

# Pender County Planning and Community Development

## Planning Division

805 S. Walker Street  
PO Box 1519  
Burgaw, NC 28425



Phone: 910-259-1202  
Fax: 910-259-1295  
[www.pendercountync.gov](http://www.pendercountync.gov)

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## Carlson Tracts (D.R. Horton Office) Major Site Development Plan

**Case Number:** SDP 2024-00377

**Application Type:** Major Site Development

**Applicant:** Tara Schwenzfeier Murphy

**Owners:** Mary Beth Morgan Carlson

**Location:** The 3.79-acre project area is located northwest of US Hwy 17 and north of Lark Lane in Pender County, NC.

**Property ID #(s):** 3271-65-9054-0000, 3271-64-5893-000

**Description:** The proposed construction of a commercial office space for D.R. Horton builders.

**Current Zoning:** CZ-3, Conditional Zoning

### Technical Review Committee Meeting

03/07/2024

### Planning Board Meeting

N/A

### Included:

Application  
Site Plan

# **APPLICATION**

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## Major Site Development Plan Submission

Applications will be considered for the Technical Review Committee hearing and reviewed by Staff only when deemed complete. The application will be regarded as incomplete until the following items are received by the Planning and Community Development Staff.

1. ✓ **Pre-submittal Meeting**  
Date of Meeting 10/16/23 BOC Approved CZ-3
2. ✓ **Signed Application**
3. ✓ **Payment**  
\$250
4. ✓ **Paper Plan Sets**  
Two (2) 24 x 36, Four (4) 11 x 17
5. ✓ **Digital Submission**  
For all documents submitted in paper copy, bring a digital copy with paper submission.
6. ✓ **Adjacent Property List**  
A list of names and addresses, as obtained from the county tax listings and tax abstract, to the owners of all properties located within 500-feet of the perimeter of the project bounds.
7. ✓ **Adjacent Property Envelopes**  
The applicant shall provide a set of business envelopes addressed to each of the owners of all properties located within 500-feet of the perimeter of the project bounds and accompanied with the amount of postage required for first class postage.
8. N/A at this time **Permits**  
Include any permits issued on the project including but not limited to: environmental, traffic, utility, or site specific conditions.
9. ✓ **Site Plan Requirements**  
A prepared site plan in accordance with the Unified Development Ordinance standards Section 6.3, Pender County Collector Street Plan, Pender County Transportation Plan, other approved State of Federal Transportation Improvement Plan, or any other adopted plan in Pender County.  
(See Major Site Development Checklist)

I certify that all information presented in this application is accurate to the best of my knowledge.

Signature of Applicant

*Tara S. Murphy*

Date

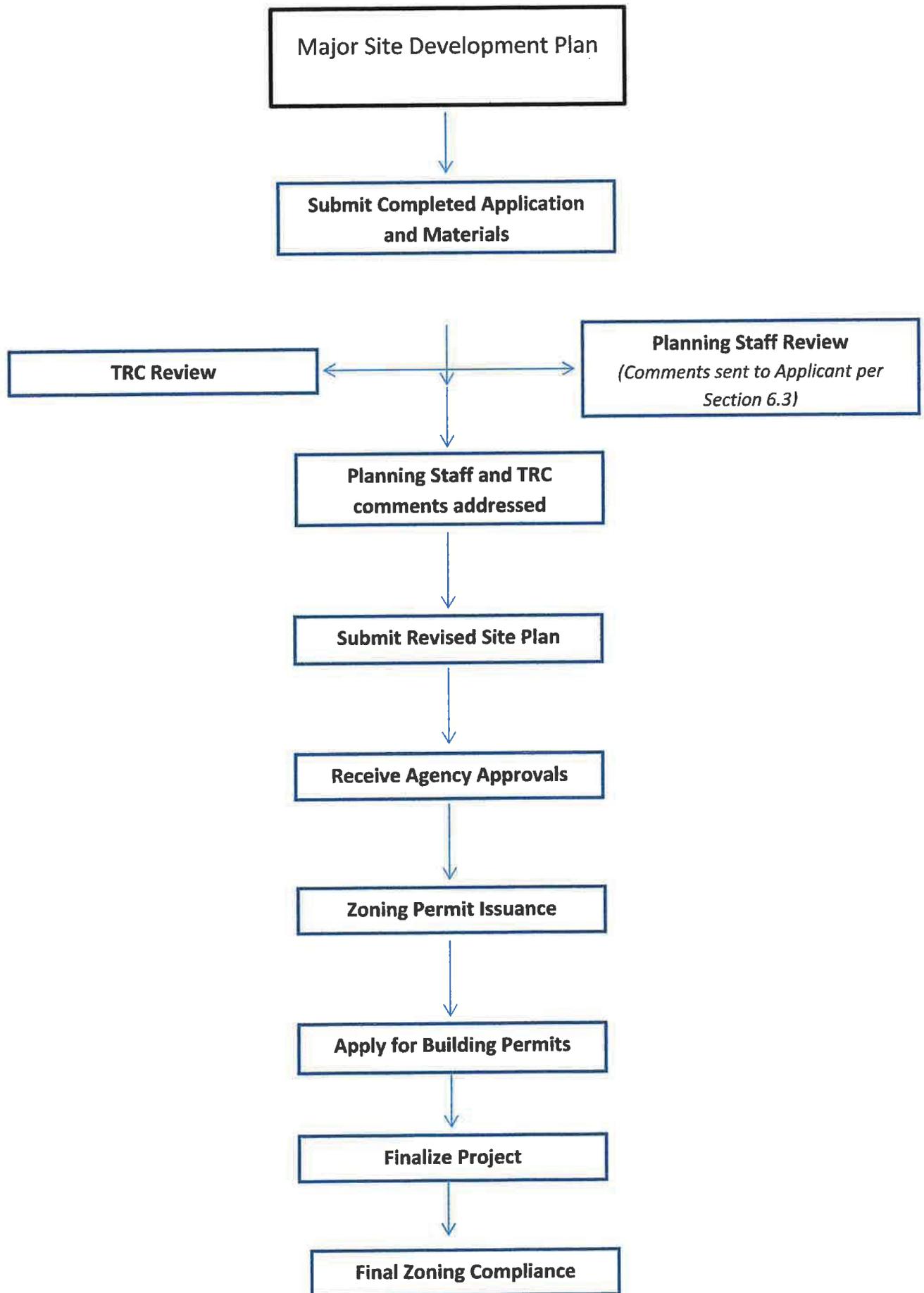
2/2/24

Printed Name

Tara Schwenzfeier Murphy

Staff Initials: \_\_\_\_\_

Date: \_\_\_\_\_



Specific requirements can be found in Section 6.3 of the Pender County Unified Development Ordinance

## **Major Site Development Plan Specific Requirements**

### **1. Major Site Development Application Submittal**

- Site Plan (per Section 6.3)
  - Scale
  - North Arrow
  - All property information (zoning, setbacks, PIN #)
  - Adjacent property info (owner, zoning, use, PIN #)
  - References to any previously approved plans
  - Utility providers
  - All existing and proposed structures
  - Buffering (Section 8.2.6) & Landscaping (8.3)
  - Parking (Section 7.10)
  - Lighting
  - Cross Access Connections (Section 7.4.4)
  - AM/PM Peak Hour Trip Calculations (TIA required with 100 AM/PM trips or >1,000 trips per day)
  - Soil Erosion and Sedimentation Control Plan
  - Location of all environmental features
  - Stormwater management features
  - Proposed accesses, easements, streets, and sidewalks
- Permits received

### **2. TRC Meeting**

- Site Plan Review
- Agency comments/requirements

### **3. Post-TRC Meeting**

- Submit site plan with revisions
- Receive agency approvals
- Forward all agency approvals to Planning Staff.

### **4. Approval of Site Plan**

- All TRC comments and agency requirements addressed
- Zoning approval allows for building permit process to begin
- Apply for building permits

### **5. Final Zoning**

- Site Visit to check the following:
  - Landscaping
  - Buffering
  - Parking

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## MAJOR AND MINOR SITE DEVELOPMENT APPLICATION

| THIS SECTION FOR OFFICE USE  |  |  |                      |
|--|--|--|----------------------|
| Date:  | Permit Number:   | Permit Fee:                                      | Invoice Number:      |
| *Zoning Approval ONLY: YES / NO  |  | Final Zoning Compliance Approved: YES / NO / N/A |                      |
| Type of Site Development Plan:   | <input type="checkbox"/> Major   | <input type="checkbox"/> Minor                   |                      |
| SECTION 1: GENERAL INFORMATION   |  |  |                      |
| Applicant's Name:  | Tara Schwenzfeier Murphy   | Property Owner's Name:                           | Mary Beth Carlson    |
| Applicant's Address:   | 243 North Front St   | Property Owner's Address:                        | 8139 Market St       |
| City, State, & Zip   | Wilmington, NC 28401   | City, State, & Zip                               | Wilmington, NC 28411 |
| Phone Number:  | 910-343-1048   | Phone Number:                                    | 910-681-0000         |
| Email Address:   | tschwenzfeier@mckimcreed.com   | Email Address:                                   |                      |
| Legal relationship of applicant to landowner:                                  | Applicant is consultant for the land purchaser   |  |                      |
| SECTION 2: PROJECT INFORMATION   |  |  |                      |
| PIN (Property Id #):   | 3271-65-9054-0000,<br>3271-64-5893-0000  | Total property acreage:                          | 3.79                 |
| Zoning:  | CZ-3   | Acreage to be disturbed:                         | 4.00                 |
| Water Provider:  | PCU  | Wastewater Provider:                             | Pluris               |
| Directions to Site:  | From Hwy 17 North, take left at the NCDOT control access break into the Duke Easement driveway 850' north of Pandy Ann Ln. Follow northwest to property. |  |                      |
| Lot Size: 3.79   | Sq Ft of Building: 17,803  | Building Height: 30'                             |                      |
| Setbacks   | Front: 25'   | Side: 25'  | Rear: 25'            |
| NAICS Code/Use:  | 53   |  |                      |
| Business Name:   |  |  |                      |
| Describe activities to be undertaken on project site:                          | Commercial Office Space  |  |                      |
| Ownership:   | Number of Employees:   | Number of Members:                               | Seating Capacity:    |
| <input checked="" type="checkbox"/> Private<br><input type="checkbox"/> Public |  |  |                      |

*\*If the applicant is not the owner of the property, a notarized letter from the property owner may be required*

*\*Zoning approval is for the use being proposed ONLY, other department approvals may be required i.e. Fire Marshal, Environmental Health, Permitting, etc...*

|                                       |  |
|---------------------------------------|--|
| <b>SECTION 4: ADDITIONAL COMMENTS</b> |  |
|                                       |  |
|                                       |  |
|                                       |  |

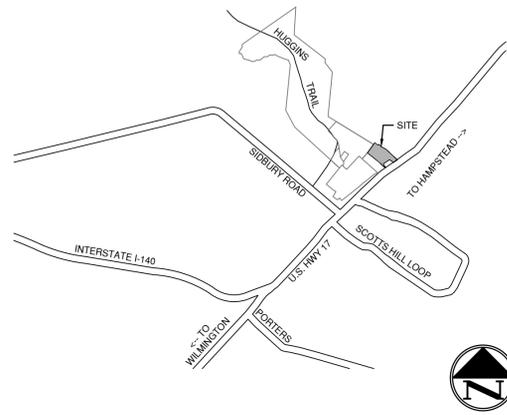
|                                 |                          |              |               |
|---------------------------------|--------------------------|--------------|---------------|
| <b>SECTION 5: SIGNATURES</b>    |                          |              |               |
| <b>Applicant's Signature</b>    | <i>TARA S. MURPHY</i>    | <b>Date:</b> | <i>2/2/24</i> |
| <b>Applicant's Name Printed</b> | Tara Schwenzfeier Murphy | <b>Date:</b> |               |
| <b>Owner's Signature</b>        | <i>Mary Beth Carlson</i> | <b>Date:</b> |               |
| <b>Owner's Name Printed</b>     | Mary Beth Carlson        | <b>Date:</b> |               |
| <b>Planning Staff:</b>          |                          | <b>Date:</b> |               |

