Application received by:						Date:
Application completeness approved by:						Date:
Date scheduled for public hearing:						

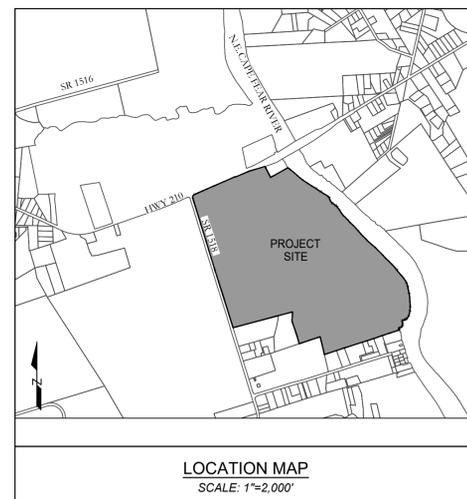
SITE PLAN(S)

LANE'S FERRY LANDING PHASE 2

NC HWY 210
PENDER COUNTY, NORTH CAROLINA

PRELIMINARY PLAT
JULY 2024

APPLICANT:
RIVER ROCK FARM, LLC
2511 S CANTERBURY ROAD
WILMINGTON, NC 28403



NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT
1-800-632-4949

CONTACT THESE UTILITIES

PENDER COUNTY PLANNING AND COMMUNITY
DEVELOPMENT
ATTN: DANIEL ADAMS
PH: 910-259-0231

PENDER COUNTY UTILITIES (WATER & SEWER)
ATTN: KENNETH KEEL, PE DIRECTOR
PH: 910-259-1521

DUKE ENERGY
ATTN: KEVIN LEATHERWOOD
PH: 910-602-4304

PIEDMONT NATURAL GAS
ATTN: CARL PAQUET
PH: 910-350-2242

BELL SOUTH
ATTN: STEVE DAYVAULT
PH: 910-341-0741

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE

TIME WARNER CABLE
PH: 910-763-4638

LANE'S FERRY LANDING PHASE 2

PROJECT # 17239.PE

JULY 5, 2024

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
SV-1	EXISTING CONDITIONS
INDEX	PRELIMINARY PLAT SHEET INDEX
PP-1 THRU PP-15	PRELIMINARY PLAT

PROJECT CONSULTANTS

DEVELOPER
RIVER ROCK FARM, LLC
2511 S CANTERBURY ROAD
WILMINGTON, NC 28403
GEORGE JOHNSON, (910) 762-6557

ENGINEER/LAND PLANNER/LANDSCAPE ARCHITECT
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DR., WILMINGTON NC 28403
(910) 791-6707
CIVIL ENGINEER: TIM CLINKSCALES, PE, PLS
LANDSCAPE ARCHITECT: JIM CIRELLO, RLA

SURVEYOR
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NC 28403
JOSH TAYLOR, PLS (910-791-6707)

REVISIONS

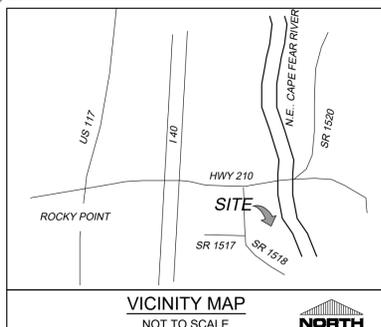
NO.	DESCRIPTION	DATE

PREPARED BY:

PARAMOUNTE
ENGINEERING, INC.
122 Cinema Drive Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



SITE INFORMATION
 OWNER / APPLICANT INFORMATION: RIVER ROCK FARM, LLC
 2511 S. CANTERBURY RD
 WILMINGTON, NC 28403
 PROPERTY PIN: 3255-11-7659-0000
 PROPERTY ACQUIRED: DECEMBER 2008
 CURRENT LAND USE: VACANT LAND
 CURRENT ZONING: PD
 DB/PG: DB 1835 PG 225
 TOWNSHIP: ROCKY POINT
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL
 HOUSING TYPE: SINGLE FAMILY DWELLINGS
 PHASE 2 ACREAGE: ± 319.24 ACRES

DIMENSIONAL REQUIREMENTS
 MINIMUM LOT SIZE: 3,500 SF
 MINIMUM LOT WIDTH: 20' STANDARD LOT
 25' CORNER LOT
 20' STANDARD LOT
 25' CORNER LOT
 MINIMUM LOT FRONTAGE: 5' MINIMUM
 5' MINIMUM
 5' MINIMUM
 FRONTYARD SETBACK: 5' MINIMUM
 SIDEYARD SETBACK: 5' MINIMUM
 CORNER SIDEYARD SETBACK: 5' MINIMUM
 REAR SETBACK: 5' MINIMUM
 CHORD: 20' MINIMUM
 MAXIMUM HEIGHT: 35'
 MIN. STRUCTURE SEPARATION: 20'
 DENSITY: NOT TO EXCEED 5 DU/AC OR AS APPROVED ON MDP

SINGLE FAMILY TABULATIONS - PHASE 2
 TOTAL UNITS: 850 UNITS TOTAL

REQUIRED	PROVIDED
TOTAL OPEN SPACE: ± 0.03 AC / 850 DU	± 43.29 ACRES
ACTIVE SPACE: ± 12.75 ACRES	± 30.54 ACRES
PASSIVE SPACE: ± 12.75 ACRES	± 12.75 ACRES

ACTIVE OPEN SPACE INCLUDES MAIN POND, ISLAND AMENITY AND LAND AROUND THE POND (ISLAND AMENITY FINAL DESIGN TBD) BUT WILL INCLUDE BOARDWALK, DOCK ACCESS, AND OTHER FEATURES DETERMINED AT THE TIME OF FINAL PLAT AND CONSTRUCTED WITH PHASE 2A

WETLAND NOTE:
 WETLAND DELINEATION IS PRELIMINARY AND PENDING USACE APPROVAL.

FEMA NOTE:
 PORTIONS OF THIS PARCEL ARE LOCATED WITHIN THE 100-YEAR FLOOD ZONE 'AE-8.5' AS INDICATED ON FEMA FIRM MAPS PANEL NUMBERS 3720324500J AND 3720325500J, BOTH BEARING AN EFFECTIVE DATE OF FEBRUARY 16, 2007. PRELIMINARY MAPS INDICATE AN AE ZONE BASE FLOOD ELEVATION OF 10'. EFFECTIVE MAPS WILL BE CONSULTED AT THE TIME OF CONSTRUCTION TO ASSURE ANY DEVELOPMENT COMPLIES WITH THE MOST CURRENT FEMA REQUIREMENTS.

SURVEY NOTE:
 THE BOUNDARY SURVEY IS UNDERWAY AND WILL BE PROVIDED WHEN COMPLETE.

LAND DISTURBANCE NOTE:
 SITE EXCEEDS ONE ACRE IN DISTURBANCE. ALL STATE PERMITS WILL HAVE TO BE SECURED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

MDP NOTE:
 PHASE 2, AND ALL OTHER PHASES, WILL MEET THE NOTES AND CONDITIONS FROM THE APPROVED MDP FROM 12/3/20

PERMIT CHOICE NOTE:
 PHASE 2 DEVELOPED IN ACCORDANCE WITH THE OVERALL MDP WHICH WAS DESIGNED AND APPROVED ON JUNE 2, 2015 UNDER THE PREVIOUS UDO.

HISTORICAL AREA NOTES
 1. NO KNOWN HISTORIC OR ARCHEOLOGICAL SITES EXIST ON ANY OF THE SUBJECT PARCELS.

LANDSCAPE AND BUFFER NOTES
 1. ALL BUFFERS TO COMPLY WITH APPROVED MASTER DEVELOPMENT PLAN CONDITIONS AND WITH ALL STANDARDS FOR BUFFERS AS PER ARTICLE 8 OF THE PENDER COUNTY UDO. SEE SHEETS, THIS SET
 2. HOA SHALL MAINTAIN BUFFERS
 3. LOT OWNERS MAY NOT DISTURB BUFFERS IN INSTANCES WHERE THE BUFFER CROSSES INDIVIDUAL LOTS

CLUP / UDO COMPLIANCE NOTE
 1. PLANS DEMONSTRATE COMPLIANCE WITH THE MOST RECENT COMPREHENSIVE LAND USE PLAN AND UNIFIED DEVELOPMENT ORDINANCE AND ANY OTHER APPLICABLE ADOPTED LAND USE DOCUMENT(S)

RECREATIONAL UNITS NOTE
 1. A COST ESTIMATE TOTALING \$85,000 FOR ALL ACTIVE RECREATION IMPROVEMENTS HAS BEEN PROVIDED TO PENDER COUNTY STAFF AT THE TIME OF THIS SUBMITTAL. THIS ESTIMATE WILL COMPLY WITH THE REQUIRED (8.5) RECREATIONAL UNITS TOTALING AT LEAST \$85,000 AS PER PENDER COUNTY UDO.

STREETLIGHT NOTES
 1. STREETLIGHT LOCATIONS SHOWN ON PLAN ARE PRELIMINARY, AND BASED ON PENDER UDO SPECIFICATIONS. FINAL DESIGN, LOCATIONS, AND CALCULATIONS WILL BE PROVIDED BY DUKE ENERGY.

FIRE NOTES
 1. PER CHAPTER 5 OF NCSFC, FIRE SERVICE ACCESS ROAD MUST BE ALL WEATHER SURFACE, PROVIDED FOR ALL BUILDINGS/STRUCTURES AND EXTEND TO WITHIN 150 FEET OF ALL STRUCTURES AND EXTERIOR WALLS.
 2. FIRE SERVICE ACCESS ROADS MUST BE UNOBSTRUCTED 20 FOOT WIDTH, MINIMUM. CUL-DE-SAC TURN AROUNDS MUST BE MINIMUM 60 FOOT ACROSS.
 3. GATED COMMUNITY ACCESS SHALL BE INSTALLED WITH EMERGENCY APPARATUS SIREN NOTIFIER FOR EMERGENCY OPENING.
 4. ALL STRUCTURES SHALL BE COMPLIANT WITH AND HAVE ADDRESS NOTIFICATION, VISIBLE FROM STREET, NOT LESS THAN 6 INCHES WITH MINIMUM STROKE WIDTH OF 1/2".
 5. WHERE NECESSARY (COMMUNITY BUILDINGS, POOL HOUSES) MAY BE REQUIRED TO INSTALL A KNOX KEY BOX.
 6. MUST HAVE FIRE HYDRANTS NO LESS THAN EVERY 400 FEET, UNOBSTRUCTED W/ 3 FOOT CLEAR RADIUS.
 7. REQUIRED VEGETATIVE PLANTINGS CANNOT OBSTRUCT 20 FOOT CLEAR ACCESS ROAD WIDTH, 13.5 FOOT IN HEIGHT.

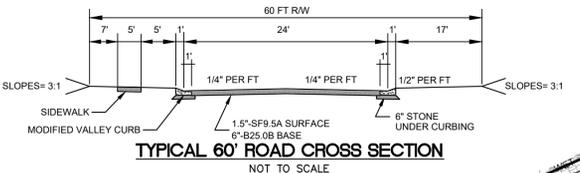
PROJECT ROAD NOTES
 1. ALL ROADS WILL BE CONSTRUCTED TO NCDOT SUBDIVISION ROADS MINIMUM CONSTRUCTION STANDARDS.
 2. ALL PROPOSED INTERNAL ROADWAY INTERSECTIONS AND CONNECTIONS TO EXISTING ROADWAYS WILL HAVE A 30' RADIUS MINIMUM. ALL OTHER RADI ON THE PROJECT WILL BE 25' MIN.
 3. STREET NAME SIGNS SHALL BE INSTALLED AS SOON AS ROADWAYS ARE ACCESSIBLE BY VEHICLE TRAFFIC TO INCLUDE DURING CONSTRUCTION AND MEET PENDER COUNTY STREET SIGN SPECIFICATIONS.
 4. TRAFFIC IMPROVEMENTS TO BE PHASED AND CONSTRUCTED AS PER RECOMMENDATIONS IDENTIFIED IN SUBMITTED TIA AND AGREED ON BY THE WMPD.
 5. PRIVATE STREETS ARE DESIGNED TO MEET STANDARDS AND ALL LOTS SHALL BE ACCESSIBLE TO PENDER COUNTY EMERGENCY SERVICE VEHICLES, WITH CLEARANCE TO TREES OVER THE ROADWAY FROM 13.5' IN HEIGHT BY 20' IN WIDTH.

STORMWATER
 1. STORMWATER DESIGN SHALL BE COMPLIANT WITH PENDER COUNTY UDO
 2. THE PLAN AND FACILITIES SHALL PROVIDE FOR A DRAINAGE SYSTEM FOR THESE AREAS THAT WILL ACCOMMODATE THE TEN-YEAR STORM EVENT WITHOUT FLOODING OR SUBSTANTIAL PONDING OF WATER IN THE AREAS INCLUDED IN THE PLAN.
 3. FULL PERMIT APPROVALS TO BE PROVIDED TO COUNTY WHEN RECEIVED
 4. STORMWATER WILL BE HANDLED ON SITE IN COMPLIANCE WITH ALL STATE AND COUNTY STORMWATER STANDARDS. EACH LOT WILL BE ALLOCATED 5,500 SF OF IMPERVIOUS COVERAGE WITH THE EXCEPTION OF LOT 30 WHICH WILL BE ALLOCATED 8,500 SF.
 5. PER PENDER COUNTY UDO, SECTION 6.4.C.4.H:
 A DRAINAGE PLAN THAT WILL INCLUDE ALL PORTIONS OF THE DEVELOPMENT SHALL BE SUBMITTED. THIS PLAN SHALL BE PREPARED AND SEALED BY A REGISTERED ENGINEER. THE PLAN AND FACILITIES SHALL PROVIDE FOR A DRAINAGE SYSTEM FOR THESE AREAS THAT WILL ACCOMMODATE THE TEN-YEAR STORM EVENT WITHOUT FLOODING OR SUBSTANTIAL PONDING OF WATER IN THE AREAS INCLUDED IN THE PLAN. THE PLAN MUST ALSO ACCOMMODATE ANY DISCHARGE FROM PROPERTIES IN UP-AND PORTIONS OF THE DRAINAGE BASIN THAT FLOWS THROUGH THE PROPERTY FOR THE SAME STORM EVENT FOR THE TYPE DEVELOPMENT FOR WHICH THAT PROPERTY IS ZONED. THE BOUNDARY OF ANY DRAINAGE AREA ON A PORTION OF THE SITE AND/OR UPLAND FROM THE SITE AND DRAINAGE AREAS BETWEEN STORMWATER DISCHARGE POINTS FROM THE SITE TO THE RECIPIENT PERENNIAL STREAM SHALL BE SHOWN ON A MAP (COPY OF 7.5 MIN. USGS QUAD OR SIMILAR MAP). ANY DRAINAGE FACILITY RECEIVING STORMWATER DISCHARGE FROM THE DEVELOPMENT SHALL HAVE THE CAPACITY TO CARRY THE ANTICIPATED STORMWATER FLOW FROM AREAS THAT DISCHARGE THROUGH THEM FOR THE 10 YEAR STORM EVENT FROM THE POINT OF DISCHARGE AT THE DEVELOPMENT TO THE RECIPIENT PERENNIAL STREAM WITHOUT OVER FLOWING THEIR BANKS. THE LOCATION, SIZE AND/OR CAPACITY OF ALL STRUCTURES INCLUDED IN THE DRAINAGE SYSTEM AND RECEIVING DISCHARGE FROM THE DEVELOPMENT TO THE RECIPIENT PERENNIAL STREAM SHALL BE SHOWN ON THE PLAN AND CALCULATIONS USED IN DESIGNING THE DRAINAGE SYSTEM SHALL BE SUBMITTED IN A LEGIBLE FORMAT. THIS PLAN MAY BE INCLUDED IN THE STREET AND DRAINAGE PLAN, STORMWATER MANAGEMENT PLAN OR ON THE PRELIMINARY PLAT, AS LONG AS THE DESIGN PROFESSIONAL CERTIFIES THAT THE SPECIFIC DRAINAGE PLAN SUBMITTED COMPLIES WITH THESE REQUIREMENTS AND THE INFORMATION REQUIRED IS SHOWN OR SUBMITTED.

UTILITIES
 1. WATER SERVICE SHALL BE PROVIDED THROUGH A PUBLIC DISTRIBUTION SYSTEM TO BE OWNED AND OPERATED BY PENDER COUNTY AND BUILT TO CONFORM WITH PENDER COUNTY STANDARDS AND SPECIFICATIONS.
 2. SANITARY SEWER SERVICE SHALL BE PROVIDED THROUGH CONSTRUCTION OF COLLECTION SYSTEM. AN ON-SITE WASTEWATER TREATMENT FACILITY TO BE OWNED AND OPERATED BY THE HOMEOWNERS ASSOCIATION. (HOA) HAS BEEN DESIGNED AND PERMITTED. IF CONSTRUCTED AS CURRENTLY PERMITTED, THE HOA SHALL BE FORMED TO GUARANTEE CONTINUAL MAINTENANCE OF THE PUMP STATIONS, FORCE MAINS, AND SANITARY SEWER LINES AND WASTEWATER TREATMENT FACILITY. REFERENCE SPECIAL USE PERMIT CASE NUMBER 07-03-16 AND WASTE WATER PERMIT NUMBER W0035710. HOWEVER, IF OTHER WASTEWATER OPTIONS BECOME AVAILABLE, THE DEVELOPER MAY EXPLORE THE OPTIONS. THE DEVELOPER WILL COORDINATE ANY CHANGES / SEEK APPROVALS WITH THE APPLICABLE COUNTY AGENCIES AS REQUIRED IF A CHANGE TO THE CURRENT PERMITTED SYSTEM IS PROPOSED.
 3. ALL WATER AND SANITARY SEWER SYSTEMS WILL BE DESIGNED TO MEET COUNTY AND STATE REQUIREMENTS. FINAL CONSTRUCTION PLANS WILL BE SUBMITTED TO BOTH AGENCIES FOR REVIEW AND PERMITS TO CONSTRUCT SHALL BE OBTAINED PRIOR TO UTILITY INSTALLATION.
 4. ALL WATER LINES SHOWN WILL BE SIZED IN ACCORDANCE WITH APPLICABLE PENDER COUNTY AND STATE REQUIREMENTS. THE EXISTING WATER MAIN LOCATED ALONG THE RIGHT OF WAY OF NC HIGHWAY 210 IS 36" DUCTILE IRON PIPE. IF UTILITIES REQUIRE AN EASEMENT A 20-FT UTILITY EASEMENT WILL BE CENTERED ALONG UTILITIES.