# **SITE PLAN**

# CARLSON TRACT PHASE 2 OFFICE

## TOPSAIL TOWNSHIP, PENDER COUNTY, NC MAJOR SITE DEVELOPMENT PLAN TRC SUBMITTAL

FEBRUARY 2, 2024



7 VICINITY MAP SCALE: NOT TO SCALE

**COUNTY AND AGENCY CONTACTS**

**PENDER COUNTY:**  
PLANNING DEPARTMENT  
805 S WALKER STREET  
BURGAW, NC 28425  
(910) 259-0231  
CONTACT: DANIEL ADAMS  
DADAMS@PENDERCOUNTYNC.GOV

**NCDENR:**  
SEDIMENT AND EROSION CONTROL  
127 N CARDINAL DR.  
WILMINGTON, NC 28405  
(910) 796-7215  
CONTACT: DAN SAMS  
DAN.SAMS@NCDENR.GOV

**PENDER COUNTY PUBLIC UTILITIES:**  
605 E FREMONT ST  
BURGAW, NC 28425  
(910) 259-0212  
CONTACT: ANTHONY COLON  
ACOLON@PENDERCOUNTYNC.GOV

**NCDENR:**  
DIVISION OF ENVIRONMENTAL HEALTH  
PUBLIC WATER SUPPLY SECTION  
1634 MAIL SERVICE CENTER  
RALEIGH, NC 27699-1634  
(919) 707-9051

**PLURIS HAMPSTEAD, LLC:**  
SANITARY SEWER  
1095 NC-210  
SNEADS FERRY, NC 28460  
(910) 328-6277  
CONTACT: KRIS KING  
KING@PLURISUSA.COM

**NCDOT DIVISION 3 - DISTRICT 1:**  
299 WILMINGTON HWY  
JACKSONVILLE, NC 28540  
(910) 455-3777

**NCDENR:**  
DIVISION OF WATER QUALITY  
127 CARDINAL DRIVE EXT.  
WILMINGTON, NC 28405  
(910) 796-7387  
CONTACT: TYLER BENSON  
TYLER.BENSON@NCDENR.GOV

**FIRE MARSHALL - PENDER COUNTY:**  
AMY BURTON  
(910) 259-1441  
(910) 512-0967  
ABURTON@PENDERCOUNTYNC.GOV

6 PROJECT CONTACTS



**NAME OF PROJECT:**  
CARLSON TRACT - PHASE 2 OFFICE  
PENDER COUNTY, NORTH CAROLINA

**OWNER / DEVELOPER:**  
D.R. HORTON  
6752 PARKER FARM DRIVE, SUITE 210  
WILMINGTON, NC 28405  
PHONE: (910) 515 9561  
CONTACT: ELIZABETH (LIBBY) SHELTON

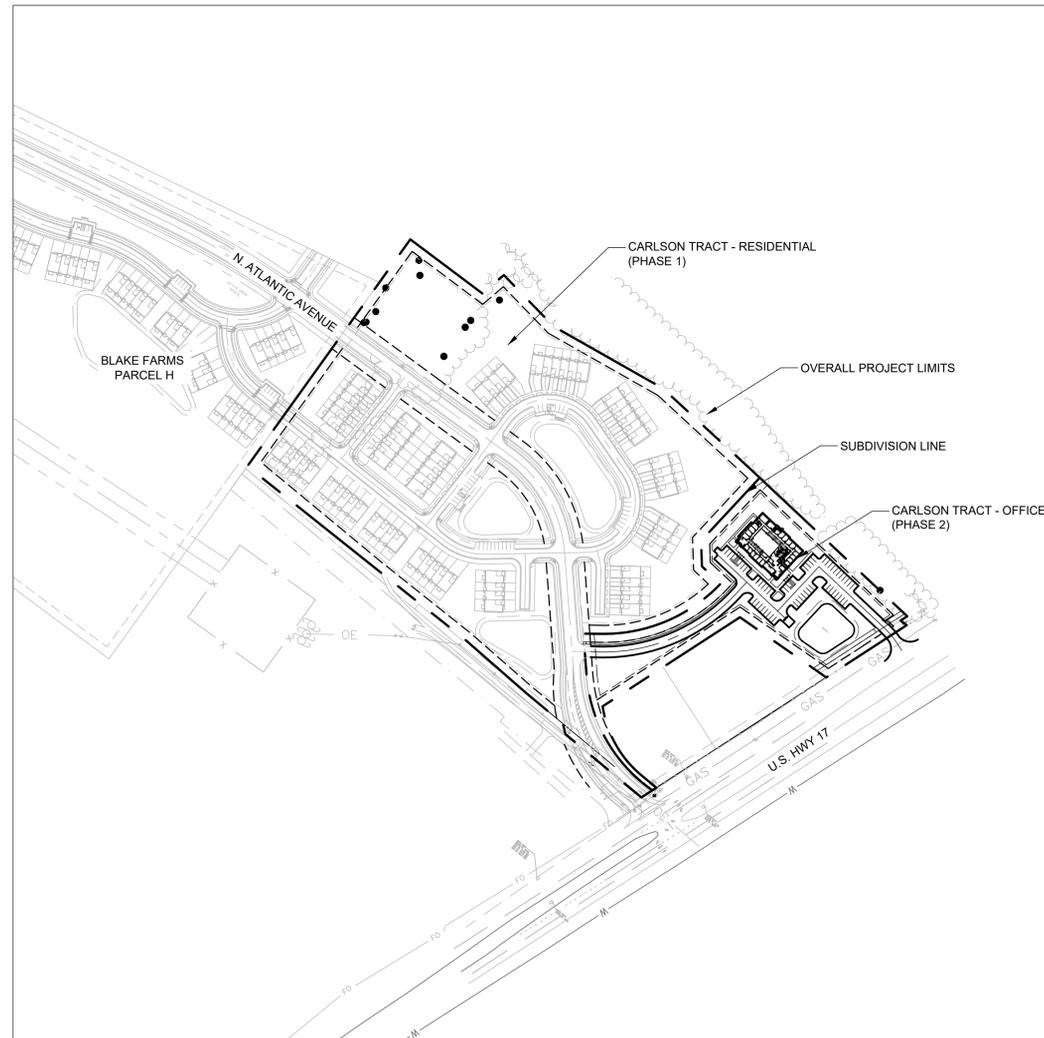
**ENGINEER:**  
MCKIM & CREED, INC  
243 N. FRONT ST. WILMINGTON, NC 28401  
PHONE: 910.343.1048  
LICENSE: F-1222  
DANTE CORONADO, PE  
DCORONADO@MCKIMCREED.COM

**LAND PLANNER:**  
MCKIM & CREED, INC  
243 N. FRONT ST. WILMINGTON, NC 28401  
PHONE: 910.343.1048  
TARA S. MURPHY, PLA  
TSCHWENZFEIER@MCKIMCREED.COM

5 PROJECT INFORMATION



4 LOCATION MAP



**Certification of Submission**  
A copy of this plat has been submitted. Approval is subject to Review; this does not constitute an approval.

Pender County Utilities: \_\_\_\_\_ Date: \_\_\_\_\_  
Pender County Environmental Health: \_\_\_\_\_ Date: \_\_\_\_\_  
Pender County Addressing Coordinator: \_\_\_\_\_ Date: \_\_\_\_\_  
Pender County Fire Marshal: \_\_\_\_\_ Date: \_\_\_\_\_

**Certification of Preliminary Plat Approval**  
Preliminary Plat Approved by Pender County for a Period of two (2) years subject to the Pender County Unified Development Ordinance requirements and conditions of approval.

Planning Staff: \_\_\_\_\_ Date: \_\_\_\_\_

3 NEW HANOVER COUNTY SIGNATURES

**APPROVED CONDITIONAL REZONING (REZONE 2023-51) CONDITIONS:**

1. THE PROPOSED COLLECTOR ROAD, ATLANTIC AVENUE, SHALL INCLUDE FIVE-FOOT SIDEWALKS AND BICYCLE LANES ON BOTH SIDES OF THE ROAD.
2. PROVIDE SIDEWALKS ALONG ONE SIDE OF EACH PRIVATE ROAD AND PROVIDE MARKED CROSSWALKS AT THE INTERSECTIONS OF ATLANTIC AVENUE AND PRIVATE ROAD A AND PRIVATE ROAD C.
3. THE PROJECT SHALL BE DESIGNED SO THAT THE POST DEVELOPMENT RUNOFF FROM THE PROJECT BE NO MORE THAN TEN (10) PERCENT MORE THAN THE PRE-DEVELOPMENT RUNOFF FOR THE 10-, 25-, AND 50-YEAR RETURN PERIOD EVENTS AND BE ANALYZED FOR THE 100-YEAR EVENT.
4. CONSTRUCT A 10-FOOT-WIDE MULTI-USE PATH ADJACENT TO THE US HIGHWAY 17 RIGHT OF WAY AND DEDICATE THIS PATH FOR PUBLIC USE VIA AN EASEMENT.
5. IF PENDER EMS & FIRE PROVIDES WRITTEN NOTICE TO THE COUNTY AND THE APPLICANT THAT THEY DESIRE A CONNECTION FROM THE REAR OF THEIR PARCEL TO THE PRIVATE DRIVE THAT ACCESSES THE COMMERCIAL STRUCTURE FROM ATLANTIC AVENUE, THE DEVELOPER MUST PROVIDE THAT ACCESS AND UPDATE THE MASTER PLAN TO REFLECT THAT CONNECTION. THAT POTENTIAL REVISION MAY BE APPROVED ADMINISTRATIVELY.