Phase 2 Density Calculations

Area to Subtract From Site Acreage	Total Non-Residential
Total Phase 2 Site Acreage	850
Total Wetland Acreage (approx.)	53.45
Total Right of Way Acreage	43.29
Dedicated Active Open Space	30.54
Dedicated Passive Open Space	12.75
Total Area Subtracted from Total Site Acreage Land Acreage	140.48
Total Developable Land Acreage	709.52
Max. Allowable Units From Approved MDP for Phase 2	856
Total Proposed Density Units/Acre	4.4



REVISIONS:

NO.	DATE	DESCRIPTION

CLIENT INFORMATION:
 RIVER ROCK FARM, LLC
 2511 S. CANTERBURY ROAD
 WILMINGTON, NC 28403

PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

PRELIMINARY PLAT OVERALL SITE PLAN LANE'S FERRY LANDING PHASE 2 ROCKY POINT PENDER COUNTY, NORTH CAROLINA

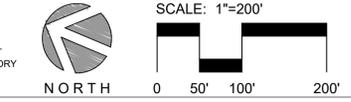
PROJECT STATUS
 CONCEPTUAL LAYOUT: 07/26/24
 FINAL DESIGN: 11/20/24
 RELEASED FOR CONSTRUCTION: 11/20/24

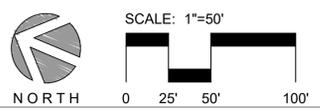
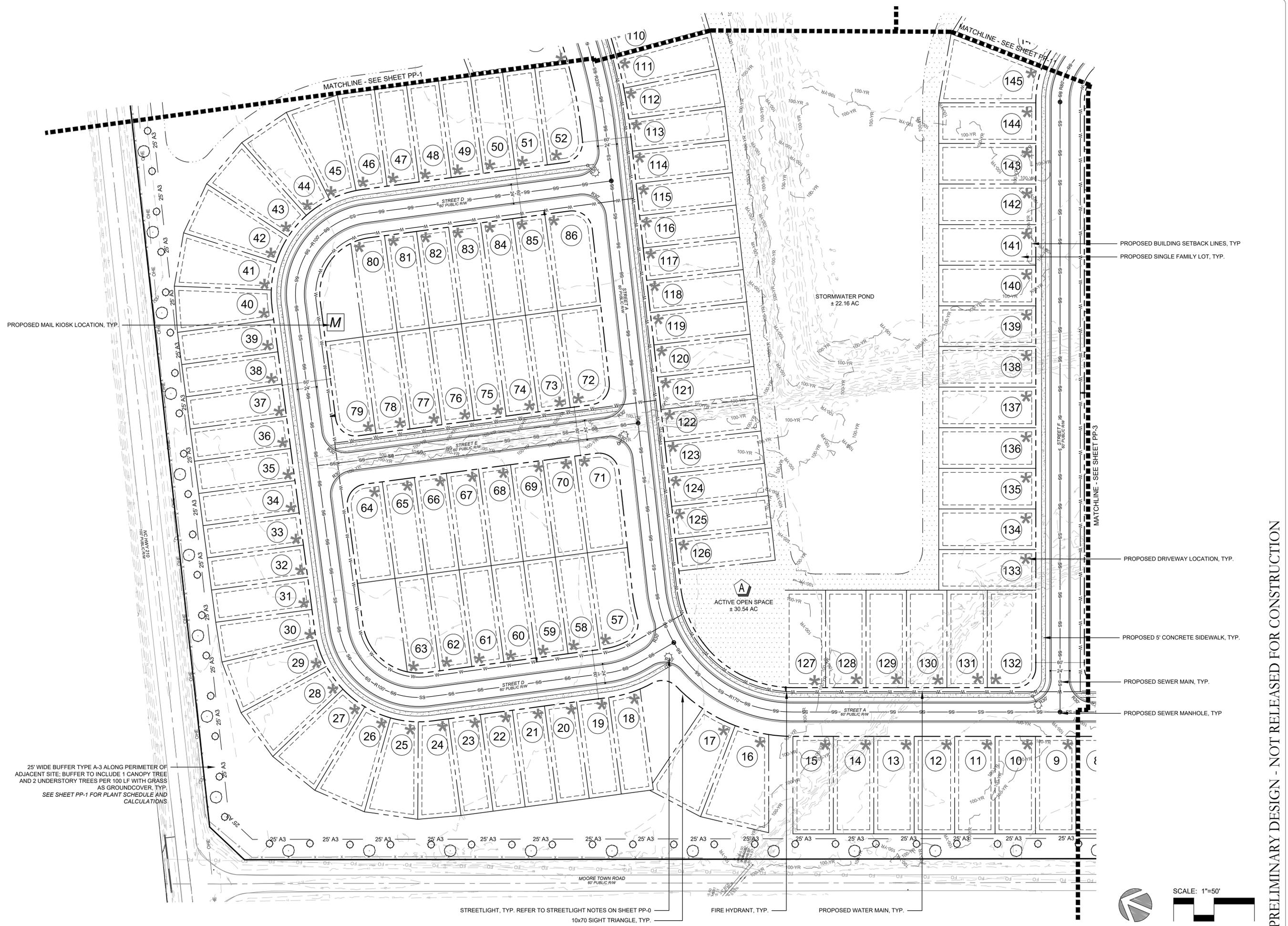
DRAWING INFORMATION
 DATE: 07/26/24
 SCALE: 1"=200'
 DRAWING: PP-0
 CHECKED: TOC

SEAL

PP-0
 PEI JOB#: 17239.PE

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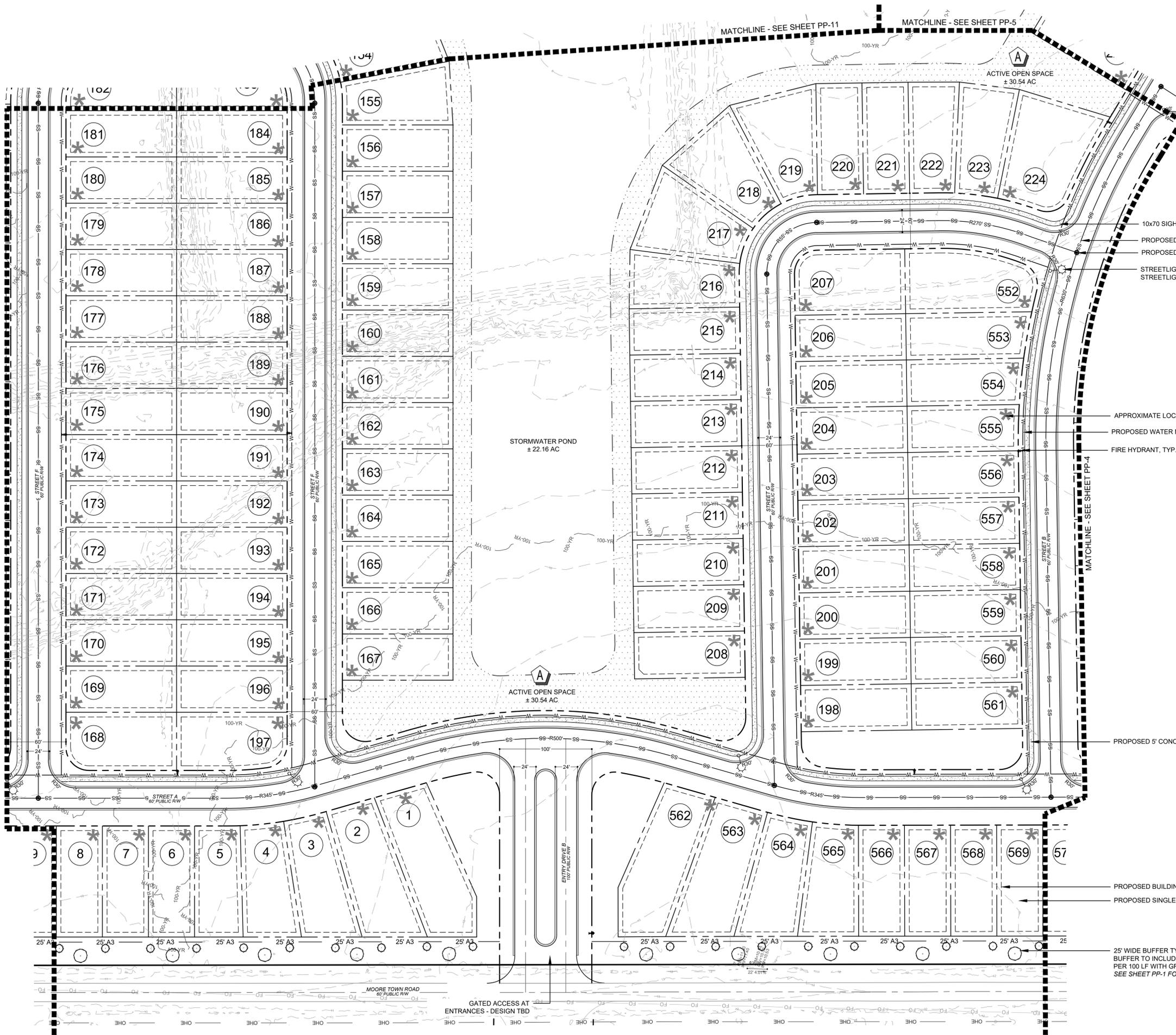




PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

<p>REVISIONS:</p>	
<p>CLIENT INFORMATION:</p> <p>RIVER ROCK FARM, LLC 2511 S. CANTERBURY ROAD WILMINGTON, NC 28403</p>	
<p>PARAMOUNTE ENGINEERING, INC. 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846</p>	
<p>PROJECT STATUS:</p> <p>CONCEPTUAL LAYOUT: PRELIMINARY DESIGN: FINAL DESIGN: RELEASED FOR CONSTRUCTION:</p>	
<p>DRAWING INFORMATION:</p> <p>DATE: 07/26/24 SCALE: 1"=50' DRAWING NO.: PP-2 CHECKED: TJC</p>	
<p>PRELIMINARY PLAT</p> <p>LANE'S FERRY LANDING PHASE 2 ROCKY POINT PENDER COUNTY, NORTH CAROLINA</p>	
<p>SEAL</p>	
<p>PP-2</p>	
<p>PEI JOB#: 17239.PE</p>	

MATCHLINE - SEE SHEET PP-2



- 10x70 SIGHT DISTANCE TRIANGLE, TYP.
- PROPOSED SANITARY SEWER MAIN, TYP.
- PROPOSED SEWER MANHOLE, TYP.
- STREETLIGHT, TYP. REFER TO STREETLIGHT NOTES ON SHEET PP-0

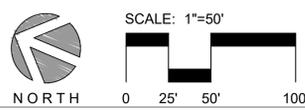
- APPROXIMATE LOCATION OF PROPOSED DRIVEWAY, TYP.
- PROPOSED WATER MAIN, TYP.
- FIRE HYDRANT, TYP.