2 REZONING CONDITIONS

| Sheet Number | Sheet Title                  |
|--------------|------------------------------|
| C1.0         | COVER                        |
| C1.1         | GENERAL NOTES                |
| C2.0         | EXISTING CONDITIONS          |
| C2.1         | DEMOLITION                   |
| C3.0         | SITE PLAN                    |
| C7.0         | GRADING & DRAINAGE PLAN      |
| C8.0         | UTILITY PLAN                 |
| C10.0        | LANDSCAPE PLAN               |
| C11.0        | SITE DETAILS                 |
| C13.0        | GRADING AND DRAINAGE DETAILS |
| C13.1        | GRADING AND DRAINAGE DETAILS |
| C14.0        | UTILITY DETAILS              |
| C14.1        | UTILITY DETAILS              |
| C17.0        | LANDSCAPE DETAILS            |

PRELIMINARY - DO NOT USE  
FOR CONSTRUCTION

1 SHEET INDEX

SCALE: 1" = 200'

CONSTRUCTION NOTES

- 1. CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE NCDOT/PENDER COUNTY UTILITIES/PLURIS HAMPSTEAD, LLC STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR IS FULLY RESPONSIBLE FOR ACQUIRING THE LOCATION OF EXISTING UTILITIES FROM THE APPROPRIATE PARTIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAGMEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
4. THESE DRAWINGS SHOW INFORMATION OBTAINED FROM THE AVAILABLE RECORDS REGARDING PIPES, CONDUITS, TELEPHONE LINES, AND OTHER STRUCTURES AND CONDITIONS WHICH EXIST ALONG THE LINES OF WORK AND BELOW THE SURFACE OF THE GROUND. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITIES FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION, AND SUCH INFORMATION IS BEING SHOWN ONLY FOR THE CONVENIENCE OF THE CONTRACTOR WHO MUST VERIFY THE INFORMATION TO HIS OWN SATISFACTION DURING THE BIDDING AND CONSTRUCTION PHASES. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THE CONTRACT DRAWINGS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL PIPES, CONDUITS, TELEPHONE LINES, AND OTHER STRUCTURES, WHETHER ABOVE OR BELOW GRADE.
5. SHOULD ANY DAMAGE OCCUR TO EXISTING UTILITIES, IT SHALL BE REPAIRED SOLELY AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL VERIFY EXISTING INVERTS PRIOR TO CONSTRUCTION OF UNDERGROUND UTILITIES. TESTING PITCH OF EXISTING LINES PRIOR TO CONSTRUCTION, IF NECESSARY, SHALL BE COORDINATED WITH THE OWNER.
7. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, PROJECT SPECIFICATIONS, AND LOCAL BUILDING CODES.
8. ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROMOTE POSITIVE DRAINAGE AND STABILIZED WITH TOPSOIL, SEED, AND MULCH. IF SETTLEMENT OCCURS, TOPSOIL, SEEDING, AND MULCH SHALL BE REPEATED UNTIL SETTLEMENT SUBSIDES. (SEE EROSION AND SEDIMENT CONTROL DETAILS AND SPECIFICATIONS.)
9. WATER MAINS WILL BE INSTALLED AT A DEPTH THAT WILL PROVIDE 30" COVER OVER THE PIPES BELOW PROPOSED GRADE UNLESS SHOWN OTHERWISE ON THESE PLANS OR DIRECTED OTHERWISE BY THE ENGINEER.
10. WHEREVER SEWER OR WATER MAINS CROSS ONE ANOTHER, A MINIMUM VERTICAL CLEARANCE OF 18" SHALL BE PROVIDED BETWEEN THE BOTTOM OF THE WATER PIPE AND THE TOP OF THE SEWER PIPE.
11. WHEREVER SEWER OR WATER MAINS RUN PARALLEL TO EACH OTHER, A MINIMUM HORIZONTAL SEPARATION OF 10' SHALL BE PROVIDED, OR 18" VERTICAL SEPARATION.
12. IF NEITHER OF THESE CONDITIONS (#10 OR #11 ABOVE) CAN BE MET, THEN THE SEWER SHALL BE CLASS 50 DIP, MINIMUM OF 20 LF CENTERED OVER THE CROSSING.
13. ALL WATER VALVES, BOXES, AND FIRE HYDRANT ASSEMBLES SHALL BE SET AND ADJUSTED TO FINISHED GRADE. SEE PENDER COUNTY UTILITY DETAIL SHEET C14.0 & C14.1
14. THE OWNER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, BOTH TEMPORARY AND PERMANENT.
15. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL SURVEY CONTROL PRIOR TO STAKING OUT CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
16. ANY PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE REPLACED SOLELY AT THE CONTRACTOR'S EXPENSE.
17. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ANY DEVIATION FROM THESE PLANS.
18. ALL SELECT AND BORROW MATERIAL SHALL MEET CRITERIA SET FORTH BY SECTIONS 1016 AND 1018 OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S STANDARDS AND SPECIFICATIONS FOR ROADS AND STRUCTURES. SEE SECTION FOR PLACEMENT AND COMPACTION INFORMATION.
19. THE ENGINEER AND THE CONTRACTOR SHALL INSPECT ALL EXISTING PIPES USED IN THE FINAL DRAINAGE SYSTEM AND AGREE ON THE CONDITION OF THE PIPES PRIOR TO CONSTRUCTION. IF DAMAGE OCCURS TO THESE PIPES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF THE PIPE(S).
20. EXISTING PAVING, CONCRETE, AND OTHER UNSUITABLE MATERIALS INCLUDING UNDERCUT EXCAVATION SHALL NOT BE USED AS FILL MATERIAL (UNLESS APPROVED BY THE GEOTECHNICAL ENGINEER) AND SHALL BE DISPOSED OF OUTSIDE THE PROJECT LIMITS AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING AND FEES FOR DISPOSAL.
21. ALL TREES, STUMPS, ROOT MAT, ETC. SHALL BE ENTIRELY REMOVED REGARDLESS OF DEPTH. BURIAL OF ORGANIC MATERIAL WITHIN THE PROJECT LIMITS IS NOT PERMITTED. OPEN BURNING OF DOWNED TREES AND STUMPS IS NOT PERMITTED. CHIPPED MATERIALS MUST BE REMOVED PRIOR TO THE PLACEMENT OF EMBANKMENT OR TOPSOIL.
22. THE CONTRACTOR IS SOLELY RESPONSIBLE TO OBTAIN OFF-SITE SPOIL AREAS FOR DISPOSAL OF EXCESS AND/OR UNSUITABLE MATERIALS AS NECESSARY. OFF-SITE SPOIL AREAS MUST BE SUBMITTED TO THE ENGINEER AND APPLICABLE REGULATORY AGENCIES PRIOR TO UTILIZATION BY THE CONTRACTOR. NO AREAS DESIGNATED AS WETLANDS WILL BE PERMITTED FOR USE AS A DISPOSAL SITE. THE CONTRACTOR SHALL SUBMIT DOCUMENTATION TO THE ENGINEER THAT NO WETLANDS WILL BE IMPACTED. THE ENGINEER WILL NOT CONSIDER ANY DELAYS OR MONETARY CLAIMS OF ANY NATURE RESULTING FROM THE CONTRACTOR'S FAILURE OR DIFFICULTY IN FINDING NECESSARY DISPOSAL SITES TO MEET THE TIME FRAMES AND CAPACITIES REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANS, PERMITS, EROSION AND SEDIMENT CONTROL MEASURES, ETC. REQUIRED BY THE APPROPRIATE REGULATORY AGENCIES FOR UTILIZING OFF-SITE SPOIL AREAS. THE CONTRACTOR SHALL CERTIFY TO THE ENGINEER THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO UTILIZING THE OFF-SITE SPOIL AREAS. ALL COSTS FOR PROCURING AND UTILIZING THE OFF-SITE SPOIL AREAS ARE TO BE INCIDENTAL TO THE BASE BID.
23. ONCE WATER IS AVAILABLE ONSITE, NO DUMPSTERS, DORMANT CONSTRUCTION EQUIPMENT IS ALLOWED IN THE ROADWAY TO IMPEDE FIRE EMERGENCY VEHICLE ACCESS.

DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIARIZED WITH FIELD DEMOLITION CONDITIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL DEMOLISHED DEBRIS ASSOCIATED WITH THE PROJECT IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. PIT BURNING IS PERMISSIBLE IF APPROVED THROUGH THE PENDER COUNTY FIRE MARSHALL.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST GENERATED BY THE WORK, INCLUDING BUT NOT LIMITED TO DEMOLITION AND CONSTRUCTION ACTIVITIES, SITE VEHICULAR TRAFFIC AND RELATED OPERATIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR HAVING ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING ANY DEMOLITION. CONTRACTOR SHALL CONTACT NC ONE CALL AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND ENGINEER IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF DISCONNECTING AND ABANDONING ALL EXISTING UTILITIES WITH THE OWNER UNLESS OTHERWISE NOTED. ALL EXISTING UTILITIES AND ASSOCIATED PIPING, ETC. NOT IN USE ON THE SITE SHALL BE PROPERLY ABANDONED AND REMOVED AS REQUIRED. COORDINATE WITH THE OWNER.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING UTILITIES THAT REMAIN IN SERVICE DURING DEMOLITION.
8. THE CONTRACTOR IS RESPONSIBLE FOR STABILIZATION OF ALL DISTURBED AREAS AND SLOPES ON AND OFF SITE IN ACCORDANCE WITH THE EROSION CONTROL MEASURES SPECIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHO IS RESPONSIBLE FOR PROVIDING THE PERMANENT STABILIZATION MEASURES AND THE TYPE OF PERMANENT MEASURES PRIOR TO BEGINNING DEMOLITION AND CONSTRUCTION. THE PERMANENT STABILIZATION MEASURES SHALL BE IN PLACE AND ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AND ENGINEER PRIOR TO PROJECT CLOSEOUT. COORDINATE INSPECTION WITH THE OWNER AND ENGINEER PRIOR TO PROJECT CLOSEOUT.
9. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND CONTACTING THE ENGINEER FOR THE REQUIRED INSPECTIONS ON THE PROJECT.
10. WETLANDS DO EXIST ON SITE AND ARE NOTED ON THE PLANS. UNLESS OTHERWISE INDICATED, THE WETLANDS SHALL NOT BE DISTURBED DURING CONSTRUCTION OF THIS PROJECT.

STORM DRAINAGE AND GRADING NOTES

- 1. IN ACCORDANCE WITH NC GENERAL STATUTES, NPDES REGULATIONS, AND NCDENR REQUIREMENTS, STORMWATER DISCHARGE OUTFALLS SHALL BE INSPECTED BY THE CONTRACTOR. INSPECTIONS SHALL BE PERFORMED BY THE CONTRACTOR AFTER EACH STORM EVENT OF 1/2 INCH OR GREATER, WITH ONE WEEKLY INSPECTION MINIMUM. NCDENR STANDARD INSPECTION REPORTS SHALL BE PREPARED AND SIGNED WITH COPIES PROVIDED TO THE OWNER, ARCHITECT, AND ENGINEER, BY THE CONTRACTOR.
2. OUTLET PROTECTION SHALL BE INSTALLED AROUND STORM DRAIN OUTFALLS. DEVICES SHALL BE CONSTRUCTED TO FINAL PROPOSED CONDITION UPON STABILIZATION OF CONTRIBUTING GROUND SURFACES AND REMOVAL OF SEDIMENT FROM STORM PIPES.
3. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
4. UNLESS OTHERWISE NOTED, GRADES AND SPOT ELEVATIONS NOTED ON PLANS INDICATE FINISHED GRADE OR PAVEMENT SURFACE. ALL DIMENSIONS ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE INDICATED.
5. ALL STORM DRAINAGE PIPES 15" INSIDE DIAMETER OR LARGER SHALL BE:
5.1. RCP CLASS III, OR
5.2. HP STORM
6. STORM DRAIN PIPES LESS THAN 15" INSIDE DIAMETER SHALL BE HDPE, DOUBLE WALL, TYPE S WITH SOIL TIGHT JOINTS, OR APPROVED EQUAL.
7. STORM DRAINAGE PIPE AND STRUCTURE MATERIALS WITHIN NCDOT RIGHT OF WAY SHALL BE IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS, LATEST EDITION.
8. CONTRACTOR SHALL SUBMIT STORM DRAIN AND STRUCTURE MATERIALS SHOP DRAWING DOCUMENTS TO ENGINEER FOR REVIEW AND APPROVAL.

MATERIALS AND EASEMENT NOTES:

- ALL CATCH BASINS ARE NCDOT STD 840.02/840.03
• ALL DROP INLETS ARE NCDOT STD 840.14/840.16
• ALL STORM DRAINAGE PIPING TO BE CLASS III RCP, OR ENGINEER APPROVED EQUIVALENT UNLESS OTHERWISE NOTED
• ALL SANITARY SEWER LINES AND WATERLINES SHALL BE C-900 PVC, UNLESS OTHERWISE NOTED AND MEET PLURIS HAMPSTEAD, LLC SPECIFICATIONS
• A PUBLIC UTILITY EASEMENT SHALL BE RESERVED WITHIN THE STREET RIGHT-OF-WAY. A 10' NON-MUNICIPAL EASEMENT SHALL BE RESERVED ALONG BOTH SIDES OF ALL STREETS
• WATER UTILITY IS PUBLIC - PENDER COUNTY PUBLIC UTILITIES
• SANITARY SEWER MAIN IS PRIVATE - PLURIS HAMPSTEAD, LLC

UTILITY NOTES

- 1. SCHEDULE A PRECONSTRUCTION MEETING WITH PENDER COUNTY PUBLIC UTILITIES AND PLURIS HAMPSTEAD, LLC 48 HOURS PRIOR TO CONSTRUCTION OF WATER AND SEWER LINES.
2. WATER AND SANITARY SEWER INFRASTRUCTURE ARE PRIVATE BEYOND THE PUBLIC STREET RIGHT-OF-WAY.
3. BACKFLOW PREVENTION AND METERS SHALL BE PROVIDED FOR DOMESTIC WATER SERVICE (RPT). DOMESTIC SERVICE BACKFLOW PREVENTER WILL BE LOCATED AS SHOWN ON THE UTILITY PLANS. INSTALLER OF BACKFLOW PREVENTERS MUST CONTACT PCU PRIOR TO INSTALLING UNITS TO GIVE PCU THE OPTION TO VERIFY INSTALLATION PROCEDURES.
3.1. REDUCED PRESSURE PRINCIPLE ASSEMBLY FOR DOMESTIC WATER SERVICE
4. IF THE CONTRACTOR DESIRES PCU WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
5. WATER: 1.5" & 2" PVC MAINS SHALL BE CONSTRUCTED USING ASTM D2241, IPS, GASKETED PIPE, SDR 21, 4"-12" PVC MAINS AND SERVICES SHALL BE CONSTRUCTED USING ASTM D1704, ASTM D2241 FOR SDR-21, CLASS 200 PVC MEETING.
6. SANITARY SEWER: FOR PIPE SIZES 4" AND 6" PIPE SHALL BE SCH 40 CONFORMING TO THE REQUIREMENTS OF ASTM D1785 WITH SOLVENT WELD JOINTS CONFORMING TO ASTM D2672.
7. WATER AND SEWER SERVICES CANNOT BE ACTIVATED ON NEW MAINS UNTIL ENGINEER'S CERTIFICATION AND AS-BUILTS ARE RECEIVED AND "FINAL APPROVAL" ISSUED BY PUBLIC WATER SUPPLY SECTION OF NCDENR AND "FINAL ENGINEERING CERTIFICATION" ISSUED BY DIVISION OF WATER QUALITY OF NCDENR.
8. PVC WATER MAINS AND POLYETHYLENE SERVICES ARE TO BE MARKED WITH NO. 10 SINGLE STRAND INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
9. MAXIMUM BENDING RADIUS FOR 8" C-900 PVC WATER MAIN BENDS IS 380' (ONE-HALF MANUFACTURER'S RECOMMENDED ALLOWABLE LONGITUDINAL BENDING).
10. UNDERGROUND UTILITIES: ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG THE PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
11. MINIMUM OF 42" COVERAGE ABOVE ALL 12" WATERMANS AND 36" ABOVE ALL 8" WATERMANS AND WATER SERVICES.
12. MINIMUM OF 36" VERTICAL SEPARATION BETWEEN WATERLINES AND STORMDRAIN CURB INLETS.
13. A VARIANCE IS NOT ANTICIPATED FROM ANY NORTH CAROLINA DIVISION OF WATER QUALITY (DWQ) REQUIREMENT.
14. PLANS ARE IN COMPLIANCE WITH PENDER COUNTY PUBLIC UTILITIES TECHNICAL STANDARDS AND SPECIFICATIONS.

RELATION OF WATER MAINS TO SANITARY SEWERS:

- 1. LATERAL SEPARATION OF SANITARY SEWERS AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION, IN WHICH CASE:
1.1. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
1.2. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND ABOVE THE TOP OF THE SEWER.
2. CROSSING A WATER MAIN OVER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION - IN WHICH CASE BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
3. CROSSING A WATER MAIN UNDER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER THE SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. THE WATER MAIN SHALL BE C-900 PVC ENCASED WITHIN A STEEL SLEEVE. REFERENCE PCU STANDARD SPECS AND DETAILS.
4. CROSSING A SEWER MAIN/WATER MAIN OVER OR UNDER A STORM DRAIN: WHENEVER IT IS NECESSARY FOR A SEWER MAIN/WATER MAIN TO CROSS A STORM DRAIN PIPE, THE SEWER MAIN/WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER MAIN/WATER MAIN NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 24 INCH CLEAR SEPARATION DISTANCE HORIZONTAL, OR THE SEWER MAIN SHALL EITHER BE CONSTRUCTED OF DUCTILE IRON PIPE OR ENCASED IN EITHER CONCRETE OR DUCTILE IRON PIPE FOR AT LEAST 5 FEET ON EITHER SIDE OF THE CROSSING. SEE NOTE 3 DIRECTLY ABOVE FOR WATER MAIN MATERIALS.

EXCAVATION, GRADING, AND BACKFILLING NOTES

- 1. ANY UNDERCUTTING IN GOOD SOIL SHALL BE REPLACED AND THE REPLACEMENT MATERIAL SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT OF MAXIMUM DENSITY OBTAINED AT OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE ASTM D 698 STANDARD PROCTOR TEST METHOD. IN THE EVENT THAT MATERIAL ENCOUNTERED AT PIPE GRADE, SUBGRADE OF PARKING OR ROADWAYS AND SUBGRADE OF BUILDING FOUNDATIONS IS FOUND TO BE SOFT, SPONGY, OR IN ANY OTHER WAY UNSUITABLE, THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER IMMEDIATELY. SUCH UNSUITABLE MATERIAL SHALL BE REMOVED TO A DEPTH AS SPECIFIED BY THE GEOTECHNICAL ENGINEER AND REPLACED WITH A MINIMUM OF SIX (6) INCHES OF STONE, OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
2. BEFORE BACKFILLING IS COMMENCED OVER PIPES AND OTHER INSTALLATIONS, EARTH FILL SHALL BE TAMPED SOLID AROUND AND ABOVE THE PIPE TO A DEPTH OF ONE (1) FOOT ABOVE THE TOP OF THE PIPE. CARE SHALL BE TAKEN TO PREVENT ANY DISTURBANCE TO THE PIPE OR DAMAGE TO NEWLY MADE JOINTS. THE FILLING OF THE TRENCH SHALL BE CARRIED OUT SIMULTANEOUSLY ON BOTH SIDES OF THE PIPES IN SUCH A MANNER THAT INJURIOUS SIDE PRESSURES DO NOT OCCUR.
3. THE MATERIAL FOR BACKFILLING SHALL BE FREE FROM ALL PERISHABLE AND OBJECTIONABLE MATERIALS. BEFORE PLACING ANY BACKFILL, ALL RUBBISH, FORM, BLOCKS, WIRES OR OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FROM EXCAVATION. THE BACK-FILLING OVER PIPES SHALL BE PLACED IN LAYERS NOT OVER SIX (6) INCHES THICK AND COMPACTED TO A MINIMUM DENSITY OF NINETY-FIVE (95) PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST TO A DEPTH OF 12 INCHES BELOW FINISHED GRADE. THE LAST 12 INCHES OF BACKFILL SHALL BE PLACED IN LAYERS NOT OVER SIX (6) INCHES THICK AND COMPACTED TO A MINIMUM DENSITY OF NINETY-EIGHT (98) PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR COMPACTION TEST.

EROSION CONTROL NOTES

- 1. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
2. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF STATE LAW AND IS SUBJECT TO A FINE. ANY BUILDER THAT ANTICIPATED THE DISTURBANCE OF MORE THAN ONE ACRE WILL BE REQUIRED TO GET AN EROSION CONTROL PERMIT FROM NCDENR - DLQ.
3. GROUND COVER MUST BE PROVIDED ON EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING; AND, A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
4. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF NCDENR - DLQ.
5. SLOPES SHALL BE GRADED NO STEEPER THAN 3:1.
6. ADDITIONAL DEVICES MAY BE REQUIRED AS AGREED UPON BY THE FIELD INSPECTOR, ENGINEER, AND OWNER.
7. IF ACTIVE CONSTRUCTION CEASES IN ANY AREA FOR MORE THAN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER), ALL DISTURBED AREAS MUST BE SEEDDED, MULCHED, AND TACKED.
8. WITHIN 24 HOURS FOLLOWING ANY RAIN EVENT, THE CONTRACTOR SHALL INSPECT AND REPAIR, AS NECESSARY, ALL DAMAGED EROSION CONTROL MEASURES.
9. ALL ACTIVITY AND INSTALLATION OF EROSION CONTROL MATTING SHALL BE COMPLETE PRIOR TO ANY RAIN EVENT.

EROSION CONTROL MAINTENANCE PLAN:

- 1. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AND REPAIRED, AS NECESSARY, EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS OF EVERY ONE-HALF (0.5) INCH OR GREATER RAINFALL.
2. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
3. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FEET DEEP. THE SEDIMENT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
4. ALL AREAS SHALL BE FERTILIZED, RESEEDDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. STONE CONSTRUCTION ENTRANCE TO BE CLEANED WHEN SEDIMENT ACCUMULATIONS ARE VISIBLE OR SEDIMENT IS TRACKED ON TO THE PAVEMENT. STONE WILL BE PERIODICALLY TOP DRESSED WITH 2 INCHES OF #4 STONE TO MAINTAIN 6 INCH DEPTH. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS REQUIRED.
6. INSPECT TEMPORARY DIVERSIONS AND CHECK DAMS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE AND CHECK DAM. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.
7. INSPECT TEMPORARY SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2" OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO ONE-HALF THE DESIGN DEPTH. PLACE REMOVED SEDIMENT IN AN AREA WITH SEDIMENT CONTROLS.
8. CHECK THE SEDIMENT BASIN EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.
9. INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (0.5" OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED. INLET PROTECTION SHOULD BE CLEANED OUT WHEN IT IS HALF FULL.
10. INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. BE SURE TO MAINTAIN ACCESS TO THE BAFFLES. SHOULD THE FABRIC OF A BAFFLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BAFFLES. TAKE CARE TO AVOID DAMAGING THE BAFFLES DURING CLEAN OUT. SEDIMENT DEPTH SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH. AFTER THE CONTRIBUTING DRAINAGE AREAS HAS BEEN PROPERLY STABILIZED, REMOVE ALL BAFFLE MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE, AND STABILIZE IT.
11. INSPECT THE SKIMMER FOR CLOGGING. PULL THE SKIMMER TO THE SIDE OF THE BASIN AND REMOVE ANY DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER AND THE ARM OR BARREL PIPE FOR CLOGGING; IF CLOGGED, REMOVE THE DEBRIS.

STANDARD NOTES

- 1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
3. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
4. ALL TRAFFIC CONTROL SIGNS AND MARKING OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
5. ANY BROKEN OR MISSING SIDEWALK PANELS AND CURBING SHALL BE REPLACED BY THE CONTRACTOR.
6. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
7. NO LAND DISTURBANCE INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THE PLANS.
8. IF UNITS ARE SOLD AT ANY POINT, THE BUYER MUST RECEIVE A SUBDIVISION STREET DISCLOSURE STATEMENT.