PROPOSED 5' CONCRETE SIDEWALK, TYP.

- PROPOSED BUILDING SETBACK LINES, TYP.
- PROPOSED SINGLE FAMILY LOT, TYP.

25' WIDE BUFFER TYPE A-3 ALONG PERIMETER OF ADJACENT SITE; BUFFER TO INCLUDE 1 CANOPY TREE AND 2 UNDERSTORY TREES PER 100 LF WITH GRASS AS GROUND COVER, TYP. SEE SHEET PP-1 FOR PLANT SCHEDULE AND CALCULATIONS

GATED ACCESS AT ENTRANCES - DESIGN TBD



REVISIONS:

CLIENT INFORMATION:

PARAMOUNTE
ENGINEERING INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License # C-2846

PRELIMINARY PLAT
LANE'S FERRY LANDING PHASE 2
ROCKY POINT
PENDER COUNTY, NORTH CAROLINA

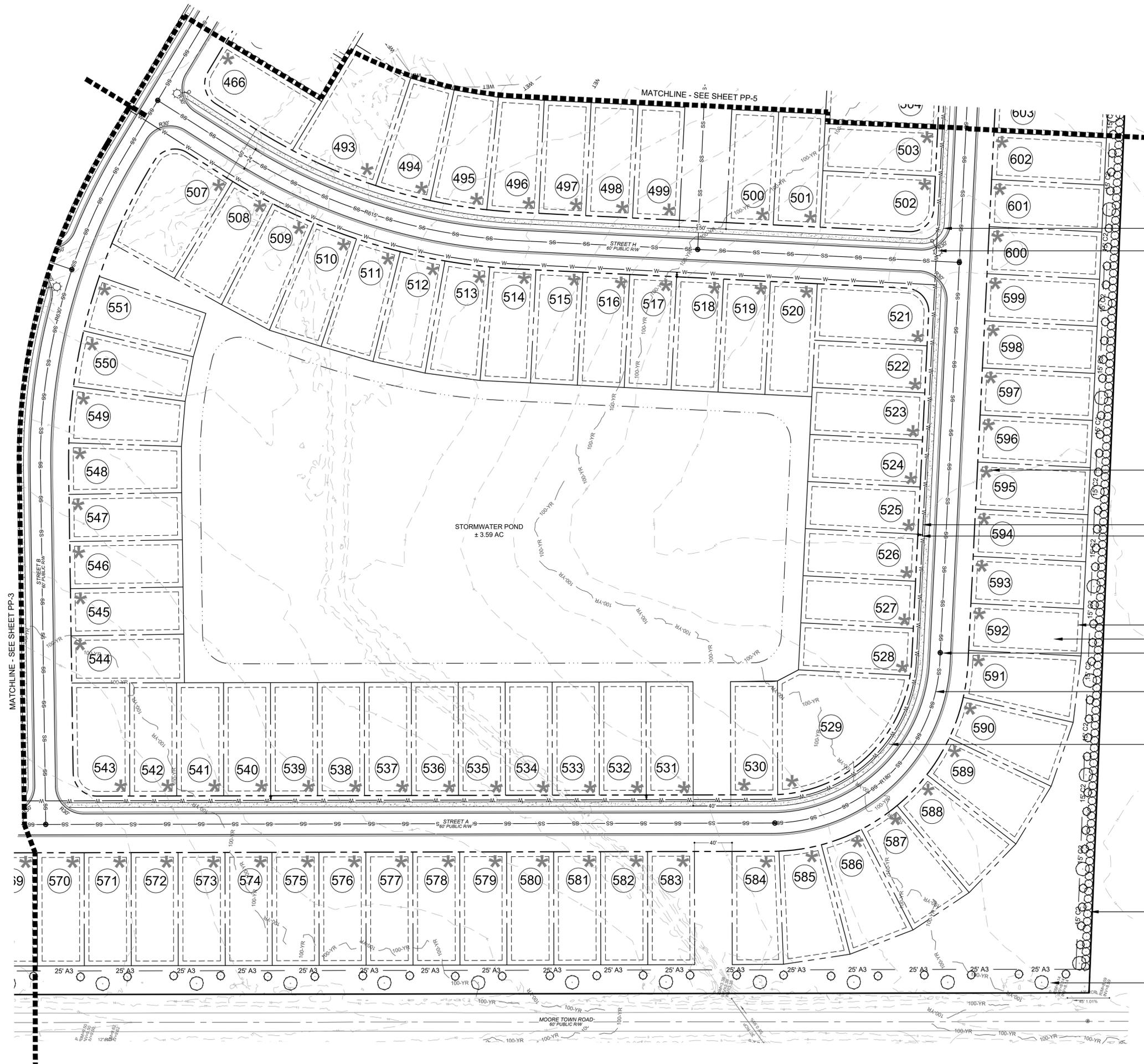
PROJECT STATUS
CONCEPTUAL LAYOUT:
FINAL DESIGN LAYOUT:
RELEASED FOR CONSTRUCTION:
DRAWING INFORMATION
DATE: 07/26/24
SCALE: 1"=50'
DRAWN BY: JCC
CHECKED: TTC

SEAL

PP-3

PEI JOB#: 17239.PE

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10x70 SIGHT DISTANCE TRIANGLE, TYP.
STREETLIGHT, TYP. REFER TO STREETLIGHT NOTES ON SHEET PP-0

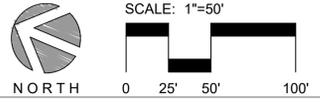
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PROPOSED WATER MAIN, TYP.
FIRE HYDRANT, TYP.

PROPOSED BUILDING SETBACK LINES, TYP.
PROPOSED SINGLE FAMILY LOT, TYP.
PROPOSED SEWER MANHOLE, TYP.

PROPOSED SANITARY SEWER MAIN, TYP.

PROPOSED 5' CONCRETE SIDEWALK, TYP.
15' WIDE BUFFER TYPE C-2 ALONG PERIMETER OF ADJACENT SITE:
BUFFER TO INCLUDE 6' HGT. EVERGREEN HEDGE AND 1 CANOPY TREE AND 4 UNDERSTORY TREES PER 100 LF WITH GRASS AS GROUND COVER, TYP.
SEE SHEET PP-1 FOR PLANT SCHEDULES AND CALCULATIONS

25' WIDE BUFFER TYPE A-3 ALONG PERIMETER OF ADJACENT SITE:
BUFFER TO INCLUDE 1 CANOPY TREE AND 2 UNDERSTORY TREES PER 100 LF WITH GRASS AS GROUND COVER, TYP.
SEE SHEET PP-1 FOR PLANT SCHEDULE AND CALCULATIONS