FIRE PROTECTION NOTES

- 1. HYDRANT MUST BE WITHIN 100' OF THE FDC.
2. THE FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
3. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
4. ALL HYDRANTS MUST BE WITHIN 600 FEET OF HOMES.
5. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
6. COMBUSTIBLE MATERIALS MAY NOT BE STORED OR ERECTED ONSITE WITHOUT CITY FIRE MARSHAL APPROVAL.
7. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION.
8. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM UNDERGROUND UTILITIES.
9. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS TO ALL PORTIONS OF THE JOBSITE WHERE COMBUSTIBLES ARE PRESENT AT ALL TIMES DURING CONSTRUCTION.
10. FIRE DEPARTMENT ACCESS WIDTHS SHALL BE A MINIMUM OF 20-FEET UNLESS LESSER WIDTHS ARE APPROVED BY THE FIRE CODE OFFICIAL.
11. PENDER COUNTY EMERGENCY PERSONNEL HAS ACCESS TO ALL PRIVATE STREETS.

UTILITY COMPANY CONTACTS

DUKE/PROGRESS ENERGY (DISTRIBUTION): JON MARSTON (910) 602-4346
DUKE ENERGY (TRANSMISSION): BILL WILDER (910) 772-4903
AT&T (BELLSOUTH): JAMES BATSON (910) 452-5300
TIME WARNER CABLE: ROBERT JOHN (910) 216-4494
PIEDMONT NATURAL GAS: PAUL GONKA (910) 512-2841
DJ MEDEIROS (910) 431-3233
WATER SUPPLY: PENDER COUNTY PUBLIC UTILITIES: ANTHONY COLON (910) 259-0212
SANITARY SEWER: PLURIS HAMPSTEAD, LLC: KRIS KING (910) 852-0629

ADDRESS NOTES

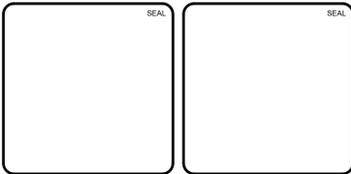
- 1. PER THE PENDER COUNTY UNIFIED DEVELOPMENT ORDINANCE (UDO) ARTICLE 11.6.1.D AN ADDRESS WILL BE ASSIGNED DURING THE BUILDING PERMIT APPROVAL PHASE OF THE DEVELOPMENT. THE ADDRESS WILL BE ON NORTH ATLANTIC AVENUE IN WILMINGTON, NORTH CAROLINA 28411

NOTE (G.S. 113A-57 (2))

THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

2 GENERAL NOTES

Table with 3 columns: REV. NO., DESCRIPTIONS/REVISIONS, DATE. Includes a revision table and a description table.

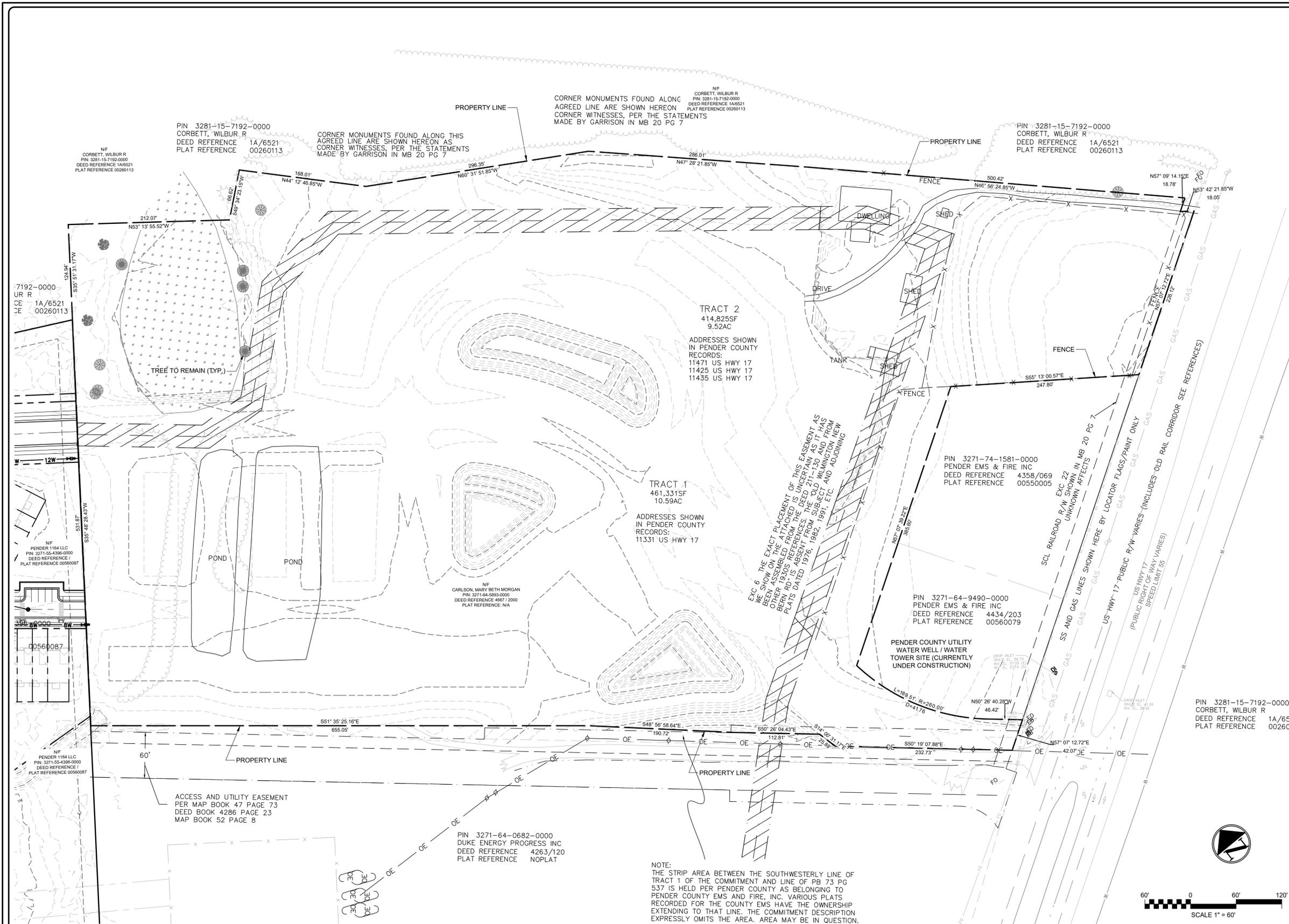


MCKIM & CREED logo and contact information: 243 North Front Street, Wilmington, North Carolina 28401, Phone: (910)343-1048, Fax: (910)251-8282, License: F-1222, www.mckimcreed.com

D.R. HORTON logo with 'Dedicated to NYSE' and 'America's Builder' slogan.

BLAKE FARMS - CARLSON TRACT - OFFICE
GENERAL NOTES

Project metadata table including DATE (2/2/2024), MCE PROJ. # (04245-0068), SCALE (HORIZONTAL: 1"=100', VERTICAL: VSCALE), C1.1 DRAWING NUMBER, and TRC SUBMITTAL.



- SYMBOLS LEGEND**
- LSA LANDSCAPE AREA
  - SPRINKLER
  - GROUND SHOT ELEVATION
  - CONCRETE
  - TELEPHONE PEDESTAL
  - FIRE HYDRANT
  - WATER VALVE
  - WATER METER
  - LIGHT POLE
  - POWER POLE
  - GUY WIRE
  - GAS VALVE
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER VALVE
  - CLEANOUT
  - SIGN
  - YARD INLET
  - STORM DRAIN MANHOLE
  - CURB INLET
  - YARD LIGHT
  - ELECTRIC HANDHOLE
  - MAILBOX
  - TELEPHONE MANHOLE
- TREE LEGEND**
- CYPRESS
  - MAPLE
  - MAGNOLIA
  - OAK
- PROJECT LIMITS  
CONTOUR LINE  
COMPUTED PROPERTY LINE OR EASEMENT  
STORM DRAIN LINE  
WATER LINE  
OVER HEAD POWER LINE  
GAS LINE

NOTE: TREE REMOVAL FOR PHASE 1 & PHASE 2 TO OCCUR DURING PHASE ONE CONSTRUCTION. SEE LANDSCAPE PLAN C10.0 FOR MITIGATION PLANTINGS.

2 EXISTING CONDITIONS

1 NOTES

| REV. NO. | DESCRIPTIONS / REVISIONS | DATE |
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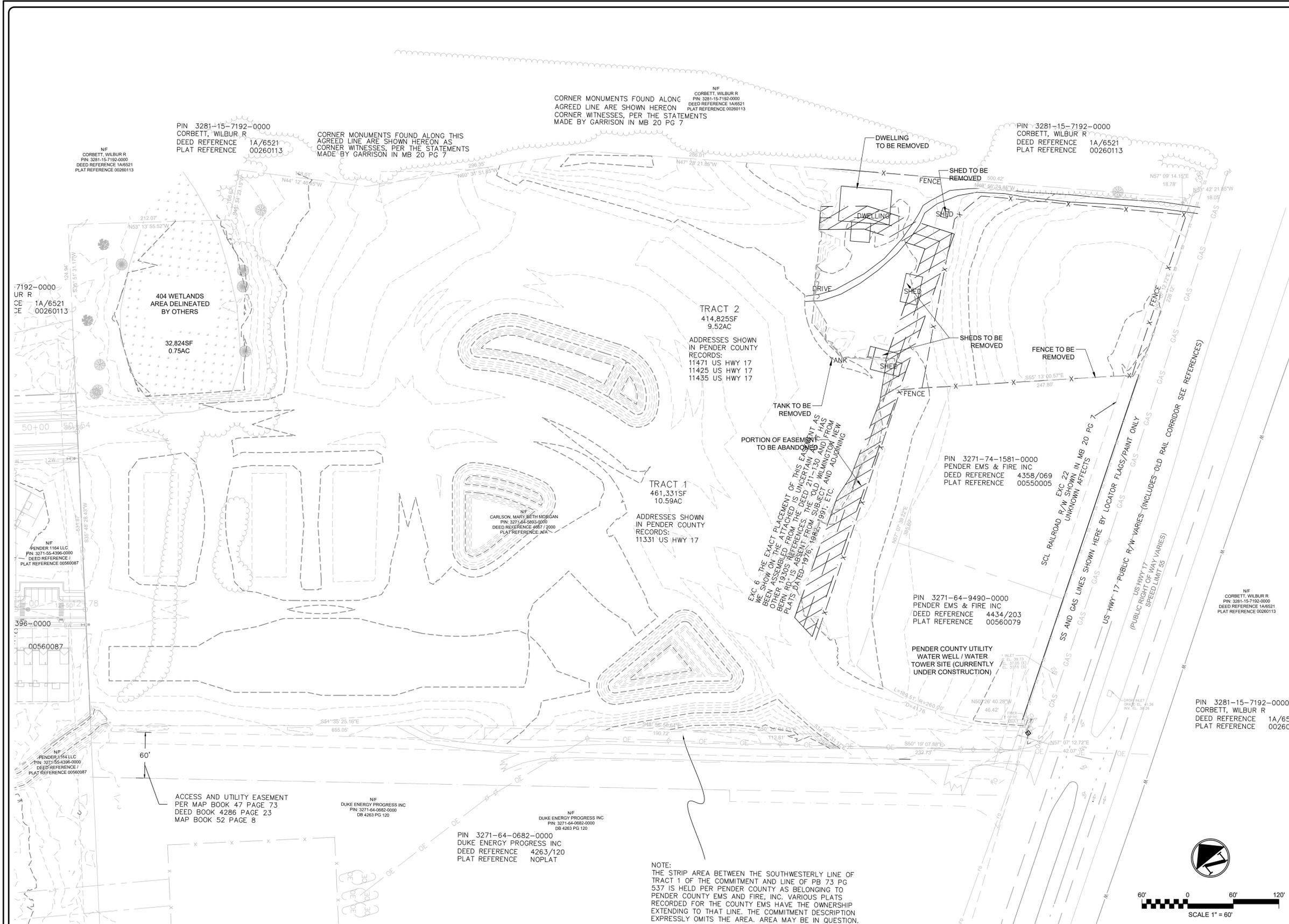
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**BLAKE FARMS - CARLSON TRACT - OFFICE**

**EXISTING CONDITIONS**

|                        |                    |                        |
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| DATE: 2/2/2024         | SCALE: 1"=60'      | C2.0<br>DRAWING NUMBER |
| MCE PROJ. # 04245-0068 | HORIZONTAL: 1"=60' |                        |
| DRAWN: AJW/JAD         | VERTICAL: -        | REVISION               |
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| PROJ. MGR: TSM         |                    |                        |
| STATUS: TRC SUBMITTAL  |                    |                        |



- SYMBOLS LEGEND**
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  - SANITARY SEWER VALVE
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- OVER HEAD POWER LINE
- GAS LINE

NOTE: TREE REMOVAL FOR PHASE 1 & PHASE 2 TO OCCUR DURING PHASE ONE CONSTRUCTION. SEE LANDSCAPE PLAN C10.0 FOR MITIGATION PLANTINGS.

2 DEMOLITION PLAN

1 NOTES

| REVNO | DESCRIPTIONS | DATE |
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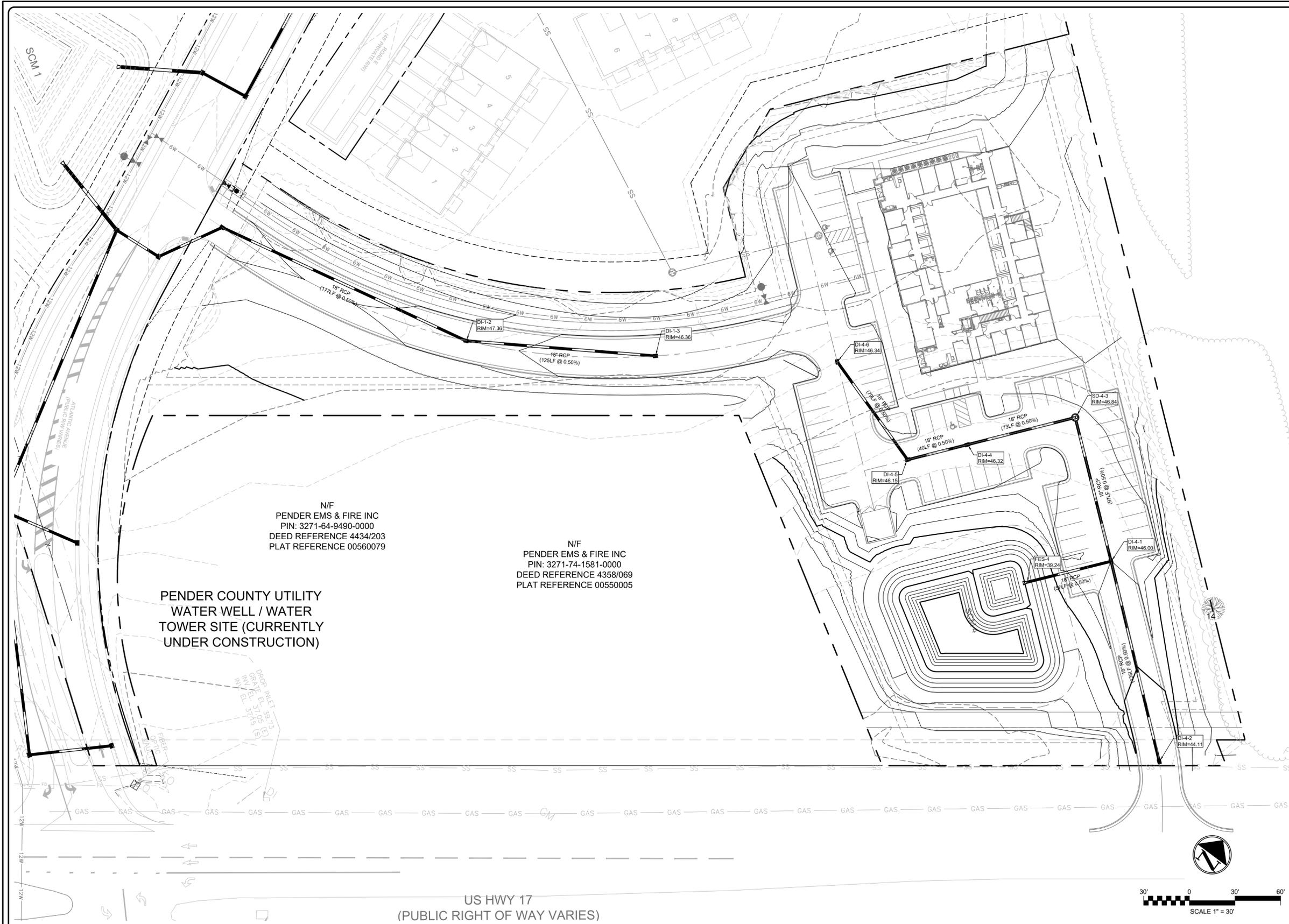
DEMOLITION PLAN

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| DATE: 2/2/2024        | SCALE              | C2.1           |
| MCE PROJ # 04245-0068 | HORIZONTAL: 1"=60' |                |
| DRAWN AJW/JAD         | VERTICAL: --       | DRAWING NUMBER |
| DESIGNED TSM/DCC      |                    |                |
| CHECKED TSM/DCC       |                    |                |
| PROJ. MGR. TSM        |                    |                |
| STATUS: TRC SUBMITTAL |                    |                |









**GENERAL NOTES:**

1. INITIATE EROSION CONTROL SEQUENCE BEFORE BEGINNING CLEARING AND GRADING OPERATIONS.
2. CLEAR AREA WITHIN THE LOD AND ESSENTIAL SITE IMPROVEMENTS OF ALL VEGETATION. PROTECT VEGETATION BEYOND GRADING LIMITS.
3. STRIP TOPSOIL TO FULL DEPTH DESCRIBED IN THE EROSION CONTROL PLANS IN AREAS TO BE GRADED AND STOCKPILED.
4. COMPACT ALL STRUCTURAL AREAS AND SLOPES TO 95% OF MAXIMUM DENSITY. AREAS LESS THAN 3.0 FEET OF FILL IN NON-STRUCTURAL AREAS MAY BE COMPACTED TO 90% OF MAXIMUM DENSITY.
5. ALL BANK AND SWALE SIDE SLOPES SHALL BE GRADED WITH NO GREATER THAN 3:1 SLOPES.
6. ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROMOTE POSITIVE DRAINAGE AND STABILIZED WITH TOPSOIL, SEED, AND MULCH. IF SETTLEMENT OCCURS, TOPSOIL, SEEDING, AND MULCH SHALL BE REPEATED UNTIL SETTLEMENT SUBSIDES. (SEE EROSION AND SEDIMENT CONTROL DETAILS AND SPECIFICATIONS.)
7. ALL AREAS ARE TO BE GRADED SO THAT NO AREAS OF STANDING WATER OCCUR.
8. OPERATOR SHALL FIELD VERIFY EXISTING TOPOGRAPHY IN RELATION TO THE PROPOSED GRADES TO ENSURE DRAINAGE IN THE DIRECTIONS INDICATED ON THE PLAN.
9. ALL SELECT AND BORROW MATERIAL SHALL MEET CRITERIA SET FORTH BY SECTIONS 1016 AND 1018 OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S STANDARDS AND SPECIFICATIONS FOR ROADS AND STRUCTURES.
10. THE ENGINEER AND THE CONTRACTOR SHALL INSPECT ALL EXISTING PIPES USED IN THE FINAL DRAINAGE SYSTEM AND AGREE ON THE CONDITION OF THE PIPES PRIOR TO CONSTRUCTION. IF DAMAGE OCCURS TO THESE PIPES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF THE PIPE(S).
11. EXISTING PAVING, CONCRETE, AND OTHER UNSUITABLE MATERIALS INCLUDING UNDERCUT EXCAVATION SHALL NOT BE USED AS FILL MATERIAL AND SHALL BE DISPOSED OF OUTSIDE THE PROJECT LIMITS AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING AND FEES FOR DISPOSAL.
12. ALL PIPE BEDDING SHALL BE CLASS "C" UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
13. ALL TREES, STUMPS, ROOT MAT, ETC. SHALL BE ENTIRELY REMOVED REGARDLESS OF DEPTH. BURIAL OF ORGANIC MATERIAL WITHIN THE PROJECT LIMITS IS NOT PERMITTED. OPEN BURIAL OF DOWNED TREES AND STUMPS MAY BE PERMITTED AT A LOCATION APPROVED BY OWNER AND WITHIN REGULATIONS OF LOCAL MUNICIPALITY. CHIPPED MATERIALS MUST BE REMOVED PRIOR TO THE PLACEMENT OF EMBANKMENT OR TOPSOIL.
14. ALL STORM DRAINAGE PIPES SHALL BE RCP CLASS III UNLESS OTHERWISE NOTED ON THE PLANS. HP PIPE MAY BE USED IN LIEU OF CONCRETE PIPE OR ENGINEER APPROVED EQUAL. ALL STORMWATER OUTFALL PIPES MUST BE RING GASKET RCP.
15. THE CONTRACTOR IS SOLELY RESPONSIBLE TO OBTAIN OFF-SITE SPOIL AREAS FOR DISPOSAL OF EXCESS AND/OR UNSUITABLE MATERIALS AS NECESSARY. OFF-SITE SPOIL AREAS MUST BE SUBMITTED TO THE ENGINEER AND APPLICABLE REGULATORY AGENCIES PRIOR TO UTILIZATION BY THE CONTRACTOR. NO AREAS DESIGNATED AS WETLANDS WILL BE PERMITTED FOR USE AS A DISPOSAL SITE. THE CONTRACTOR SHALL SUBMIT DOCUMENTATION TO THE ENGINEER THAT NO WETLANDS WILL BE IMPACTED. THE ENGINEER WILL NOT CONSIDER ANY DELAYS OR MONETARY CLAIMS OF ANY NATURE RESULTING FROM THE CONTRACTOR'S FAILURE OR DIFFICULTY IN FINDING NECESSARY DISPOSAL SITES TO MEET THE TIME FRAMES AND CAPACITIES REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANS, PERMITS, EROSION AND SEDIMENT CONTROL MEASURES, ETC. REQUIRED BY THE APPROPRIATE REGULATORY AGENCIES FOR UTILIZING OFF-SITE SPOIL AREAS. THE CONTRACTOR SHALL CERTIFY TO THE ENGINEER THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO UTILIZING THE OFF-SITE SPOIL AREAS. ALL COSTS FOR PROCURING AND UTILIZING THE OFF-SITE SPOIL AREAS ARE TO BE INCIDENTAL TO THE BASE BID.
16. APPROVED COVERS TO PREVENT MATERIAL FROM LEAVING THE TRUCKS MUST BE INSTALLED OVER ALL LOADED TRUCKS HAULING BORROW, EXCAVATED MATERIAL AND/OR FINE AGGREGATES TO OR FROM THE PROJECT SITES OVER STATE MAINTAINED ROADS. ANY MATERIALS DELIVERED, TRANSPORTED, OR REMOVED IN UNCOVERED TRUCKS WILL BE INCORPORATED INTO THE PROJECT OR REMOVED FROM THE SITE WITH NO ADDITIONAL PAYMENT TO THE CONTRACTOR FOR FURNISHING, REMOVING, OR PLACING THE MATERIALS INVOLVED.
17. DEWATERING: THE CONTRACTOR SHALL AT ALL TIMES PROVIDE AND MAINTAIN AMPLE MEANS AND EQUIPMENT WITH WHICH TO REMOVE AND PROPERLY DISPOSE OF ANY AND ALL WATER ENTERING THE EXCAVATION OR OTHER PARTS OF THE WORK AND KEEP ALL EXCAVATIONS DRY UNTIL SUCH TIME AS PIPE LAYING AND GRADING IS COMPLETED. NO WATER SHALL BE ALLOWED TO RISE AROUND THE PIPE IN UNBACKFILLED TRENCHES NOR SHALL IT BE ALLOWED TO RISE OVER MASONRY UNTIL THE CONCRETE OR MORTAR HAS SET (MINIMUM 24 HOURS). ALL WATER PUMPED OR DRAINED FROM THE WORK SHALL BE DISPOSED OF IN SUCH A MANNER AS TO PREVENT SILTATION AND EROSION TO ADJACENT PROPERTY OR OTHER CONSTRUCTION.
18. CONTRACTOR TO CAREFULLY ROOT PRUNE TREES, CREATING CLEAN CUTS. NO ROUGH BREAKS OF ROOTS (TYPICALLY AS THE RESULT OF MECHANICAL EQUIPMENT) WILL BE IS ACCEPTABLE.