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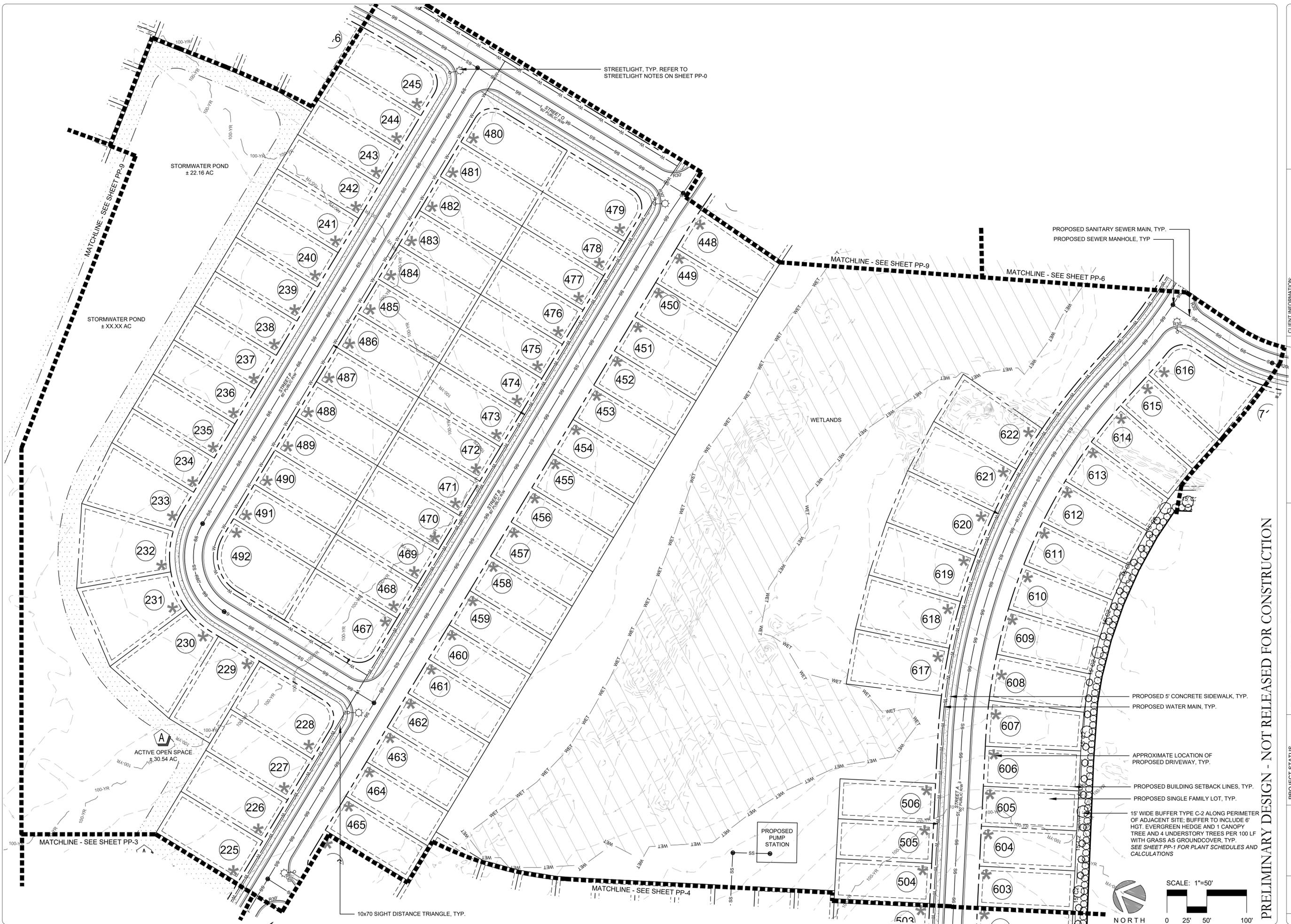
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PRELIMINARY PLAT
LANE'S FERRY LANDING PHASE 2
ROCKY POINT
PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT:
FINAL DESIGN LAYOUT:
RELEASED FOR CONSTRUCTION:
DRAWING INFORMATION:
DATE: 07/26/24
SCALE: 1" = 50'
DRAWN BY: JRC
CHECKED: TOC

SEAL
PP-4
PEI JOB#: 17239.PE



REVISIONS:

CLIENT INFORMATION:

RIVER ROCK FARM, LLC
 2511 S. CANTERBURY ROAD
 WILMINGTON, NC 28403

PARAMOUNT
 ENGINEERING, INC.

122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

PRELIMINARY PLAT
 LANE'S FERRY LANDING PHASE 2
 ROCKY POINT
 PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS
 CONCEPITAL LAYOUT:
 FINAL DESIGN LAYOUT:
 RELEASED FOR CONSTRUCTION:
DRAWING INFORMATION
 DATE: 07/26/24
 SCALE: 1"=50'
 DRAWN BY: JCC
 CHECKED: TCC

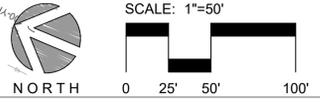
SEAL

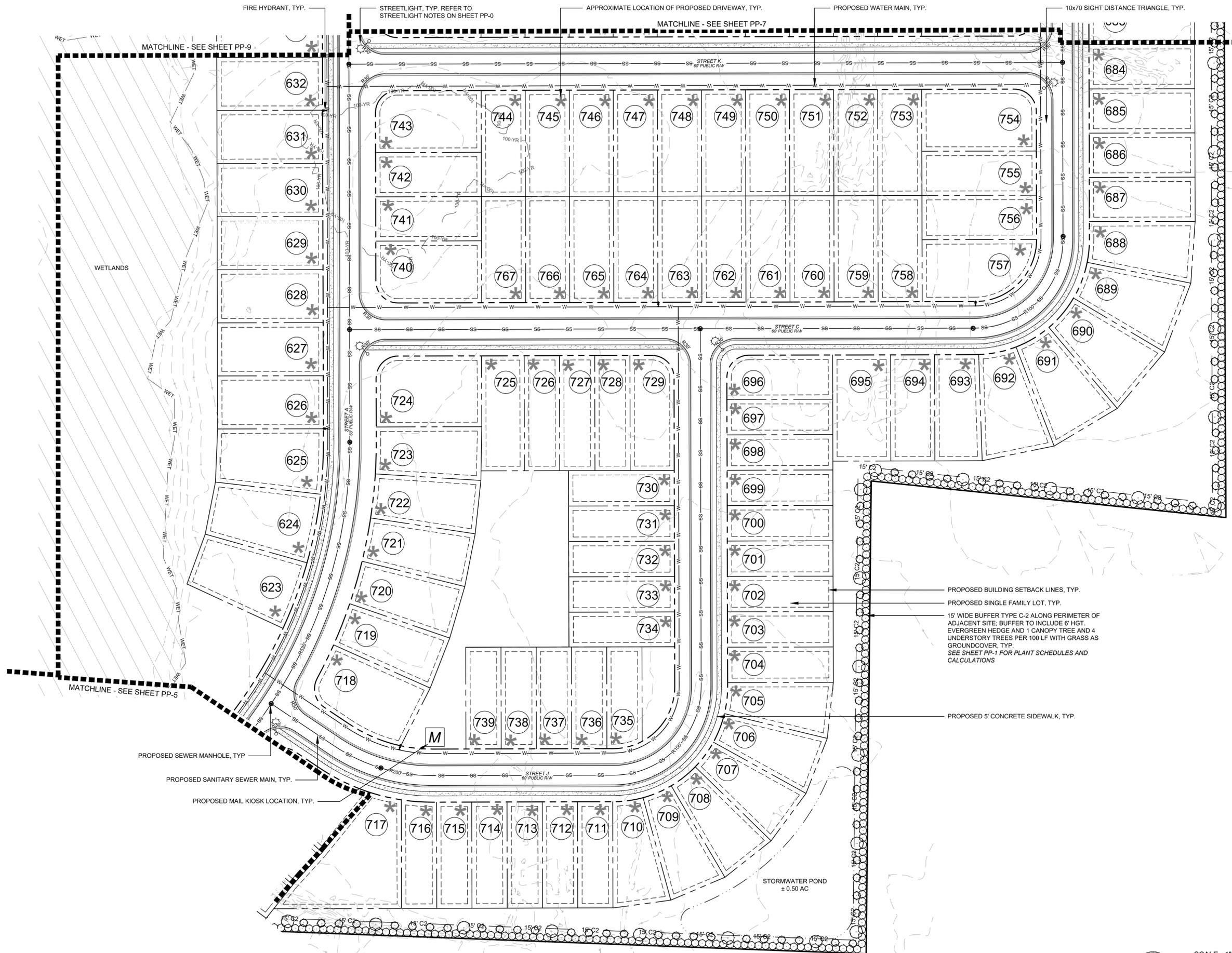
PP-5

PEI JOB#: 17239.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

- PROPOSED 5' CONCRETE SIDEWALK, TYP.
- PROPOSED WATER MAIN, TYP.
- APPROXIMATE LOCATION OF PROPOSED DRIVEWAY, TYP.
- PROPOSED BUILDING SETBACK LINES, TYP.
- PROPOSED SINGLE FAMILY LOT, TYP.
- 15' WIDE BUFFER TYPE C-2 ALONG PERIMETER OF ADJACENT SITE; BUFFER TO INCLUDE 6' HGT. EVERGREEN HEDGE AND 1 CANOPY TREE AND 4 UNDERSTORY TREES PER 100 LF WITH GRASS AS GROUND COVER, TYP. SEE SHEET PP-1 FOR PLANT SCHEDULES AND CALCULATIONS



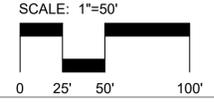


WETLANDS

PROPOSED SEWER MANHOLE, TYP.
 PROPOSED SANITARY SEWER MAIN, TYP.
 PROPOSED MAIL KIOSK LOCATION, TYP.

PROPOSED BUILDING SETBACK LINES, TYP.
 PROPOSED SINGLE FAMILY LOT, TYP.
 15' WIDE BUFFER TYPE C-2 ALONG PERIMETER OF ADJACENT SITE; BUFFER TO INCLUDE 6' HGT. EVERGREEN HEDGE AND 1 CANOPY TREE AND 4 UNDERSTORY TREES PER 100 LF WITH GRASS AS GROUNDCOVER, TYP. SEE SHEET PP-1 FOR PLANT SCHEDULES AND CALCULATIONS
 PROPOSED 5' CONCRETE SIDEWALK, TYP.

STORMWATER POND
 ± 0.50 AC



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
 RIVER ROCK FARM, LLC
 2511 S. CANTERBURY ROAD
 WILMINGTON, NC 28403

PARAMOUNTE
 ENGINEERING, INC.
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PRELIMINARY PLAT
 LANE'S FERRY LANDING PHASE 2
 ROCKY POINT
 PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS

CONCEPTUAL LAYOUT:	
FINAL DESIGN:	
RELEASED FOR CONSTRUCTION:	

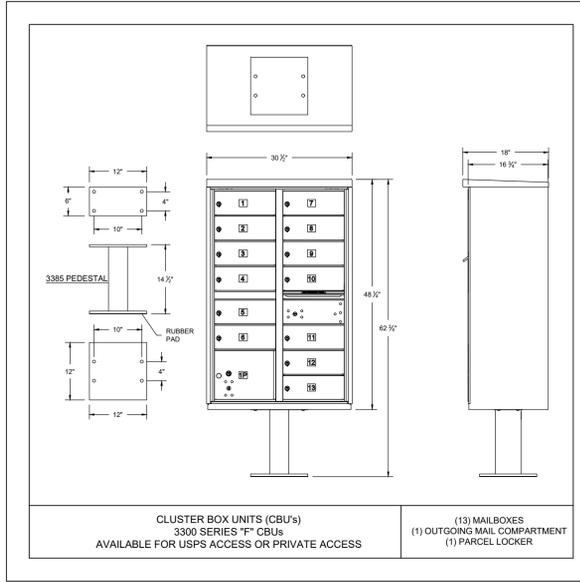
DRAWING INFORMATION

DATE:	07/26/24
SCALE:	1" = 50'
DRAWN BY:	ARC
CHECKED BY:	TCC

SEAL

PP-6

PEI JOB#: 17239.PE



CLUSTER BOX UNITS (CBU's)
3300 SERIES "F" CBU's
AVAILABLE FOR USPS ACCESS OR PRIVATE ACCESS

(13) MAILBOXES
(1) OUTGOING MAIL COMPARTMENT
(1) PARCEL LOCKER

APPROXIMATE LOCATION OF PROPOSED DRIVEWAY, TYP.

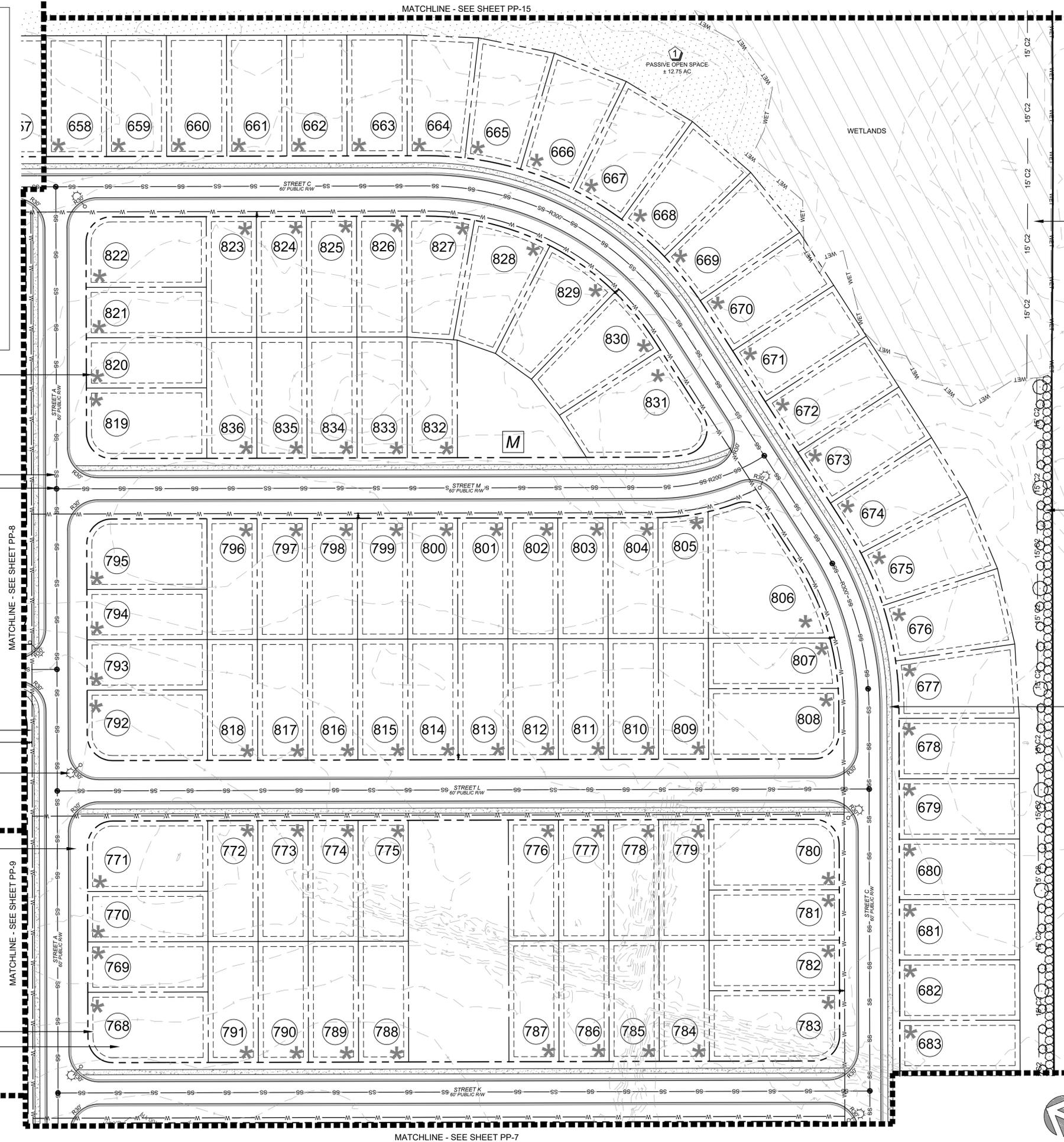
PROPOSED SANITARY SEWER MAIN, TYP.
PROPOSED SEWER MANHOLE, TYP.

PROPOSED WATER MAIN, TYP.
FIRE HYDRANT, TYP.

STREETLIGHT, TYP. REFER TO
STREETLIGHT NOTES ON SHEET PP-0

10x70 SIGHT DISTANCE TRIANGLE, TYP.

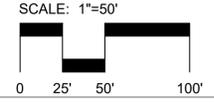
PROPOSED BUILDING SETBACK LINES, TYP.
PROPOSED SINGLE FAMILY LOT, TYP.



WETLANDS LOCATED WITHIN BUFFER AREAS TO SATISFY MINIMUM BUFFER PLANTING REQUIREMENTS

15' WIDE BUFFER TYPE C-2 ALONG PERIMETER OF ADJACENT SITE; BUFFER TO INCLUDE 6' HGT. EVERGREEN HEDGE AND 1 CANOPY TREE AND 4 UNDERSTORY TREES PER 100 LF WITH GRASS AS GROUND COVER, TYP. SEE SHEET PP-1 FOR PLANT SCHEDULES AND CALCULATIONS

PROPOSED 5' CONCRETE SIDEWALK, TYP.



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PRELIMINARY PLAT
LANE'S FERRY LANDING PHASE 2
ROCKY POINT
PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS

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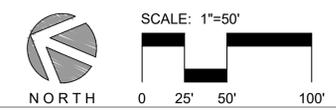
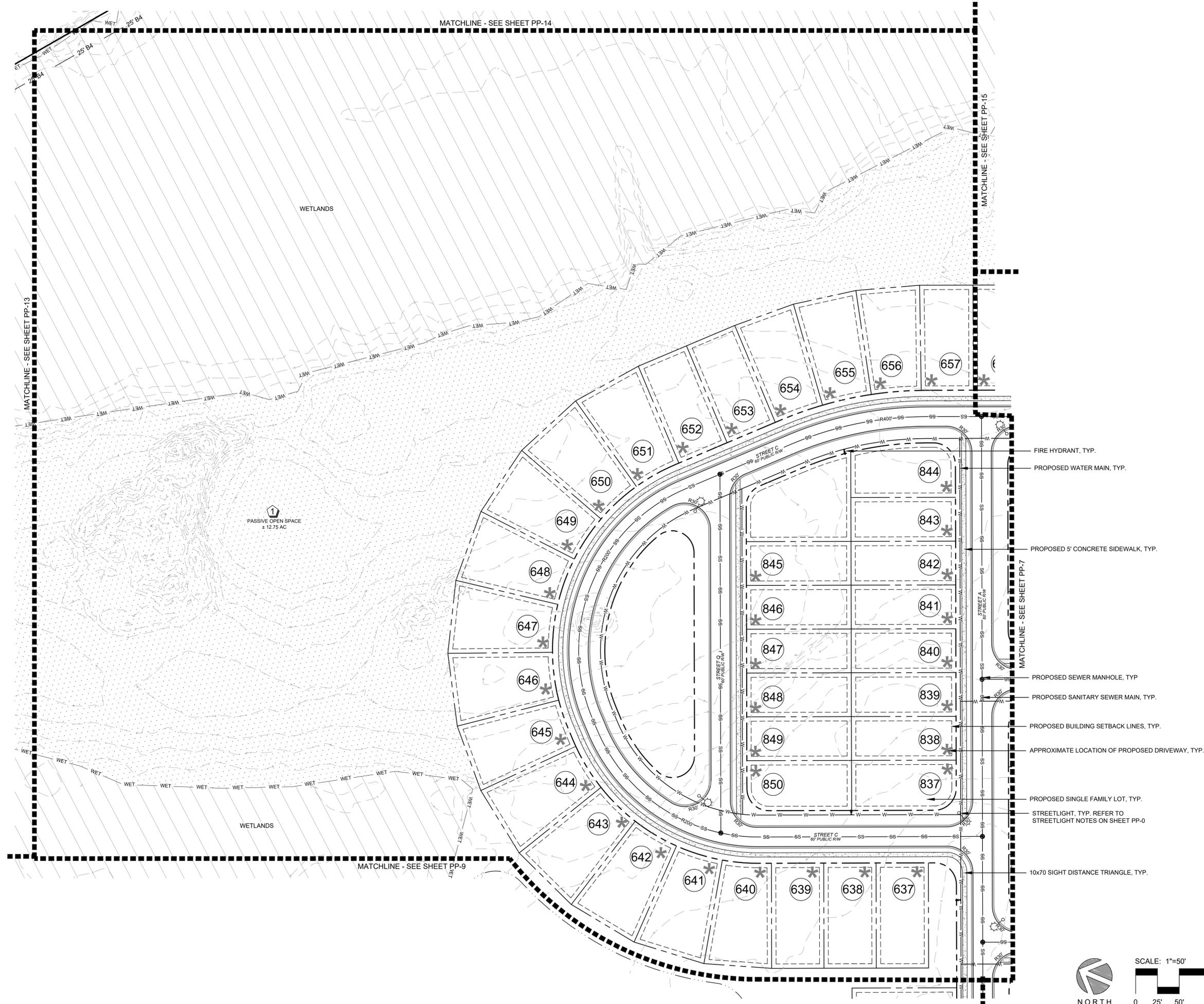
DRAWING INFORMATION