N/F  
PENDER EMS & FIRE INC  
PIN: 3271-64-9490-0000  
DEED REFERENCE 4434/203  
PLAT REFERENCE 00560079

N/F  
PENDER EMS & FIRE INC  
PIN: 3271-74-1581-0000  
DEED REFERENCE 4358/069  
PLAT REFERENCE 00550005

PENDER COUNTY UTILITY  
WATER WELL / WATER  
TOWER SITE (CURRENTLY  
UNDER CONSTRUCTION)

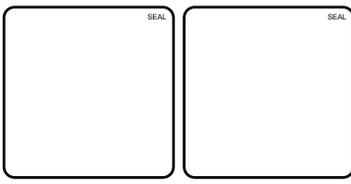
US HWY 17  
(PUBLIC RIGHT OF WAY VARIES)



**2 GRADING & DRAINAGE PLAN**

**1 NOTES**

| REV NO. | DESCRIPTIONS / REVISIONS | DATE |
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**MCKIM & CREED**  
243 North Front Street  
Wilmington, North Carolina 28401  
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*America's Builder* NYSE

BLAKE FARMS - CARLSON TRACT - OFFICE

**GRADING & DRAINAGE PLAN**

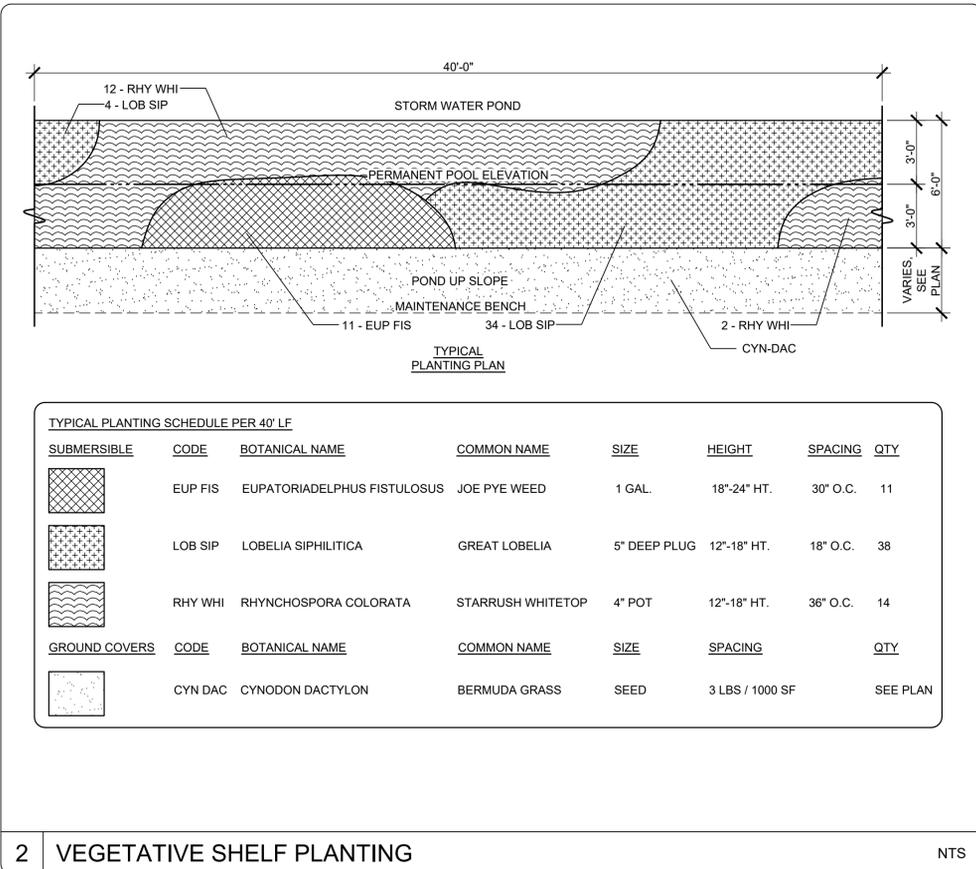
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| DRAWN: AJW/JAD          | VERTICAL: -        |
| DESIGNED: TSM/DCCO      | REVISION: -        |
| CHECKED: TSM/DCCO       |                    |
| PROJ. MGR: TSM          |                    |
| STATUS: TRC SUBMITTAL   |                    |





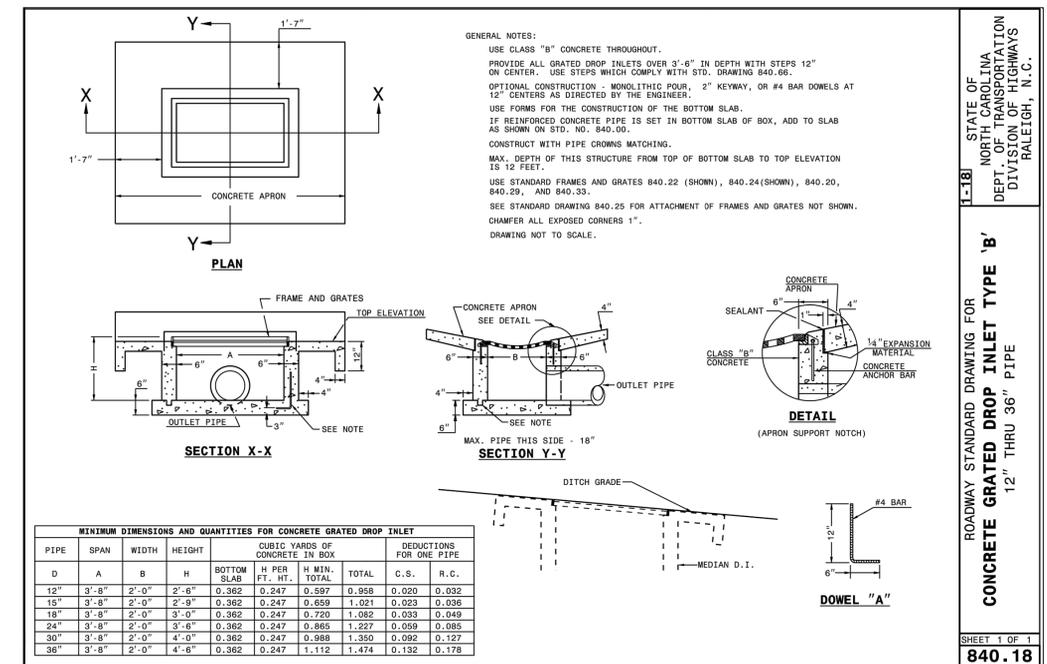






2 VEGETATIVE SHELF PLANTING

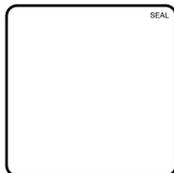
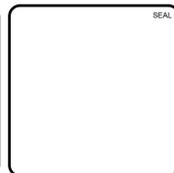
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1 CONCRETE GRATED DROP INLET TYPE 'B'

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| REV. NO. | DESCRIPTIONS | DATE |
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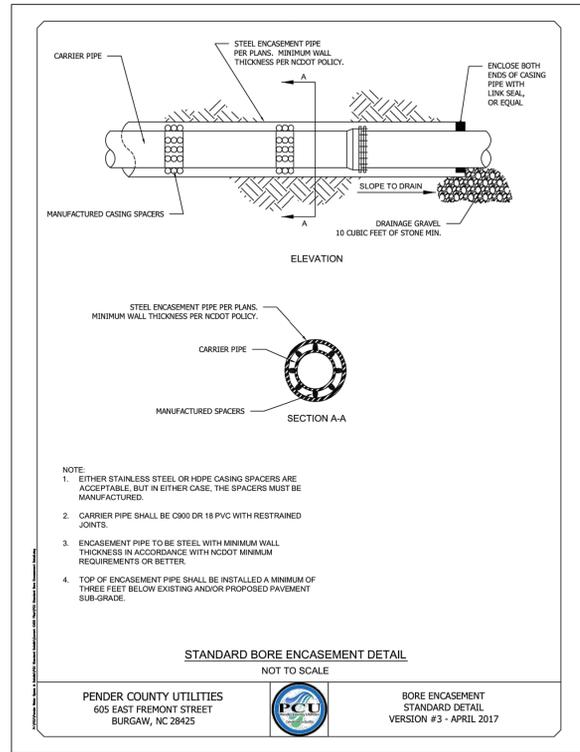
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*America's Builder* NYSE

BLAKE FARMS - CARLSON TRACT - OFFICE  
 GRADING AND DRAINAGE DETAILS

DATE: 2/2/2024  
 MCE PROJ. #: 04245-0068  
 DRAWN: AJW/JAD/DCC  
 DESIGNED: AJW/TSM/DCC  
 CHECKED: TSM/DCC  
 PROJ. MGR: TSM

SCALE: C13.1  
 HORIZONTAL: N/A  
 VERTICAL: N/A  
 DRAWING NUMBER: TRC SUBMITTAL  
 REVISION: ---





7 STANDARD BORE ENCASEMENT DETAIL

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**Restrained Length in Feet Each Side of Fitting Joint**

| PIPE DIAMETER (INCHES) | D. I. P. |      |         |         | P. V. C. |      |         |         |
|------------------------|----------|------|---------|---------|----------|------|---------|---------|
|                        | 90"      | 45"  | 22 1/2" | 11 1/4" | 90"      | 45"  | 22 1/2" | 11 1/4" |
| 3"                     | 30'      | 15'  | 10'     | 5'      | 40'      | 20'  | 10'     | 5'      |
| 4"                     | 30'      | 15'  | 10'     | 5'      | 50'      | 25'  | 10'     | 5'      |
| 6"                     | 50'      | 25'  | 15'     | 5'      | 80'      | 40'  | 20'     | 10'     |
| 8"                     | 60'      | 30'  | 15'     | 10'     | 90'      | 45'  | 20'     | 10'     |
| 10"                    | 80'      | 40'  | 20'     | 10'     | 110'     | 55'  | 25'     | 10'     |
| 12"                    | 90'      | 45'  | 20'     | 10'     | 130'     | 65'  | 30'     | 15'     |
| 16"                    | 120'     | 60'  | 30'     | 15'     | 160'     | 80'  | 40'     | 20'     |
| 20"                    | 150'     | 75'  | 30'     | 15'     | 200'     | 100' | 50'     | 25'     |
| 24"                    | 180'     | 90'  | 30'     | 20'     | 210'     | 105' | 50'     | 25'     |
| 30"                    | 190'     | 95'  | 40'     | 20'     | 250'     | 125' | 60'     | 30'     |
| 36"                    | 220'     | 110' | 45'     | 25'     | 0        | 0    | 0       | 0       |
| 42"                    | 240'     | 120' | 50'     | 25'     | 0        | 0    | 0       | 0       |
| 48"                    | 260'     | 130' | 60'     | 30'     | 0        | 0    | 0       | 0       |

Restrained lengths for valves, dead ends and branches from tees shall be the same as for 90° (square) bends.