DATE:	07/26/24
SCALE:	1" = 50'
DRAWN BY:	ARC
CHECKED BY:	TCC

SEAL

PP-7

PEI JOB#: 17239.PE



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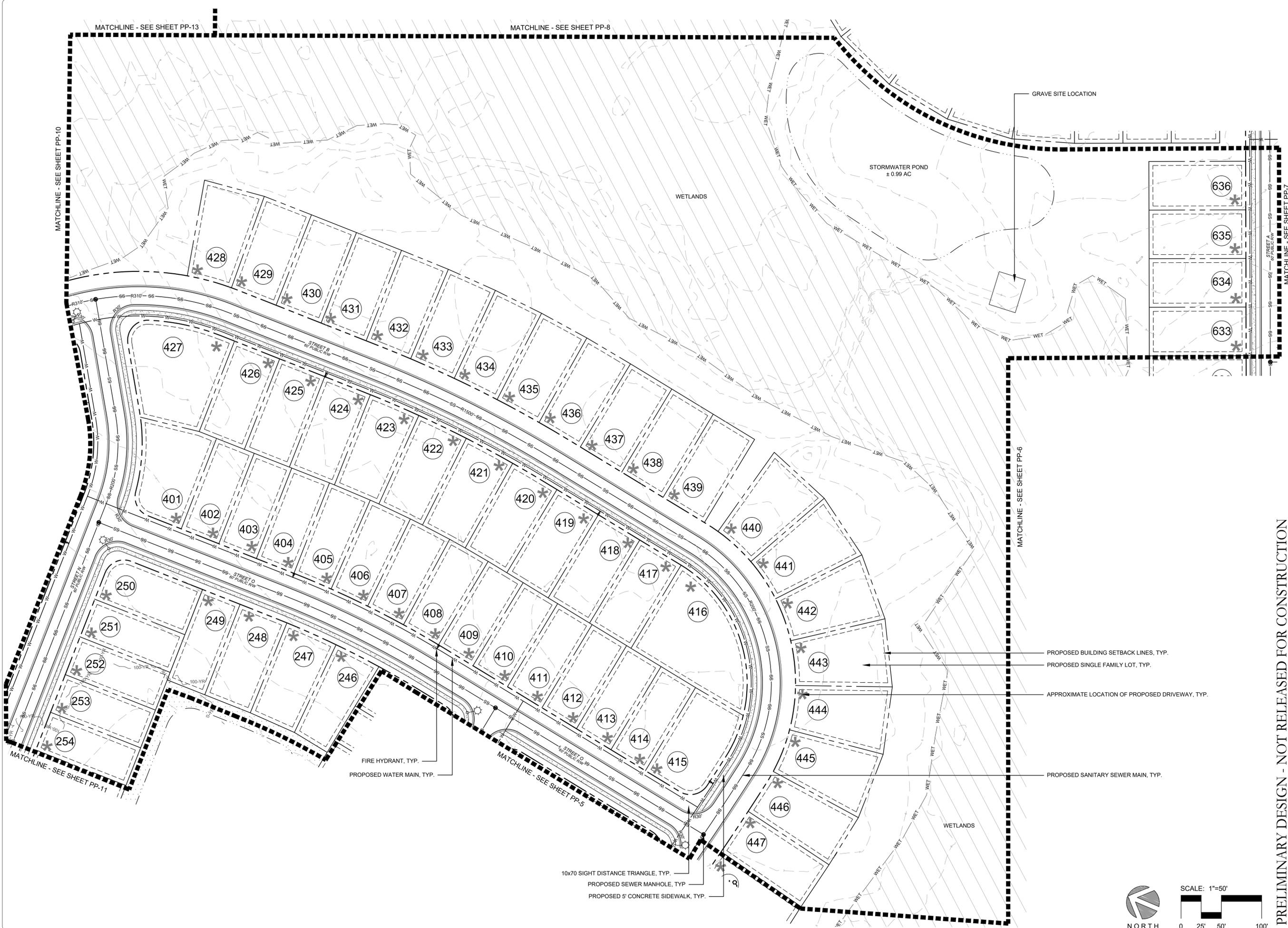
PRELIMINARY PLAT
 LANE'S FERRY LANDING PHASE 2
 ROCKY POINT
 PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS:
 CONCEPTUAL LAYOUT:
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 SCALE: 1"=50'
 DRAWING: ARC
 CHECKED: TCC

SEAL

PP-8

PEI JOB#: 17239.PE



GRAVE SITE LOCATION

STORMWATER POND
± 0.99 AC

WETLANDS

WETLANDS

MATCHLINE - SEE SHEET PP-13

MATCHLINE - SEE SHEET PP-8

MATCHLINE - SEE SHEET PP-10

MATCHLINE - SEE SHEET PP-7

MATCHLINE - SEE SHEET PP-6

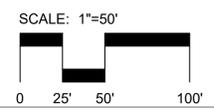
MATCHLINE - SEE SHEET PP-11

MATCHLINE - SEE SHEET PP-5

- PROPOSED BUILDING SETBACK LINES, TYP.
- PROPOSED SINGLE FAMILY LOT, TYP.
- APPROXIMATE LOCATION OF PROPOSED DRIVEWAY, TYP.
- PROPOSED SANITARY SEWER MAIN, TYP.

FIRE HYDRANT, TYP.
PROPOSED WATER MAIN, TYP.

10x70 SIGHT DISTANCE TRIANGLE, TYP.
PROPOSED SEWER MANHOLE, TYP.
PROPOSED 5' CONCRETE SIDEWALK, TYP.



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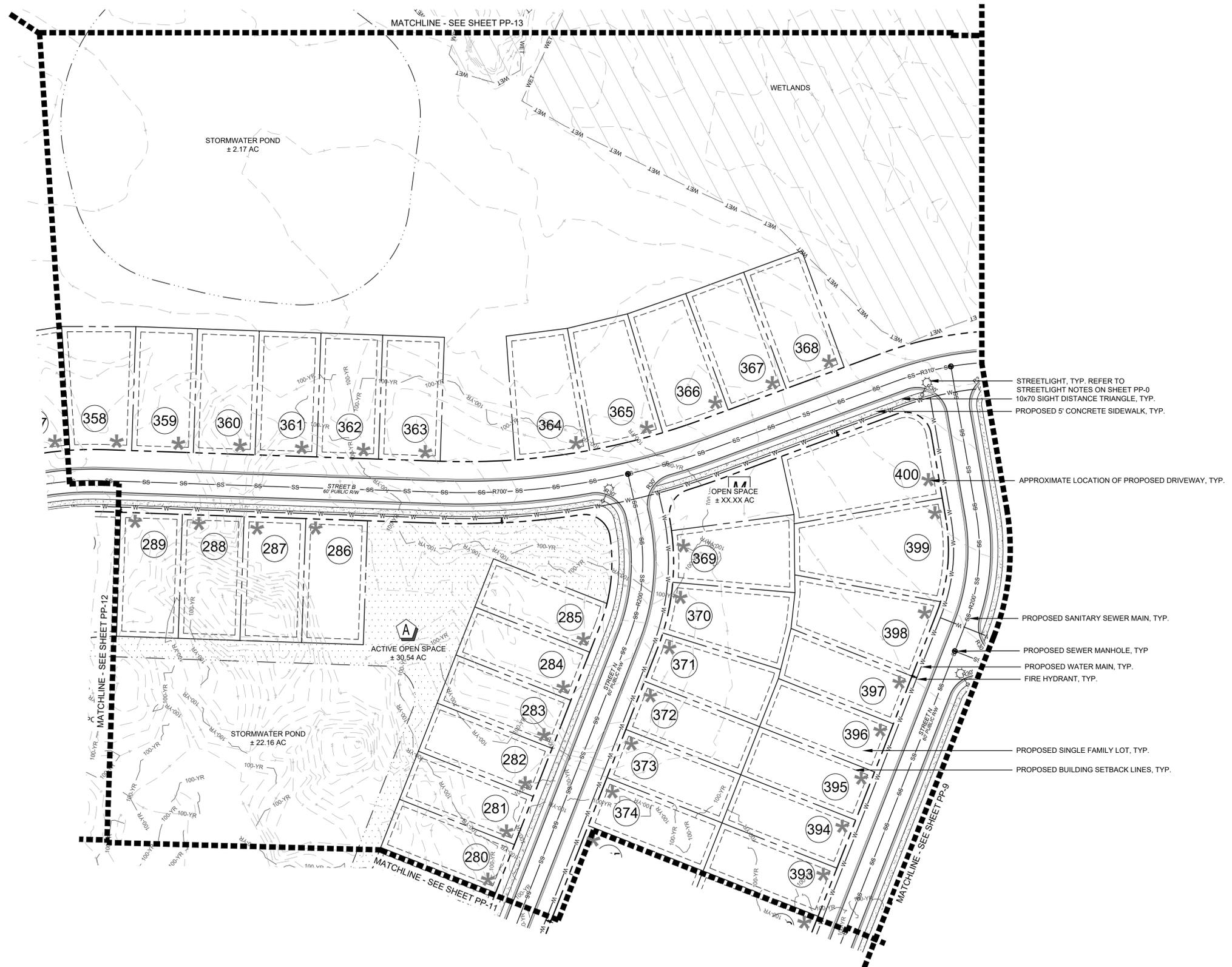
PRELIMINARY PLAT
LANE'S FERRY LANDING PHASE 2
ROCKY POINT
PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS: CONCEPTUAL LAYOUT: FINAL DESIGN: RELEASED FOR CONSTRUCTION:	DATE: 07/26/24	SCALE: 1" = 50'	ARC: TTC
DRAWING INFORMATION			
DRAWN BY:			
CHECKED:			

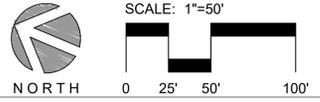
SEAL

PP-9

PEI JOB#: 17239.PE



- STREETLIGHT, TYP. REFER TO STREETLIGHT NOTES ON SHEET PP-0
- 10X70 SIGHT DISTANCE TRIANGLE, TYP.
- PROPOSED 5' CONCRETE SIDEWALK, TYP.
- APPROXIMATE LOCATION OF PROPOSED DRIVEWAY, TYP.
- PROPOSED SANITARY SEWER MAIN, TYP.
- PROPOSED SEWER MANHOLE, TYP.
- PROPOSED WATER MAIN, TYP.
- FIRE HYDRANT, TYP.
- PROPOSED SINGLE FAMILY LOT, TYP.
- PROPOSED BUILDING SETBACK LINES, TYP.



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PRELIMINARY PLAT
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 ROCKY POINT
 PENDER COUNTY, NORTH CAROLINA

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 DRAWN BY: JRC
 CHECKED BY: TCC

SEAL

PP-10
 PEI JOB#: 17239.PE

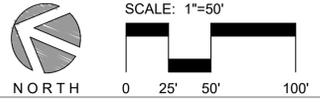


25' WIDE BUFFER TYPE B-4 AROUND PERIMETER PROPERTY; BUFFER TO INCLUDE (5) UNDERSTORY TREES PER 100 LF WITH GRASS AS GROUND COVER, TYP.; VEGETATION WITHIN BUFFER AREA TO REMAIN UNDISTURBED; TO BE AUGMENTED AS STATED ABOVE WHEN DEEMED NECESSARY BY PENDER COUNTY PLANNING STAFF SEE PLANT SCHEDULE AND CALCULATIONS, SHEET C-2.1

FUTURE AMENITY ± 7.3 AC (TO BE CONSTRUCTED DURING PHASE 1)

STREETLIGHT, TYP. REFER TO STREETLIGHT NOTES ON SHEET PP-0
 PROPOSED SEWER MANHOLE, TYP.
 PROPOSED SANITARY SEWER MAIN, TYP.

PROPOSED 5' CONCRETE SIDEWALK, TYP.
 PROPOSED BUILDING SETBACK LINES, TYP.
 PROPOSED SINGLE FAMILY LOT, TYP.



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 122 Cinema Drive
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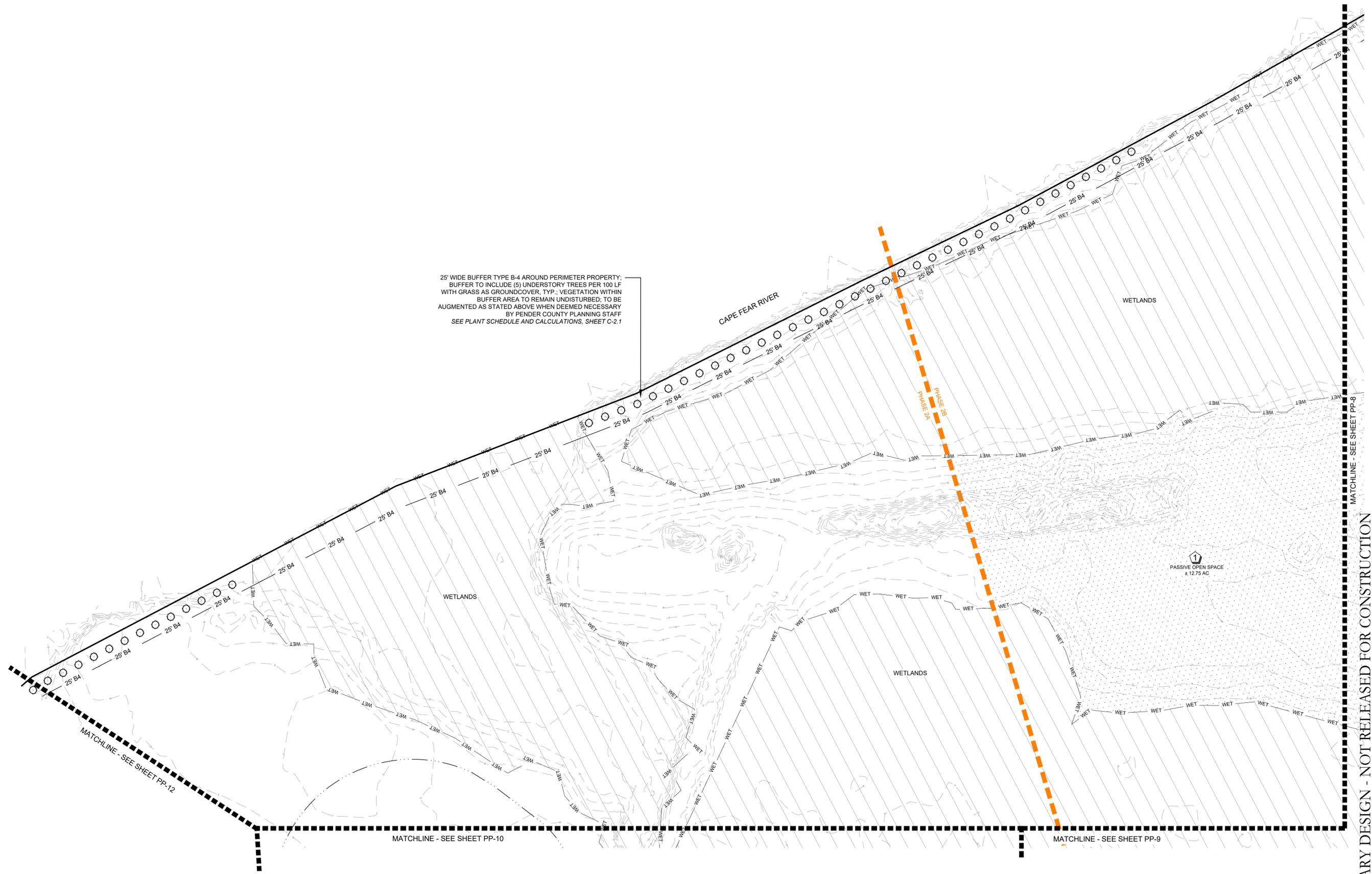
PRELIMINARY PLAT
 LANE'S FERRY LANDING PHASE 2
 ROCKY POINT
 PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS	DRAWING INFORMATION
CONCEPTUAL LAYOUT:	DATE: 07/26/24
FINAL DESIGN LAYOUT:	SCALE: 1"=50'
RELEASED FOR CONSTRUCTION:	DRAWN BY: ARC
	CHECKED: TOC

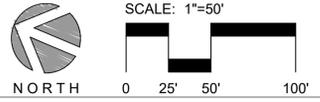
SEAL

PP-12

PEI JOB#: 17239.PE



25' WIDE BUFFER TYPE B-4 AROUND PERIMETER PROPERTY;
 BUFFER TO INCLUDE (5) UNDERSTORY TREES PER 100 LF
 WITH GRASS AS GROUND COVER, TYP.; VEGETATION WITHIN
 BUFFER AREA TO REMAIN UNDISTURBED; TO BE
 AUGMENTED AS STATED ABOVE WHEN DEEMED NECESSARY
 BY PENDER COUNTY PLANNING STAFF
 SEE PLANT SCHEDULE AND CALCULATIONS, SHEET C-2.1



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

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PRELIMINARY PLAT
 LANE'S FERRY LANDING PHASE 2
 ROCKY POINT
 PENDER COUNTY, NORTH CAROLINA

PROJECT STATUS:
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 DRAWING INFORMATION:
 DATE: 07/26/24
 SCALE: 1"=50'
 DRAWN BY: JRC
 CHECKED: TCC

SEAL

PP-13

PEI JOB#: 17239.PE