**Restrained Length in Feet For Reducer**

| PIPE DIAMETER (INCHES) | 3"   | 4"   | 6"   | 8"   | 10"  | 12"  | 16"  | 20"  | 24"  | 30"  |
|------------------------|------|------|------|------|------|------|------|------|------|------|
| 3"                     | 0    | 0    | 0    | 0    | 0    | 0    | 0    | 0    | 0    | 0    |
| 4"                     | 40'  | 0    | 0    | 0    | 0    | 0    | 0    | 0    | 0    | 0    |
| 6"                     | 50'  | 45'  | 0    | 0    | 0    | 0    | 0    | 0    | 0    | 0    |
| 8"                     | 70'  | 70'  | 40'  | 0    | 0    | 0    | 0    | 0    | 0    | 0    |
| 10"                    | 90'  | 90'  | 70'  | 40'  | 0    | 0    | 0    | 0    | 0    | 0    |
| 12"                    | 120' | 110' | 100' | 70'  | 40'  | 0    | 0    | 0    | 0    | 0    |
| 16"                    | 160' | 150' | 140' | 120' | 100' | 70'  | 0    | 0    | 0    | 0    |
| 20"                    | 200' | 180' | 160' | 170' | 150' | 130' | 70'  | 0    | 0    | 0    |
| 24"                    | 190' | 180' | 160' | 140' | 130' | 120' | 90'  | 50'  | 0    | 0    |
| 30"                    | 190' | 190' | 180' | 180' | 170' | 160' | 120' | 100' | 70'  | 0    |
| 36"                    | 220' | 220' | 210' | 210' | 200' | 180' | 180' | 150' | 120' | 70'  |
| 42"                    | 240' | 240' | 230' | 230' | 220' | 200' | 200' | 180' | 150' | 100' |
| 48"                    | 260' | 260' | 240' | 240' | 230' | 210' | 190' | 170' | 150' | 120' |

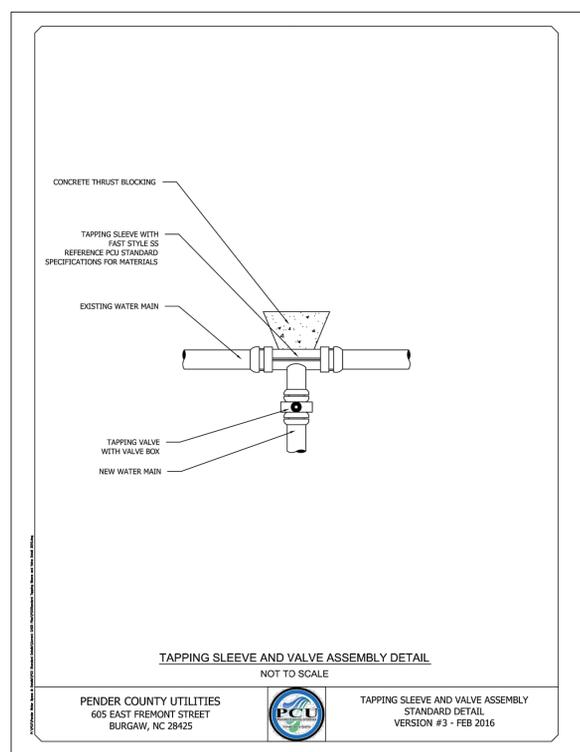
Length of restrained joint for larger diameter pipe

**RESTRAINED JOINT TABLE**  
STANDARD DETAIL  
VERSION #1 - OCTOBER 2015

PENDER COUNTY UTILITIES  
605 EAST FREMONT STREET  
BURGAW, NC 28425

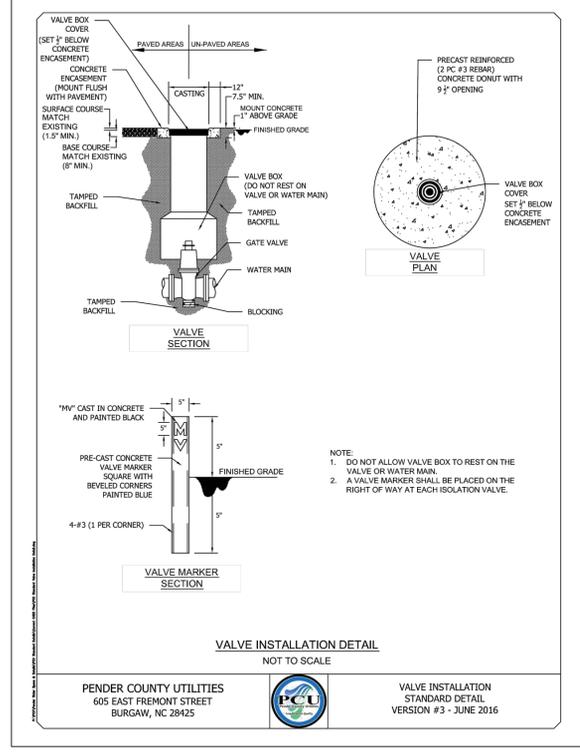
5 RESTRAINT JOINT TABLE

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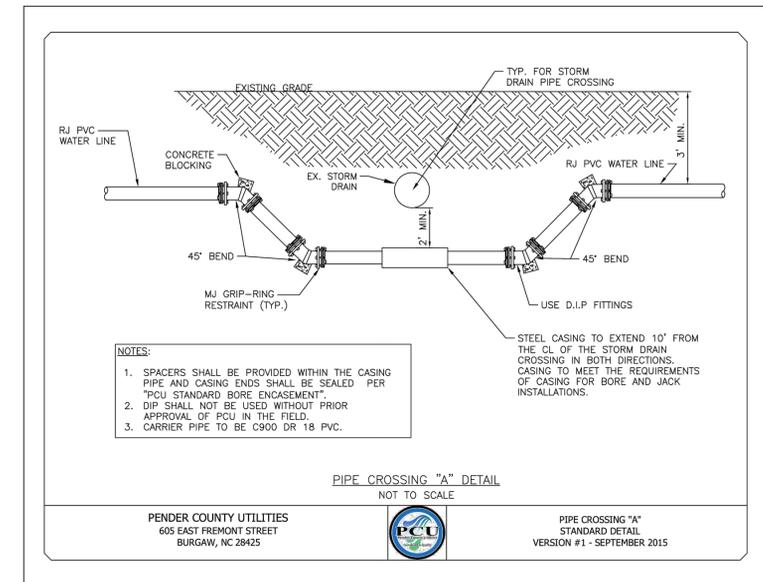
3 TAPPING SLEEVE AND VALVE ASSEMBLY DETAIL

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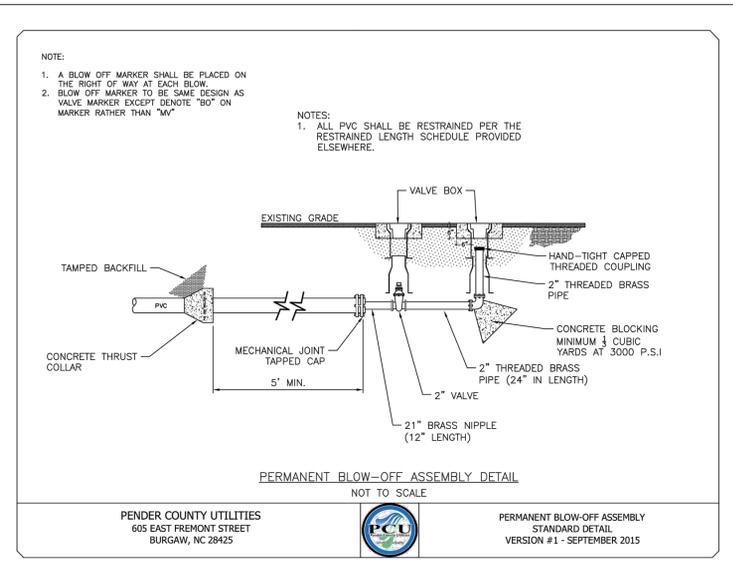
2 VALVE INSTALLATION DETAIL

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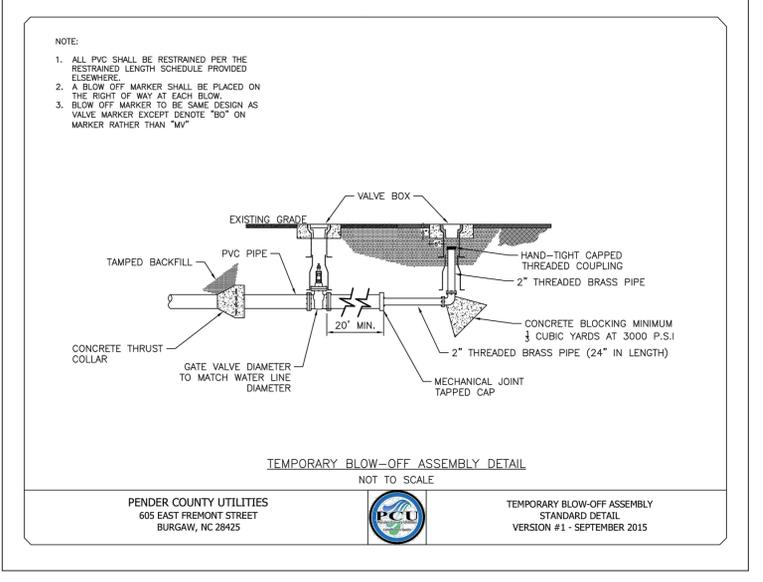
6 PIPE CROSSING "A" DETAIL

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4 PERMANENT BLOW-OFF ASSEMBLY DETAIL

NTS



1 TEMPORARY BLOW-OFF ASSEMBLY DETAIL

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| REV. NO. | DESCRIPTIONS | DATE |
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BLAKE FARMS - CARLSON TRACT - OFFICE

UTILITY DETAILS

|                        |                 |                         |
|------------------------|-----------------|-------------------------|
| DATE: 2/2/2024         | SCALE: N/A      | C14.1<br>DRAWING NUMBER |
| MCE PROJ. # 04245-0068 | HORIZONTAL: N/A |                         |
| DRAWN: A.W./JAD/DCC    | VERTICAL: N/A   | REVISION: ----          |
| DESIGNED: A.W./TSM/DCC |                 |                         |
| CHECKED: TSM/DCC       |                 |                         |
| PROJ. MGR. TSM         |                 |                         |
| STATUS: TRC SUBMITTAL  |                 |                         |

